MAPLE RIDGE

British Columbia

City of Maple Ridge

PUBLIC HEARING

September 20, 2022

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA
September 20, 2022
7:00 pm
Virtual Online Meeting including Council Chambers

The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.

For virtual public participation register by going to mapleridge.ca/640/Council-Meetings and clicking on the meeting date.

For in-person public participation register by emailing the Corporate Officer at clerks@mapleridge.ca no later than 4:00 p.m. Tuesday, September 20, 2022 (please provide your name, address and phone number as well as the item you would like to speak to. Attendance by the public in Council Chambers will be limited to 33 members, on a first-come-first-serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing.

This Agenda is also posted on the City's Website at: mapleridge.ca/AgendaCenter

1) 2019-046-CP, Albion Area Plan Update (North East Albion)

The subject application is to integrate the North East Albion Concept Plan into the Albion Area Plan within the Official Community Plan. The North East Albion Concept Plan includes new land use designations, policies, maps, and figures.

1a) *Maple Ridge Official Community Plan Amending Bylaw No. 7698-2021*

First Reading: January 26, 2021

Second Reading as amended: July 26, 2022

Purpose: To integrate the North East Albion Concept Plan into the Albion Area Plan.

2) 2022-220-RZ, Secondary Suites and Detached Garden Suites - Gross Floor Area Requirements

The subject application is to remove the current Zoning Bylaw requirements for the Maximum and Minimum Gross Floor Area for Secondary Suites, and the Minimum Gross Floor Area requirement for Detached Garden Suites.

2a) *Maple Ridge Zone Amending Bylaw No. 7857-2022*

First Reading: July 26, 2022

Second Reading: July 26, 2022

Purpose: To remove the maximum and minimum gross floor area requirements for secondary suites; retain the requirement that a secondary suite shall not exceed 40% of the total gross floor area of the building in which is located; and remove the minimum gross floor area requirement for detached garden suites.

3) **2022-126-RZ, Unit A – 20757 Lougheed Highway**
Lot 16 District Lot 250 Group 1 New Westminster District Plan 8735

The subject application is to reduce the required separation distance between approved Cannabis Retail Locations to permit a Non-Medical Cannabis Use at the subject property.

3a) *Maple Ridge Zone Amending Bylaw No. 7862-2022*

First Reading:	July 26, 2022
Second Reading:	July 26, 2022
Purpose:	To reduce the required minimum separation distance from any other Cannabis Retail Use from 1,000 m (3,281 ft.) to 580.1 m (1,903 ft) for the subject property.

CITY OF MAPLE RIDGE

NOTICE OF VIRTUAL ONLINE PUBLIC HEARING INCLUDING COUNCIL CHAMBERS

TAKE NOTICE THAT A PUBLIC HEARING is scheduled for Tuesday, September 20, 2022 at 7:00 p.m. This meeting is an online virtual meeting to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: www.mapleridge.ca/640/Council-Meetings and click on the meeting date to register.

For attendance in person, please pre-register with the Corporate Officer at clerks@mapleridge.ca by 4:00 p.m. Tuesday, September 20, 2022.

For viewing only, access the link at http://media.mapleridge.ca/Mediasite/Showcase and click on the September 20, 2022 Public Hearing presentation video:

The Public Agenda and full reports are posted on the City's website at www.mapleridge.ca/AgendaCenter (see: Public Hearing).

This Public Hearing is held in order to consider the following bylaws:

1) **2019-046-CP, Albion Area Plan Update (North East Albion)**

The subject application is to integrate the North East Albion Concept Plan into the Albion Area Plan within the Official Community Plan. The North East Albion Concept Plan includes new land use designations, policies, maps, and figures.

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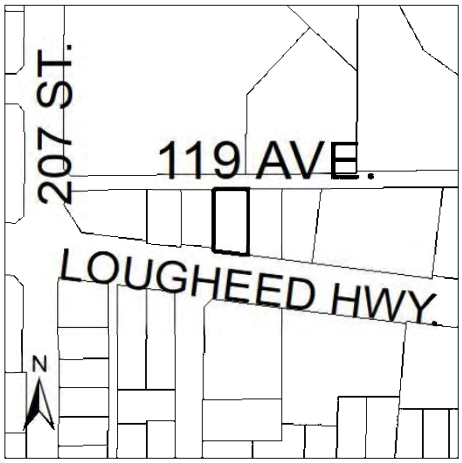


AND FURTHER TAKE NOTICE that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City's Land Development Viewer site at: https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html.

It is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens while mitigating risks posed by COVID-19. For further information on how to participate, we encourage checking our website for updates at https://www.mapleridge.ca/2408/Covid-19-Information. If you wish to participate virtually, please use the links below.

ALL PERSONS who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

These are the following ways to participate:

- **Virtually, by going to:** www.mapleridge.ca/640/Council-Meetings and clicking on the meeting date to register. When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only,** access the link at http://media.mapleridge.ca/Mediasite/Showcase and click on the September 20, 2022 Public Hearing presentation video;
- **Attendance in person by pre-registering** with the Corporate Officer at clerks@mapleridge.ca by 4:00 p.m. Tuesday. September 20, 2022. Please provide your name, address, and phone number as well as the item you wish to speak to. In-person attendance will be limited, and up to 33 members will be allowed physical access to Council Chambers on a first come, first serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer by 12:00 Noon, Tuesday, September 20, 2022 (quoting file number) via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or
- **To email correspondence,** forward written submissions to clerks@mapleridge.ca to the attention of the Corporate Officer, by 12:00 Noon, Tuesday, September 20, 2022 (quoting file number).

Dated this 7th day of September, 2022.

Patrick Hlavac-Winsor
Corporate Officer

MAPLE RIDGE
British Columbia

mapleridge.ca City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	July 19, 2022
		FILE NO:	2019-046-CP
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **Albion Area Plan Update (North East Albion)**
Second Reading
Official Community Plan Amending Bylaw No. 7698–2021

EXECUTIVE SUMMARY:

On January 26, 2021, Council granted first reading to the North East Albion Concept Plan with the intent that it will be integrated into the Albion Area Plan through Official Community Plan Amending Bylaw No. 7698-2021. Following first reading, the North East Albion Area Plan was referred to external agencies and governments for review and comment. Feedback received through the referral process has been reflected in the revised North East Albion Area Plan and it is now recommended that second reading be granted to *Official Community Plan Amending Bylaw No. 7698-2021* as amended, and forwarded to Public Hearing.

The North East Albion Area Plan emphasizes the economic and social objectives of the community, while balancing the development of a 'complete community' through environmental stewardship, the protection of natural resources and the preservation of ecosystems. The Area Plan envisions residential pockets nestled between existing watercourses, linked by a network of pathways and trails. The focus of the Plan is to create multi-family development around commercial and amenity nodes, offering residents gathering spaces and commercial opportunities. Residential areas sensitively scale down into surrounding single family neighbourhoods. A multi-modal network links neighbourhood amenities, such as parks, an elementary school and shopping nodes, within the community and to the larger Albion Area and Kanaka Creek Regional Park. The Area Plan is reflective of the consultation undertaken with area residents and other stakeholders in 2019, and it aims for balance; balance of the research insights and community interests, along with the policy expectations for Albion as one of the City's growth neighbourhoods. To implement this vision, new land use designations, policies, maps and figures are included with this update to the Albion Area Plan.

RECOMMENDATIONS:

1. **That in respect of Section 475 of the Local Government Act, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7698-2021* on the municipal website and the referral process together with an invitation to the public, Metro Vancouver and the Agricultural Land Commission to comment; and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;**

2. **That *Official Community Plan Amending Bylaw No. 7698–2021* as amended, be given second reading and forwarded to Public Hearing; and further**

3. **That *Council Policy 6.35 - North East Albion Servicing Strategy*, as attached as Appendix E to the staff report titled "Albion Area Plan Update (North East Albion)" dated July 19, 2022, be adopted.**

4. **That the Albion Density Bonus program be reviewed.**

1.0 CONTEXT:

1.1 Background

In May 2018, Council received development application 2018-217-RZ from Epic Homes to rezone four properties located in the northeast section of the Albion Area Plan (North East Albion Area). The North East Albion Area was identified in policy (see Albion Area Policies 10-9 to 10-11) as an area requiring future land use and servicing assessments. Specifically, existing policies raise questions regarding the sequence of development and impacts to servicing systems and identify the need for a renewed land use assessment to evaluate future residential, commercial, recreational, and servicing needs.

To address the identified land use issues, Council endorsed a planning process, for preparation of a Land Use and Servicing Concept Plan for North East Albion, that would be undertaken collaboratively with the applicant. The intent is that the endorsed Concept Plan would be used to guide the preparation and evaluation of specific development proposals in the North East Albion Area, beginning with the current application of 2018-217-RZ.

Following Council's direction to initiate the North East Albion Land Use and Servicing Concept Planning Process, staff collaborated with a consultant team (funded through a cost-recovery approach by the applicant) and completed background review and research to inform the development of the draft Neighbourhood Concept Plan(s). This review covered relevant City policies, as well as those of institutional stakeholders (i.e. School District No. 42, Metro Vancouver Parks); transportation networks; environmental systems and features; site servicing capacities (i.e. water, sanitation, and stormwater); as well as housing and land use economic analyses.

This foundational research effort identified many opportunities and constraints within the North East Albion Area lands and, in doing so, formed the basis for the subsequent community engagement process. Staff and the team of consultants undertook an extensive engagement process to gain insights from landowners and community residents, which included "Pop Up with a Planner" days, Stakeholder Workshops, Landowner Workshops, a Technical Design Charrette, as well as two Public Open Houses and associated community surveys.

Overall, what was heard through the public engagement process suggested the need for a balance between retaining the environment and its character, while accommodating new development opportunities. Key messages that were heard:

- Natural features should serve as key elements of the draft Concept Plan, including bordering environmental areas with multi-family development for stewardship purposes and the identification of significant tree clusters.
- General support for the location of the co-located Elementary School and Neighbourhood Park.
- Appreciation for the integration of community amenities, including local parks and trail network and creating local hubs; clustering community amenities (i.e. park and commercial services); and incorporating a variety of housing types to improve housing choice and opportunity for residents.
- Comments that future land uses should ensure the right 'fit' in this area, so as to minimize impacts to existing and rural neighbourhoods. Comments were also received regarding the need for more townhomes (or smaller residential units) to improve homeownership opportunities in the area and specifically call for some currently designated single-family areas to have a multi-family future.
- Comments calling for additional wildlife corridors, given particular concern for the resident bear population, and greenspaces for the area.
- Interest in the sort of services or shops that may be available at the Commercial Node(s) and through the Neighbourhood Parks.

- Need for a local traffic transportation network, including consideration of the impacts of any future east-west connectivity through to Grant Hill and request for consultation on this strategic transportation connection.
- Frustration with expansive development trends within the City, without the employment and transportation infrastructure to support the future residents.
- Acceleration of the co-located park & elementary school planning process, as well as consideration for future secondary school capacity.
- Appreciation for the proposed storm water management strategy and focus on environmental features.
- Appreciation for the consultation process and efforts to integrate community and stakeholder comments.

Throughout the North East Albion Planning process, 402 letters and 11,550 post-cards have been sent to landowners and Albion Area residents in addition to multiple e-mails sent out to interested residents on the North East Albion Email Update list.

On October 1, 2019 the draft North East Albion Land Use and Servicing Concept Plan was endorsed by Council, bringing the cost recovery land use and servicing planning process to an end. Since endorsement was received, development applications in the North East Albion Area have been evaluated for alignment with the North East Albion Area Concept Plan, via the following resolution:

> *That staff be directed to evaluate development applications in the North East Albion Area according to the draft North East Albion Land Use and Servicing Concept Plan.*

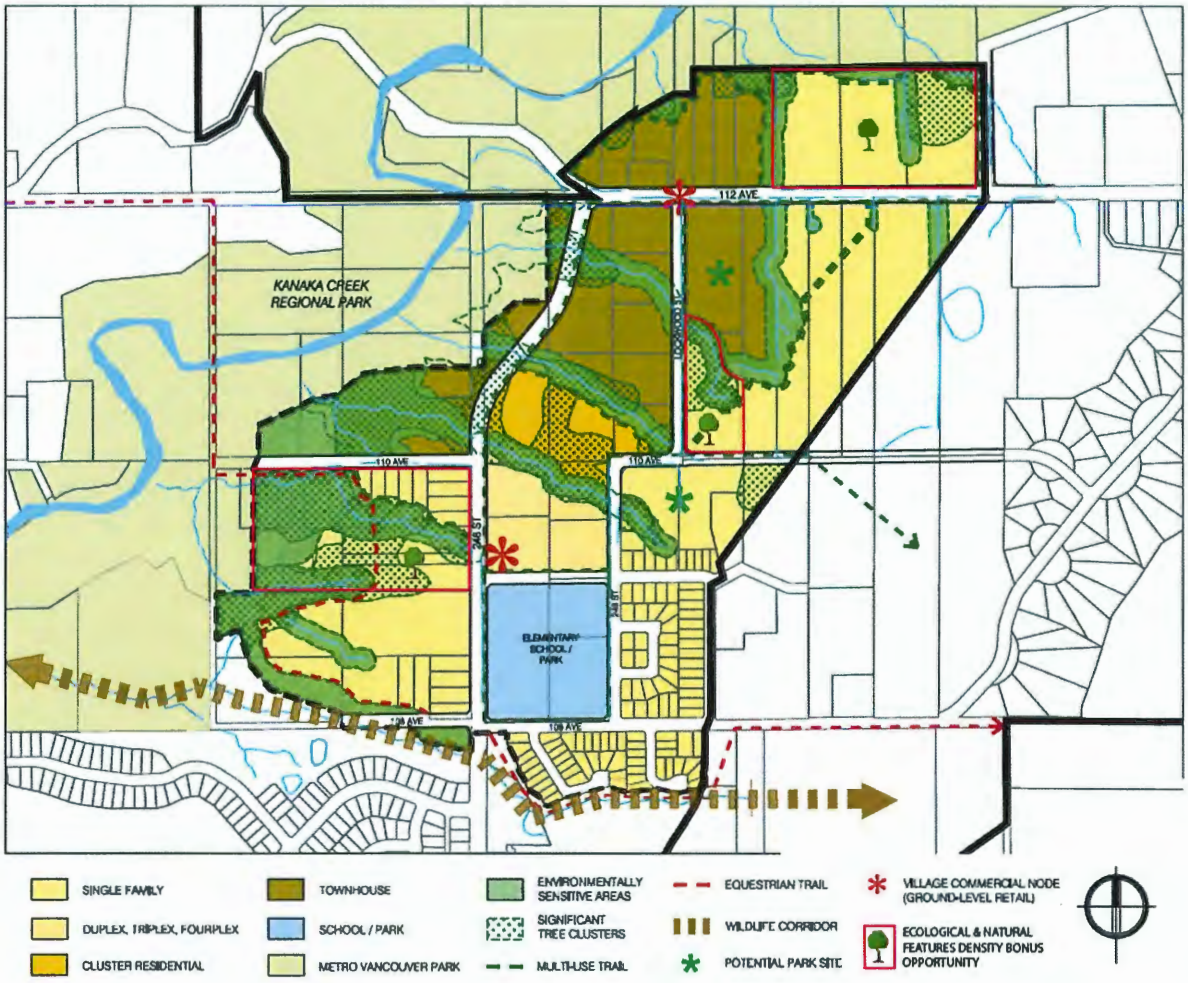
Staff presented *Official Community Plan Amending Bylaw No. 7698-2021* at the January 19, 2021 Committee of the Whole Meeting to integrate the North East Albion Concept Plan into the Albion Area Plan to Council. The OCP Amending Bylaw was forwarded to the January 26, 2021 Regular Council Meeting, where Council granted first reading to the Bylaw.

Following first reading, the materials were referred to external agencies and governments for review and comment. Feedback received through the referral process has been reflected in revised North East Albion Area Plan and it is now recommended that second reading be granted to *Official Community Plan Amending Bylaw No. 7698-2021*, as amended, and forwarded to Public Hearing.

1.2 North East Albion Area Plan Overview

The North East Albion Area Plan (now *Official Community Plan Amending Bylaw No. 7698-2021*) emphasizes the development of a 'complete community', by integrating environmental stewardship, the protection of natural resources, and the preservation of ecosystems, while balancing the social and economic objectives of the community. The Area Plan envisions residential pockets nestled between existing watercourses, linked by a network of pathways and trails. The Concept Plan focuses multi-family development around commercial and amenity nodes; offering residents gathering spaces and commercial opportunities. Residential areas sensitively scale down into surrounding single detached neighbourhoods. A multi-modal network links neighbourhood amenities, such as parks, an elementary school and shopping nodes within the community and to the larger Albion Area and Kanaka Creek Regional Park. The Area Plan is reflective of the consultation with area residents and other stakeholders in 2019, and represents an attempt at balance; balance of the many research insights and community interests revealed along with the policy expectations for Albion as one of the City's growth neighbourhoods.

Figure 1 – North East Albion Area Plan:



The Area Plan has been developed with the intent to protect fish and fish habitat, minimize potential for stream erosion, prevent surface flooding, and ensure major storm conveyance systems are capable of safely conveying significant flows and minimize damage to life and properties under extreme storm conditions. Significant tree stands, that are not already protected through existing legislation, bylaws, or policies, are encouraged to be maintained through thoughtful site design and possible bonus density provisions. Such significant tree stands are primarily located within existing riparian areas and are critical to maintaining and improving watercourse health and habitat. Watercourses and steep slopes will be protected to preserve environmental health and integrity throughout the North East Albion Area.

Kanaka Creek Regional Park provides valuable habitat for wildlife and movement corridors. Through the draft Concept Plan, existing movement corridors along Kanaka Creek and Grant Hill will be preserved and enhanced in support of wildlife conservation and resident safety. Furthermore, the Concept Plan proposes to buffer Kanaka Creek Regional Park where wildlife travels currently. This buffer, coupled with landscaping and stormwater management features, will improve wildlife passage in and around the North East Albion Area.

The Area Plan proposes a co-located park and elementary school with a sports field, playground, and pathways to meet the needs of the growing community. As parks and open spaces are important components of complete, liveable communities, additional neighbourhood parks are also proposed for the North East Albion Area. While specific park amenities will be determined later through the park

design process, which will include neighbourhood engagement, typical neighbourhood park amenities include: playgrounds, sports courts, splash pads, looping pathways, open areas and seating areas. Off-leash dog parks will also be integrated through this process.

A key feature of the Area Plan is a 'Spine Trail', which will connect the northern portion of the North East Area (including the trailhead to Kanaka Creek Regional Park) to the co-located school and park site in the south as well as serve as an important stormwater feature that celebrates and protects the water resources of the area. A series of connected ponds will be woven into the trail system. A similar landscape feature will also be integrated into a Northern Greenway trail along the Metro Vancouver Parks border at the north end of the area.

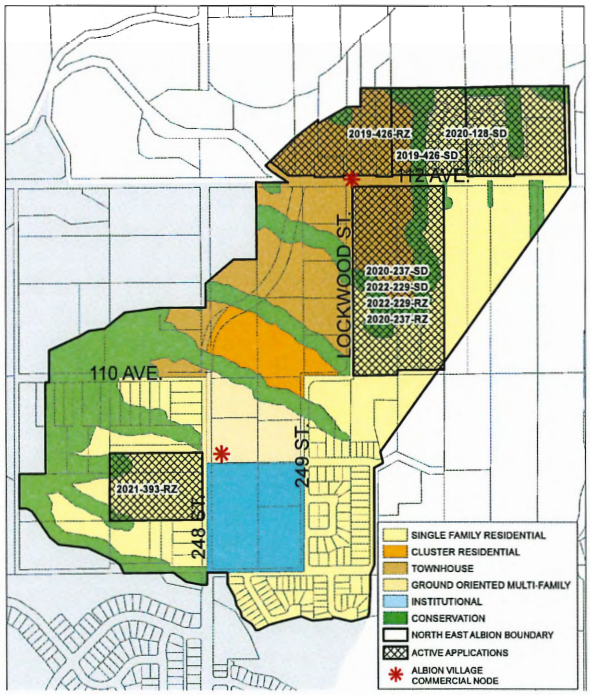
In terms of housing mix, the proposed residential land uses are reflective of what the City is experiencing in Albion South and Albion North today, both in terms of number of units and projected populations, while striving to offer flexibility in housing choice as well as affordability levels. Secondary suites and detached garden suites may also be incorporated, subject to other City policy and zoning regulations within the North East Albion Area.

1.3 In-stream Development Applications

Since October 1, 2019 to present, there are four development applications in-stream within the North East Albion, largely situated along the 112 Avenue corridor to the north of the area. These development applications include a range of single detached housing forms, multi-family developments, some community amenities and a commercial node and once approved, will bring the northern section of the Area Plan to life.

These applications were allowed to advance pursuant to a Council resolution directing that applications in compliance with the concept plan can be advanced ahead of the Area Plan adoption.

- 2020-128-SD (under construction)
  - 84 Single Family Homes
- 2020-237-RZ
  - 38 Single Family Homes
  - 103 Townhouse Units
- 2019-426-RZ
  - 106 Townhouse Units
- 2021-393-RZ
  - 35 Single Family Homes



2.0 DISCUSSION:

This section will outline the agencies involved in the referral process and the response of each. In addition, proposed amendments to the Official Community Plan Amending Bylaw will be laid out.

2.1 North East Albion Referral Process

As a part of the referral process, staff sent out referral requests to a number of external stakeholders and internal departments for their comments regarding the North East Albion Area Plan. Returned comments are high-level, as site-specific details will come through the development application process.

When development applications come before Council, additional studies typically found through the municipal rezoning process may be required. Such development related studies may include geotechnical assessments, ground-water impact assessments, servicing and infrastructure studies, agricultural impact assessments, environmental impact assessments (where development may encroach into some Environmentally Sensitive Areas), as well as significant tree and habitat balance assessments.

2.1.1 External Stakeholders

As per typical municipal referral processes, the following external stakeholders received a referral / comment request regarding the North East Albion Area Plan:

- Agriculture Land Commission
- Metro Vancouver
- School District No. 42
- TransLink

While the comments are summarized below, the complete responses are available in Appendix C. Comment requests were also sent to the Katzie First Nation and Kwantlen First Nation. A presentation on the North East Albion Concept Plan took place with the Kwantlen in February, 2022.

<u>Agricultural Land Commission (ALC)</u>

The ALC noted that the lands are not within the ALR, although the northern portion is adjacent to some ALR lands. Given that those ALR lands are within a regional park, standard recommendations regarding buffering and setbacks are less relevant and as such, ALC staff have no objection to the proposal.

<u>Metro Vancouver</u>

Metro Vancouver provided comments from staff through the development of the North East Albion Concept Plan in 2020. Metro Vancouver's 2022 comments are consistent with the earlier comments. The proposed trail connections are consistent with the trails concept from the 2004 Management Plan, and the buffer along the Kanaka Creek is also consistent with regional growth strategy policies. From a servicing perspective, Metro Vancouver looks forward to remaining engaged with the City in relation to site planning for sanitary pump stations and coordinating opportunities to improve trail connectivity through servicing corridors.

<u>School District No. 42</u>

School District No. 42 noted in their referral response that the proposed redesignation would affect the student population for the catchment areas currently served by Albion Elementary, c'əsqənela Elementary, Garibaldi Secondary and Samuel Robertson Technical Secondary. All four schools are operating with a utilization rate over one hundred percent, with many students per school coming from outside of each school's catchment area.

TransLink

TransLink staff note that the North East Albion area is not within an Urban Center or Frequent Transit Development Area and that current transit service is limited. As the area is not identified as a Major Transit Network (MTN) corridor in Transport 2050, a copy of the Transit Service Guidelines were included with the referral comments to help provide a sense of expectation for the City and the community as it develops. These guidelines will be made available to future applicants interested in the North East Albion Area.

2.1.2 Internal Stakeholders

In addition to the external organizations, referrals were sent to internal departments including Building, Economic Development, Engineering, Environment, Development, Fire, and Parks.

As many City Departments were involved throughout the creation and development of the North East Albion Area Plan, internal referral comments were few, with the proposed Area Plan largely reflecting departmental aspirations. Where relevant, internal comments also spoke to relevant external comments, including where possible further regional alignment could take place, such as through active transportation opportunities and the provision of child care opportunities.

Internal comments reiterated that water resources for each site are critical for the health of the Kanaka Creek system and that development in this area should continue to provide wildlife habitat and travel corridors. The need for green infrastructure solutions and climate change and sustainability were also noted.

2.2 Virtual Public Process

As the referral process is nearing completion, staff presented what was heard through a virtual public engagement process for public consumption. From June 17 to July 1, 2022, an information package and comment form were available on the project website. The virtual public process was advertised through regular City channels, including the local newspaper (newspaper ads ran June 17, June 24 and July 1, 2022), social media (posts on June 23, 27 and 29, 2022), invitation through the e-newsletter list (over 150 recipients), and a highlight of the invitation on the Spotlight on the City's website.

The online comment form received 34 responses. The comment form requested participants to identify one or more elements that they supported about the North East Albion Plan, any elements that they do not support or would like changed, and if they had any other thoughts or general comments. The comments are summarized below. Full verbatim comments are available in Appendix D.

Question 1 – List one or more elements that you like or support about the North East Albion Area Plan

Of the 34 responses, 25 responses were received. Of the 25 responses, at least seven of the responses explicitly pertained to the Grant Hill development, located east of the North East Albion Area and is outside of the City's Urban Area Boundary, requesting that the development be connected to City services.

Of the remaining 18 responses, the inclusion of commercial space, development of park and trail network, and conservation of green spaces were the most common responses, with several participants identifying more than one element. One participant identified the overall vision for the North East Albion Area, and another the inclusion of the co-located school.

While the first question did focus on positive elements of the plan, it is noted that participants took the opportunity to raise concern with preservation of Kanaka Creek Park, the impact of construction on servicing and the environment, as well as the road network.

Question 2 – Are there any elements of the Plan that you do not like or would like to change?

Of the 34 responses, 22 responses were received. Again, at least seven of the responses explicitly pertain to the Grant Hill development and a request to connect that residential development with the City system.

At least eight responses spoke to concerns with housing development the amount of townhomes being permitted in the area. Most of the responses connected the concern to a capacity or servicing issue. Similarly, at least eight responses spoke to concerns with the road network as well as overall road capacity in the area given the projected levels of development.

Some would like to see more commercial space, with specific requests for coffee shops, restaurant spaces and professional services. Some would also like to see some additional park space, as well as additional protections for the wildlife and green spaces within the plan area.

Question 3 – Let us know if you have any other thoughts or general comments

Of the 34 responses, 27 responses were received. At least ten of the responses explicitly request for the Grant Hill development to connect with the City system. A number of the comments provided under this question mirrored earlier comments (i.e. concerns with too many townhouses, concerns with the current road network, road safety). A couple of the comments raised concerns with how development is being handled in the area as it relates to existing development – challenges with picking up mail, how their water supply (via well water) will be protected during construction. While a couple spoke to the need for EV charging infrastructure for the new developments and if access would be provided from the new pump station to the creek.

The last question (Question 4) offered the opportunity for participants to be included on the North East Albion E-newsletter list. Of the 34 responses, 18 opted in to the e-newsletter.

Overall, comments received through the comment form reflect concerns heard through the earlier public engagement processes in 2019.

2.3 North East Albion Area Land Use Designations

In order to implement the North East Albion Area Plan, *Official Community Plan Amending Bylaw No. 7698-2021* introduces new land use designations into the Albion Area Plan.

The **Single-Family** designation allows detached dwellings on a range of lot sizes. This designation helps protect the rural edge by sensitively locating larger lot sizes adjacent to the eastern Plan boundary, while permitting smaller lot sizes closer to the community nodes. The designation also includes potential for including secondary suites and/or detached garden suites.

The **X-Plex (Duplex, Triplex, Fourplex)** designation is intended for buildings joined by a common party wall or strata building, such as duplex, triplex and fourplex forms.

The **Cluster Residential** designation recognizes that there are areas within North East Albion that are environmentally sensitive, and as such, is intended to accommodate development by promoting integrated site designs that consider the natural features and topography of the area. The designation is intended for clustered forms of ground-oriented multi-family units, including townhouse, courtyard and fourplex units that minimize impacts to the land and environment.

The **Townhouse** designation permits multi-family housing forms. This designation is in areas with access to arterial transportation routes, commercial areas, and public amenities. While

intended for the Townhouse form, there may be circumstances where smaller single-family residential forms may be incorporated into a townhouse site, with the focus on minimizing the development footprints on the land.

2.4 North East Albion Policies

Some of the existing Albion Area Plan policies have been updated, where appropriate, but most of *Official Community Plan Amending Bylaw No. 7698-2021* is to integrate North East Albion Area policies into the Official Community Plan. The sections of the updated Albion Area Plan will be expanded to reference subject headings for added clarity.

Wording around transportation, environment and green infrastructure have been lightly updated. The Zoning Matrix table has also been updated to reflect the current Albion Area Density Bonus program.

The complete set of policies is included in *Official Community Plan Amending Bylaw No. 7698-2021*, which is attached as Appendix A.

2.5 North East Albion Area Maps and Figures

With *Official Community Plan Amending Bylaw No. 7698-2021*, the Albion Area Plan will be updated and include additional Schedules and Figures. Schedule 1 will remain the Albion Area Plan and Schedule 2 will be updated to reflect the endorsed North East Albion Area Concept Plan. An additional six Figures will also be integrated into the Albion Area Plan in order to illustrate key features and proposed amenities for the North East Albion Area.

2.6 North East Albion Area Servicing Strategy

The North East Albion Land Use Concept Plan and Servicing Strategy, endorsed in October 2019, included a detailed Servicing Strategy for the North East Albion Area. As this level of detail does not typically become embedded in an Official Community Plan, a Council Policy encapsulating the servicing details has been drafted in order to facilitate the development application process by being flexible and adaptive but also technically accurate to ensure design standards are met. Please see Appendix E for the proposed Council Policy. Council approval of this servicing policy is sought through Recommendation #3 of this report.

i) Transportation

The North East Albion Area Concept Plan introduces new road alignments to augment the existing road network. The actual road alignments will be finalized through the development process to ensure multi-modal facilities are incorporated.

Technical evaluation undertaken since First Reading has necessitated that the intersection of the proposed 248 Street and 112 Avenue intersection be moved approximately 35 meters east of the original location in order to ensure compliance with current design criteria.

In addition to roadways within the North East Albion Area Concept Plan there are connecting roadways adjacent to the North East Albion Area, such as the 112 Avenue – 108 Street Connector that will be further reviewed and evaluated as development applications come forward. The proposed amendments to the road network have been incorporated into the City's Strategic Transportation Plan update.

ii) Sanitary Service

The North East Albion Area is not serviced with sanitary sewers other than for a small portion of land at the south end that is directed to the existing sewer mains on 108 Avenue. The North East Albion Area Concept Plan has developed a sanitary servicing framework that will see sewage flows generated

in the North East Albion Area being directed to the municipal pump station located on 112 Avenue that is currently under construction as part of the servicing requirements for a development. The sewage is then pumped to the west through Kanaka Creek Park to the existing municipal sewer system on 112 Avenue.

The design and construction of the new municipal pump station has proved complex given the significant site constraints. Staff from both Engineering and Engineering Operations Departments undertook a number of design reviews to ensure the station meets the City's needs.

iii) Stormwater Management

The North East Albion Area Concept Plan outlines a vision and strategy for sustainable water stewardship practices. To maximize groundwater protection and water conservation, stormwater management best practices are integrated throughout the Plan and embedded in the aforementioned Council Policy.

As each development proceeds, the geotechnical investigations are required to include a groundwater impact assessment and impact mitigation measures in order to protect Kanaka Creek and drinking water resources. Each development application will require resolution of a number of technical details and implementation of the North East Albion Area Concept Plan will be contingent upon the resolution of these factors as the project advances through the development application process.

2.7 North East Albion Area and the City of Maple Ridge Zoning Bylaw

The implementation of the North East Albion Area Concept Plan takes place in conjunction with the City's Zoning Bylaw.

i) North East Albion Area Zoning Matrix

Official Community Plan Amending Bylaw No. 7698-2021 includes a zoning matrix to identify which zones are permitted under each land use designation. This form of matrix already exists in the Albion Area Plan today and has been updated to reflect the new land uses proposed for this area. In some cases, new land uses will come with new or modified zones.

ii) North East Albion Amenity Contributions

The North East Albion Area Plan proposes a variety of amenities, including: neighbourhood park space, multi-use pathways, trail connections, stormwater galleries and affordable housing opportunities. Typically, neighbourhood amenities can be provided at the time of new development, through tools such as site specific dedications and development cost charges. In addition, as part of the greater Albion Area Plan, the density bonus program and its amenity contribution rates assist in the delivery of neighbourhood amenities.

At time of first reading, the existing Albion Density Bonus program and City-wide Community Amenity Contribution program could support the delivery of the envisioned North East Albion amenities. However, with an evolving market that may no longer be the case. In light of recent Council conversations regarding funding opportunities, staff will be conducting a review of the existing Albion Density Bonus program in order to determine if any modifications are necessary in order to be able to provide the necessary community amenities for the North East Albion Area. It is anticipated that the outcomes of this work will be presented to Council at the end of the third quarter of 2022.

Providing further flexibility for development in specific areas identified on the area plan, key pieces of work that included background studies, technical review, and the public process of 2019, provided outcomes that determined that areas with significant environmental and ecological value should, if

preserved, provide opportunity for additional floorspace or a reduction in permitted lot sizes in these areas. In-stream applications have already taken advantage of this opportunity, and *Official Community Plan Amending Bylaw No. 7698-2021* will establish the policy framework.

One additional amendment that is being proposed under the North East Albion Area Concept Plan to the existing Albion Density Bonus Program, is to expand the density bonus option for commercial properties to the Albion Area. It is proposed that additional residential floorplace would be permitted, for a fee, above ground-floor commercial. This would be reflective of the City-wide density bonus regulations, adopted by Council in 2019.

2.8 Next Steps

Staff prepared *Official Community Plan Amending Bylaw No. 7698-2021* to introduce the North East Albion Area Plan into the Albion Area Plan. The OCP Amending Bylaw has been amended to reflect intergovernmental referral comments, as well as internal comments, and it is proposed for second reading at an upcoming Council meeting:

Figure 2 - OCP Amending Bylaw Process

3.0 STRATEGIC ALIGNMENT:

Implementing strategic plans related to local infrastructure and the economy, including neighbourhood plans, is a Council priority as established under its Growth pillar of the 2019-2022 City of Maple Ridge Strategic Plan.

4.0 POLICY IMLICATIONS:

The North East Albion Area had been identified in policy as an area requiring future land use and servicing assessments. Specifically, existing policies raised questions regarding the sequence of development and impacts to servicing systems, and identified the need for a renewed land use assessment to evaluate future residential, commercial, recreational, and servicing needs. The integration of the North East Albion Area Plan into the Official Community Plan responds and addresses these questions and processes.

5.0 INTERDEPARTMENTAL IMPLICATIONS:

Planning staff have been working collaboratively with Engineering and Parks staff on the integration of the North East Albion Area Concept Plan into the Official Community Plan. It is anticipated that these departments will continue to be involved throughout the development of the North East Albion Area.

6.0 FINANCIAL IMPLICATIONS

The integration of the North East Albion Area Concept Plan into the Official Community Plan is included in the Planning Department 2022 Work Program.

CONCLUSION:

Official Community Plan Amending Bylaw No. 7698-2021 received first reading on January 26, 2021. Following the referral process and virtual public process, the amended bylaw to integrate the North East Albion Area into the Albion Area Plan is before Council for consideration of second reading.

"Original signed by Amanda Grochowich"

Prepared by: **Amanda Grochowich, MCIP, RPP**
Planner 2

"Original signed by Charles R. Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM, Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

Appendix A: Official Community Plan Amending Bylaw No. 7698-2021
Appendix B: Map of In-stream Development Applications in North East Albion
Appendix C: External Referral Comments
Appendix D: Virtual Public Process Records
Appendix E: Proposed Council Policy – North East Albion Servicing Strategy

CITY OF MAPLE RIDGE

BYLAW NO. 7698-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

WHEREAS Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

AND WHEREAS it is deemed desirable to amend Schedule "A" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No.7698-2021."

2. That Chapter 10 Area Planning is amended by removing and replacing the Albion Area Plan with 10.2 Albion Area Plan, a copy of which is attached hereto and forms a part of this bylaw as Schedule 1, following after 10.1 Area Planning and before 10.3 Silver Valley Area Plan.

3. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

READ a first time the 26th day of January, 2021.

READ a second time the day of 202X.

PUBLIC HEARING held the day of , 202X.

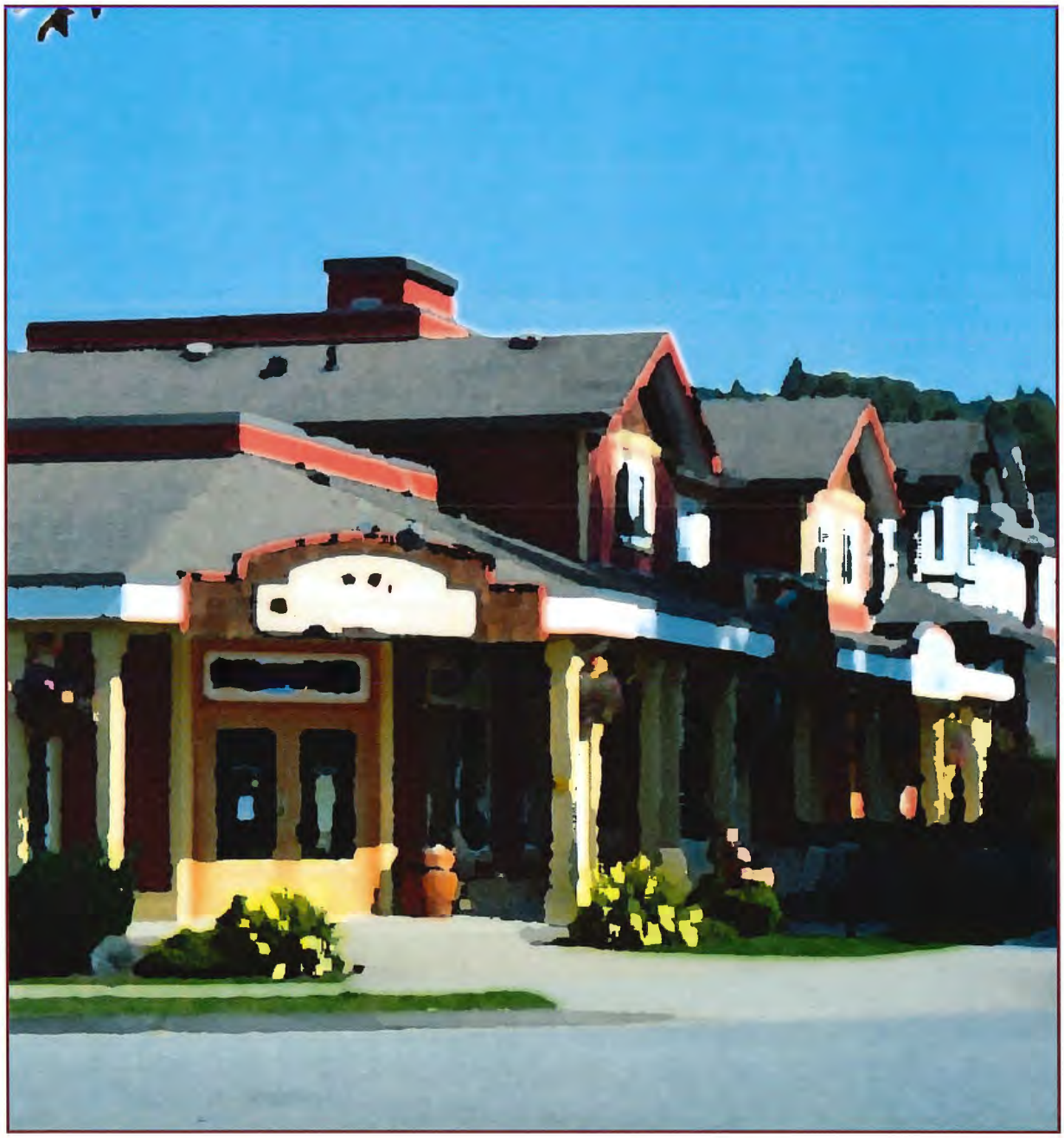
READ a third time the day of , 202X.

ADOPTED, the day of , 202X.

PRESIDING MEMBER

CORPORATE OFFICER

10.2 ALBION AREA PLAN



10.2 ALBION AREA PLAN

The following policies are adopted to guide development within the Albion urban area.

A land use designation describes an area of land within which a specific set of policies are intended to achieve orderly growth and development within the community.

10.2.1 LAND USE DESIGNATIONS

A. RESIDENTIAL DESIGNATIONS

The following residential land use designations are identified for the **Albion Area Plan** (Schedule 1), outside of the North East Albion area:

1. **Low Density Residential** corresponds with single family detached residential development at a low density urban standard with lot sizes at 2000 m^2 (half acre).
2. **Low-Medium Density Residential** corresponds with single detached or duplex housing with lot sizes ranging from 891 m^2 (9590 ft^2) to 557 m^2 (5996 ft^2).
    a) notwithstanding the above, a minimum parcel area of "371m^2 (3993 ft^2)" is only permitted for the properties located at Lot A Section 15 Township 12 New Westminster District Plan 22387 and Lot 1 Section 15 Township 12 New Westminster District Plan 7709.
3. **Medium Density Residential** allows for a range of housing styles and densities, including smaller lot single detached housing, townhouse and duplex dwelling units.

The following residential land use designations are identified for the **North East Albion Area** (Schedule 2):

1. **Single Family** allows detached dwellings on a range of lot sizes. The intent of the designation is to help protect the rural edge by sensitively locating larger lot sizes adjacent to the eastern Plan boundary while permitting smaller lot sizes closer to the community nodes. This designation also allows secondary suites and/or detached garden suites, where zoning permits.

2. **X-Plex (Duplex, Triplex, Fourplex)** is a residential use where dwelling units are joined by a common party wall and may take the form of a duplex, triplex, or fourplex.

3. **Cluster Residential** land use is located within areas that are environmentally sensitive and where some development may be accommodated through integrated site design that considers the natural features and topography of the area. The designation permits clustered forms of ground-oriented multi-family units, including townhouse, courtyard and fourplex units that minimizes impacts to the land and environment.

4. **Townhouse** permits multi-family housing forms. This designation is in areas with access to major corridors, commercial areas, as well as public amenities. While intended for Townhouse form, there may be circumstances where smaller single family residential forms may be incorporated onto a townhouse site, with the focus on minimizing the development footprints on the land.

Notwithstanding the above, higher densities may be supportable in compliance with the Community Amenity Program regulations prescribed in the Zoning Bylaw.

B. Albion Village Commercial Designation

This designation is intended to provide for convenience shopping and personal services to residents of surrounding neighbourhoods in a compact village form.

C. Park Designation

This designation identifies the location of existing or future municipal or Regional park sites.

D. Conservation Designation

This designation identifies ecologically sensitive lands that require protection in order to ensure that their health, diversity and integrity are maintained. They are considered to be of high environmental or geologic sensitivity.

E. Institutional Designation

This designation identifies lands for present or future use as civic or public use and includes school and/or park sites.

The corresponding zones for these designations are outlined in Section 10.2.6 Zoning Matrix.

10.2.2 ALBION AREA RESIDENTIAL DEVELOPMENT

Background

The Albion Area Plan strives to balance new residential development, the protection of environmentally sensitive areas, and the provision of a range of housing styles to meet diverse housing needs.

General Development Policies

10 – 4 Development applications seeking a land use designation change through an Official Community Plan amendment, to allow an increase in density, will be submitted with an analysis of the existing downstream system to a limit determined by the City. Capacity constraints identified within the existing system are to be resolved prior to additional density being advanced.

10 - 5 The sequence of development is to proceed in the most efficient manner, with capital costs and ongoing servicing costs to be minimized. To achieve this, lot consolidation may be required.

10 - 6 Land assembly or lot consolidation proposed in conjunction with development or redevelopment should meet the following conditions:

A) That any residual lots or remaining land parcels are left in a configuration and lot area which are suitable for a future development proposal, or can be consolidated with other abutting residual lots or land parcel and would be able to comply with the applicable Land Use Designation(s) and Policies of this Plan;

B) The use of any residual abutting lots or land parcels can continue to function in accordance with the applicable Land Use Designation and Policies of this Plan;

C) Residual abutting lots or land parcels are not to become isolated or left in a condition which is unsuitable for redevelopment or unsuitable for the maintenance of the existing land use; and

D) The land assembly proposal will incorporate adequate impact mitigation measures such as the provision of buffers, landscaping, site design, building arrangements and building design to ensure compatibility with abutting existing land uses.

General Multi-Family Housing Development Policies

10 –7 The siting, form, character and massing of multi-family residential development and areas for parking, storage and landscaping should be designed to facilitate orderly development of the area and to be compatible with single family residential developments.

10 - 8 Multi-family housing should be provided with appropriate amenities to enhance the character of development.

10 - 9 The siting of development and construction techniques employed should avoid impacts to watercourses, reduce the risk of erosion in the area, minimize visual disruption to the neighbourhood and protect the visual character of the landscape.

10 - 10 Natural vegetation should be retained where possible to enhance the character of the area. Significant treed slopes or natural vegetation will need to be retained in order to minimize disruption to watercourses and to minimize erosion. Geotechnical assessments may be required.

10 - 11 Development in the Albion Area is subject to the Natural Features policies of the Official Community Plan. Multi-Family, Ground-Oriented Residential Infill and Intensive Residential Development must also adhere to the Design Guidelines detailed in Section 8 Development Permit Area Guidelines.

10.2.3 COMMUNITY AMENITY PROGRAM AND DENSITY BONUS FRAMEWORK

BACKGROUND

The Community Amenity Program is intended to meet the needs of the community and respond to changes in housing form and demand over time by enabling an additional means of providing neighbourhood amenities.

The Albion Area Plan Community Amenity Program provides the opportunity for a Density Bonus within a number of zones identified within the Albion Zoning Matrix, see Section 10.2.6. Within these zones, 'bonus' density may be achieved through an Amenity Contribution toward community amenities that will be located within the boundaries of the Albion Area Plan.

OBJECTIVE

To support increases in density as a means of providing additional amenities in the Albion Area Plan.

POLICIES

10 - 12 The city-wide Community Amenity Program established in Section 2.1.2 Compact and Unique Community will apply to the entire Albion Area Plan.

10 - 13 A Density Bonus option will be permitted on lands designated Low Density Residential, Low-Medium Density Residential and Medium Density Residential in the Albion Area Plan, as well as on the lands designated Single Family, Cluster Residential, Townhouse and Village Commercial in the North East Albion Area Plan.

10 - 14 Where the density bonus option is utilized in a single-family subdivision, the density bonus framework provisions established in the Maple Ridge Zoning Bylaw will apply to all lots that exceed the base density permitted in the zone, in addition to the city-wide Community Amenity Program established in Official Community Plan Section 2.1.2 Compact and Unique Community.

10 - 15 Where the density bonus option is utilized in a multi-family development, the density bonus framework provisions established in the Maple Ridge Zoning Bylaw will apply to all dwelling units that exceed the base density permitted in the zone, in addition to the city-wide Community Amenity Program established in Official Community Plan Section 2.1.2 Compact and Unique Community.

10 - 16 Where the density bonus option is utilized in a mixed-use commercial development, the density bonus framework provisions established in the Maple Ridge Zoning Bylaw will apply to all dwelling units that exceed the base density permitted in the zone, in addition to the city-wide Community Amenity Program established in the Official Community Plan Section 2.1.2 Compact and Unique Community.

10 - 17 Maple Ridge Council may consider Density Bonuses as part of the development review process for Albion Area Plan amendment applications seeking a land use designation change that would permit a higher density than currently permitted.

10 - 18 A Density bonus will only be permitted on those lands that are located entirely within the boundaries of the Albion Area Plan and Urban Area Boundary.

10.2.4 NORTH EAST ALBION AREA DEVELOPMENT

North East Albion Area

The North East Albion Area is bound by the Kanaka Creek Regional Park to the north, existing Albion Area residential developments and conservation areas to the southwest, including the Kanaka Creek Regional Park, and rural residential developments to the east. The North East Albion Area boundary and Land Use Designations are shown on Schedule 2 of this Plan.

The North East Albion Area Plan emphasizes the development of a complete community by integrating environmental stewardship, the protection of natural resources and the preservation of ecosystems, while balancing the social and economic objectives of the community.

The North East Albion Area Plan sets out residential pockets nestled between existing watercourses and linked by a network of pathways and trails. A multi-modal network links neighbourhood amenities, such as parks, an elementary school, and shopping nodes within the community and to the larger Albion Area and Kanaka Creek Regional Park.

The North East Albion Area Plan focuses multi-family development around commercial and amenity nodes; offering residents gathering spaces and commercial opportunities, and bringing to life one of the City's growth neighbourhoods. It is intended that the Area Plan policies facilitate the creation of an inclusive and sustainable community with equal opportunities for people of all ages, cultures, lifestyles, and abilities.

Development in the North East Albion Area is to be reflective of the consultation with area residents and other stakeholders and should align with the principles and intent laid out in this Plan.

POLICIES

10 – 19 Development in the North East Albion Area will be subject to the North East Albion Servicing Strategy Policy as well as other relevant City documents policies and regulations.

Environment

10 – 20 Maple Ridge will continue to apply regulations for the protection of watercourses and steep slopes in North East Albion (Figure 1) in order to enhance and maintain environmental health integrity.

10 – 21 Development in the North East Albion Area is to be conducted in such a manner as to mitigate impact on the environment by increasing connections for wildlife, preserving existing hydrological processes, protecting fish and fish habitat, minimizing the potential for stream erosion, preventing surface flooding, and ensuring major storm conveyance systems are capable of conveying significant flows and minimize damage to life and properties under extreme storm conditions.

10 – 22 Maple Ridge will encourage the retention of significant tree stands that are not already protected through existing legislation, bylaws, or policies, through thoughtful site design.

10 – 23 For sites identified on North East Albion Schedule 2, additional floorspace or a reduction in permissible lot size may be supported if environmentally sensitive areas are protected and permanently preserved beyond what is required through the land dedication process.

10 – 24 Maple Ridge recognizes that Kanaka Creek Regional Park provides valuable habitat for wildlife and movement corridors, and as such, supports preserving existing movement corridors along Kanaka Creek and Grant Hill. Enhancement of landscaping and stormwater management features is also encouraged with the aim of supporting wildlife conservation and resident safety.

10 – 25 Maple Ridge will connect the North of 112 Avenue precinct, including the trailhead to Kanaka Creek Regional Park, to the co-located school and park site in the south via a 'Spine Trail', that will serve as an important stormwater feature and protect and celebrate the water resources of the area (Figure 2).

10—26 Envisioned as a key feature of the North East Area Plan, a series of connected ponds will be woven into the Spine Trail system (Figure 3).

10 – 27 Maple Ridge will integrate a Northern Greenway trail, which will include similar features as the Spine Trail (Figure 3), along Kanaka Creek Regional Park at the north end of the North East Albion Plan Area.

10 – 28 Maple Ridge will establish a buffer (Figure 2) between the Kanaka Creek Regional Park and future areas of residential development to protect and improve wildlife passage and resident safety in and around the North East Albion Area.

10 – 29 Maple Ridge encourages strata developments adjacent to regional park land to ensure better stewardship of the environmental buffer.

10 – 30 The North East Albion Area Plan outlines a vision and strategy for sustainable water stewardship practices. As such, development is to:

A) Maximize groundwater protection and water conservation efforts;

B) Incorporate stormwater management best practices, including the integration of visible stormwater management features, into the site design; and

C) Require a geotechnical investigation, including a ground-water impact assessment and subsequent impact mitigation measures, in order to protect Kanaka Creek and drinking water resources.

Servicing

10 – 31 Maple Ridge will encourage the integration of aesthetically pleasing designs with appropriate siting, building form, landscaping and screening into the civic infrastructure necessary for the build-out of the North East Albion Area, such as the proposed pump station on 112th Street.

10 – 32 Development in the North East Albion Area will be subject to the outcomes of the water analysis, conducted for the development of the North East Albion Servicing Strategy, as well as other relevant City documents.

10 – 33 Development in the North East Albion Area will be subject to the proposed transportation network identified in Figure 4 & 5 as well as the City's Strategic Transportation Plan, as amended from time to time.

Mobility

10 – 34 Maple Ridge will ensure that the design of new development aligns with the City's requirements for creating a safe, integrated, multi-modal transportation system.

10 – 35 The North East Albion Area Plan sets out an integrated active transportation network (Figure 6) which includes proposed bike lanes, trails and a multi-use pathway.

10 – 36 North East Albion is identified in the City's Strategic Transportation Plan as an area intended for improved sidewalk connectivity. It is anticipated that future sidewalk construction and streetscape improvements, including street lighting, will be provided through the development process.

10 – 37 The North East Albion Area Plan sets out an equestrian trail (Figure 6) that connects riders from the existing Kanaka Creek Crossing to Grant Hill. This trail will help to create a buffer between environmentally sensitive areas and future development.

10 – 38 North East Albion is identified as an area that is not well served by transit. It is anticipated that long-term transit services will continue to be provided via Community Shuttle transit services, and that Maple Ridge will continue to support the development of an efficient transit system through the North East Albion Area.

Parks and Community Amenities

10 – 39 The North East Albion Area Plan identifies the co-location of a park and elementary school with a sports field, playground, and pathways to meet the needs of the growing community (Figure 2).

10 – 40 The North East Albion Area Plan proposes additional neighbourhood park space to the co-located park and elementary school, as neighbourhood parks are important components of complete, liveable communities, and will include amenities such as playgrounds, sports courts, dog off leash areas, splash pads, open areas, seating areas and looping pathways. The specific park amenities will be determined through a park design and engagement process with future residents.

10 – 41 The North East Albion Area Plan stipulates that all residents will have access to a park within a 5-minute walk.

10 – 42 North East Albion Area park amenities will include spaces for dogs, such as a dog-off leash park.

10 – 43 The North East Albion Area Plan sets out a network of trails and multi-use pathways to link the residential areas with the community amenities. These trails and pathways will act as a greenway and buffer to the sensitive environmental areas while creating an attractive public realm for residents (Figure 2).

10 – 44 Maple Ridge will encourage the inclusion of Public Art into residential and community amenities.

Residential Development

10 – 45 The North East Albion Area is broken up into the following neighbourhood precinct:

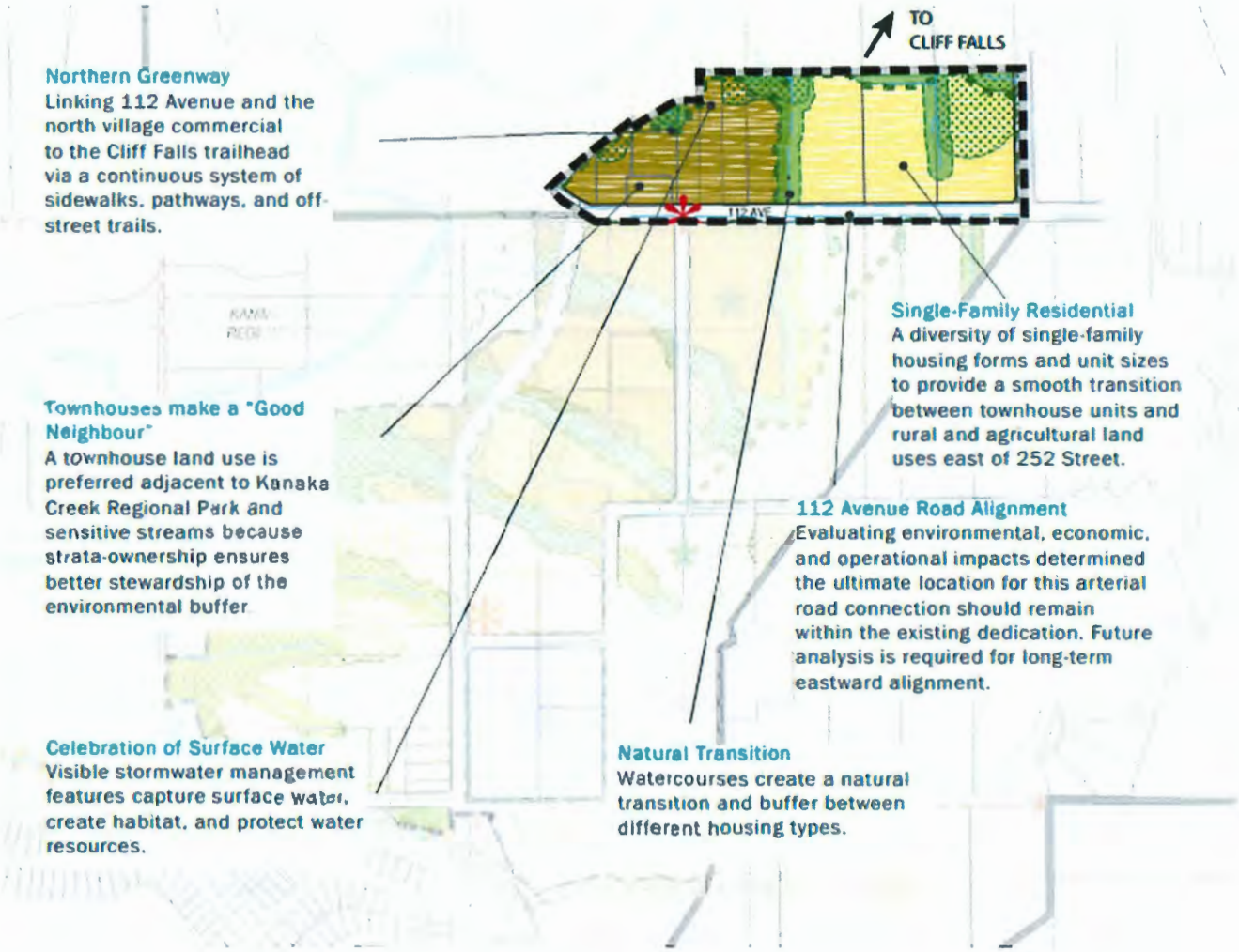
A) North of 112 Avenue

B) East of Lockwood Street

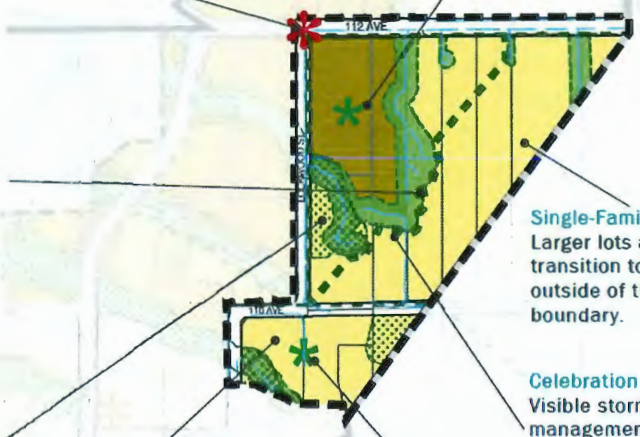
C) Between 248 Street and Lockwood Street

D) West of 248 Street

North of 112 Avenue



East of Lockwood Street



North Village Commercial Node
A gathering place connected by trails, adjacent to a neighbourhood park, and a short walk from the trailhead to Cliff Falls. The northern node will have the capacity for 4-6 shops and may include a café, take-out restaurant, convenience store or other small businesses.

Multi-Modal Spine Trail
Creating a gentle-grade connection from the proposed elementary school to the Cliff Falls trailhead. The trail is designed to include landscaped features that celebrate and protect the water resources in the area through visible stormwater management.

Protection of Trees
Smaller forms of residential development are permitted to protect and preserve high-value trees.

Single-Family Residential
Single-family homes reflecting the character of existing neighbourhoods.

Northern Neighbourhood Park
Programmed park near the village commercial node and linked by multi-use paths.

Single-Family Residential
Larger lots as a sensitive transition to rural acreages outside of the urban area boundary.

Celebration of surface water
Visible stormwater management features along the Spine Trail to capture surface water, create habitat, and protect water resources.

Central Neighbourhood Park
Programmed park linked by multi-use paths, close to the existing single-family area in the south.

Between 248 Street and Lockwood Street

South Village Commercial Node
A gathering place adjacent to the elementary school and park site. This node will help to serve existing residents in Albion and support the growing community.

Low-Rise Residential over Retail
To help increase housing diversity and satisfy the changing housing needs of the neighbourhood.

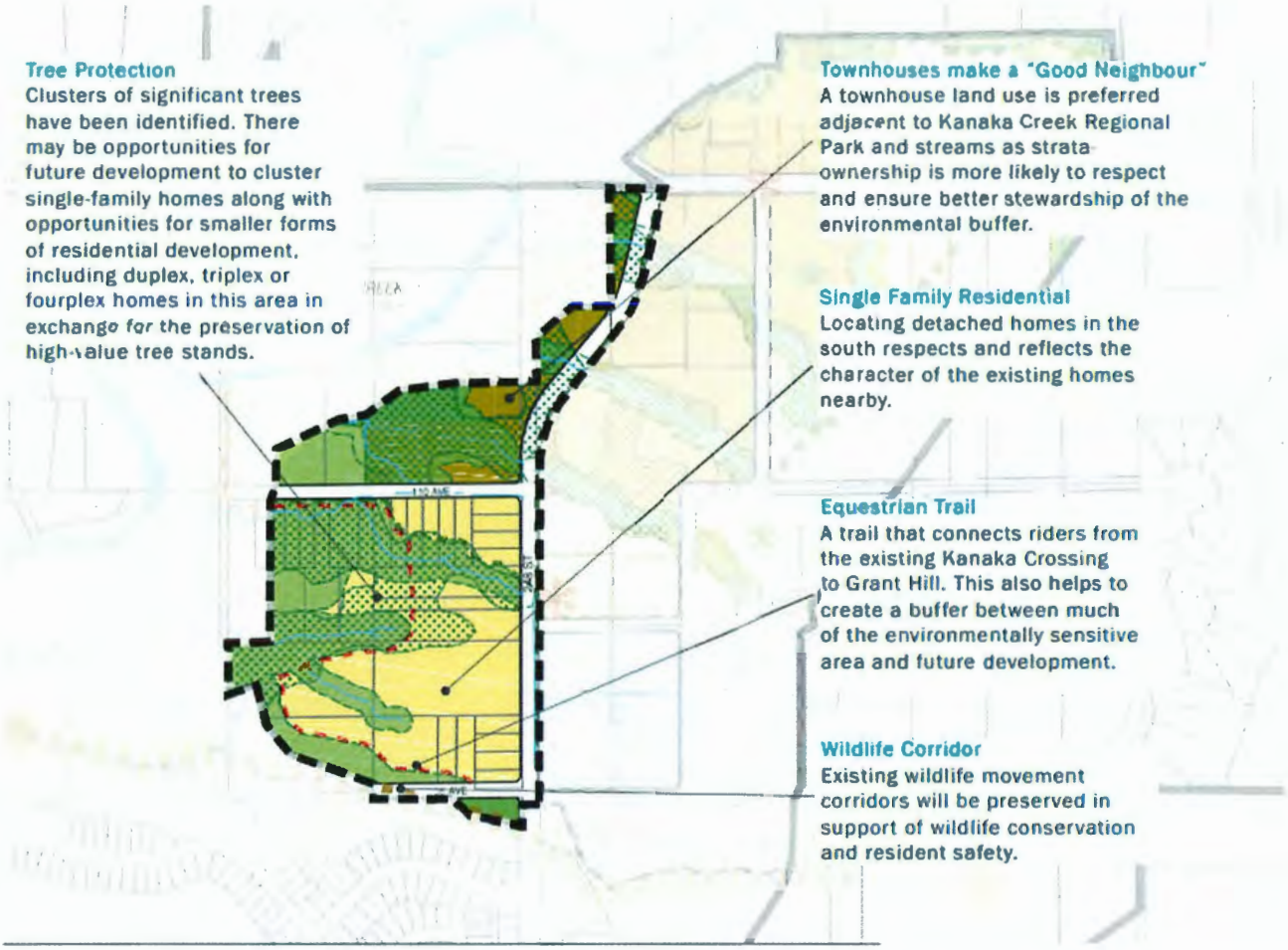
Elementary School
Provides an elementary school and co-located park at the location preferred by the School District at 248 Street and 110 Avenue.

Townhouse Residential
Provide a diversity of housing types located in areas near watercourses or on steep slopes where it is difficult to accommodate single-family residential development.

Cluster Residences
Encourage clustering of units to maximize environmental protection on steep slopes and in areas with significant tree clusters and sensitive habitats.

Duplex, Triplex, Fourplex
Ground-oriented multi-family homes with single-family character will sensitively introduce density near to the south village commercial node and elementary school.

West of 248 Street



10 – 46 North East Albion residential developments are to reflect and respect character elements of the existing residential inventory, North East Albion Plan and North East Albion Servicing Strategy Council Policy and Albion Area Plan.

Single Family

The North East Albion Area Single Family designation is intended for detached dwellings on rural to smaller urban lots, allowing for a range of homeownership opportunities.

10 – 47 Maple Ridge will encourage the inclusion of secondary suites and detached garden suites, where regulations permit, to enhance the range of housing affordability options.

10 – 48 The location of larger residential lots will be encouraged along the eastern Plan boundary, adjacent to the rural properties outside of the Urban Area Boundary, to respect and protect the Urban Area Boundary.

10 – 49 Rear-loaded forms of housing will be encouraged along collector and arterial roads.

10 – 50 A smooth transition between single family homes and more intensive forms of housing development, in particular for housing developments along 112th Avenue, 110th Avenue and 248th Street, should be provided through a range of lot sizes.

X-Plex (Duplex, Triplex, Fourplex)

The North East Albion Area X-Plex Land Use Designation provides for housing options with the outward appearance of a single-family home yet feature multiple units and distinct entries.

10 – 51 X-plex developments should be ground-oriented, rear-loaded housing forms along 248th Street and 110th Avenue and encourage rear-loaded housing forms along internal development roads, where possible.

Cluster Residential

The North East Albion Cluster Residential Land Use Designation is intended for multi-family units that are clustered together to minimize the development footprint and maximize environmental protection in sensitive areas. This designation is intended for ground-oriented multi-unit housing forms.

10 – 52 Maple Ridge encourages thoughtful site design for Cluster Residential sites that is considerate to the natural features and topography of the area. Site designs should protect environmentally sensitive areas and permanently preserve important natural features and open space.

10 – 53 Cluster residential developments are to locate ground-oriented, rear-loaded housing forms along 248th Street and 110th Avenue and along internal development roads, where possible.

10 – 54 Cluster residential developments are encouraged to provide more areas for open space, recreation and social interaction on site.

Townhouse

The North East Albion Townhouse Land Use Designation is intended to accommodate urban townhouses in areas with access to transportation, commercial services and public amenities.

10 – 55 Townhouse or strata developments are encouraged to locate adjacent to Kanaka Creek Regional Park as well as sensitive streams to ensure better stewardship of the environmental buffer.

10 – 56 North East Albion Area townhouses will consist primarily of two (2) to three (3) storey building forms that house multiple dwelling units. Stacked townhouses may also be considered.

10.2.5 ALBION VILLAGE COMMERCIAL

The Albion Area Plan contains a village commercial centre which will be implemented by a Village Centre Commercial (C-5) Zone. The commercial area will be encouraged to incorporate a building form that is street-front oriented, pedestrian friendly, and accommodate apartments above commercial space. The traditional shopping centre development form with large expanses of parking will not serve the village centre function.

POLICIES

General Commercial

10 - 57 The siting and form of commercial buildings and areas for parking and storage should facilitate orderly development and ensure the development presents a coherent image, identifying a pedestrian oriented village centre that appropriately integrates adjacent residential uses.

North East Albion Area Commercial

10 – 58 The North East Albion Area Plan identifies two commercial nodes (Schedule 2), which are envisioned as anchors for community activity: connected by trails, adjacent to new neighbourhood parks, and a short walk from trailheads into Kanaka Creek Regional Park.

10 – 59 The North East Albion Area Plan intends to blend commercial, residential and institutional uses to create an activated and animated street presence at the commercial nodes.

10 – 60 The North East Albion Area Plan anticipates the northern commercial node developing during early-stages of the Plan build-out. The second commercial node, adjacent to the elementary school site, allows for additional commercial space when sufficient demand exists.

10 – 61 Commercial nodes are to be sized appropriately to meet the needs of the growing North East Albion community with additional room to expand, as demand evolves.

10 – 62 Commercial nodes are anticipated to have capacity for approximately 4 – 6 shops with possible retail uses including café's, restaurants, or other small businesses. At least one commercial node, if not both, should contain child care or related services, subject to local demand.

10 – 63 Commercial nodes are anticipated to be two (2) – three (3) storeys, with multi-family apartments or townhouses stacked above ground-level commercial, allowing for both affordable home ownership and the possibility of rental housing. Commercial building heights should taper to adjacent lower density land uses to provide a sensitive transition.

10 – 64 Co-locating the commercial nodes adjacent to multi-family units is encouraged to help support commercial units and create areas of activity and gathering. To animate the streetscape, ground-oriented and street facing units are encouraged along 112th Ave, Lockwood Street, and 248th Street.

10 – 65 Village Commercial Development must also adhere to the Design Guidelines detailed in Section 8 Development Permit Guidelines.

10.2.6 ALBION ZONING MATRIX

LAND USE DESIGNATION	ZONE(S)
Low Density Residential	RS-1d One Family Urban (half acre) Residential*
Low / Medium Density Residential	RS-1 One Family Urban Residential RS-1b One Family Urban (Medium Density)* RT-1 Two Family Urban Residential R-1 Residential District, Subject to Policy 10.2.1A(2)(a)
Medium Density Residential	R-1 Residential District R-2 Urban Residential District R-3 Special Amenity Residential District RM-1 Townhouse Residential* RMH Mobile Home District
Albion Village Commercial	C-5 Village Commercial
Park	P-1 Park and School
Conservation	Current or proposed zoning would apply
Institutional	P-1 Park and School P-2 Special Institutional P-3 Children's Institutional P-4 Place of Worship Institutional P-4a Place of Worship Institutional & Educational P-6 Civic Institutional
* Density Bonus provisions and details are provided in each of these zones.	

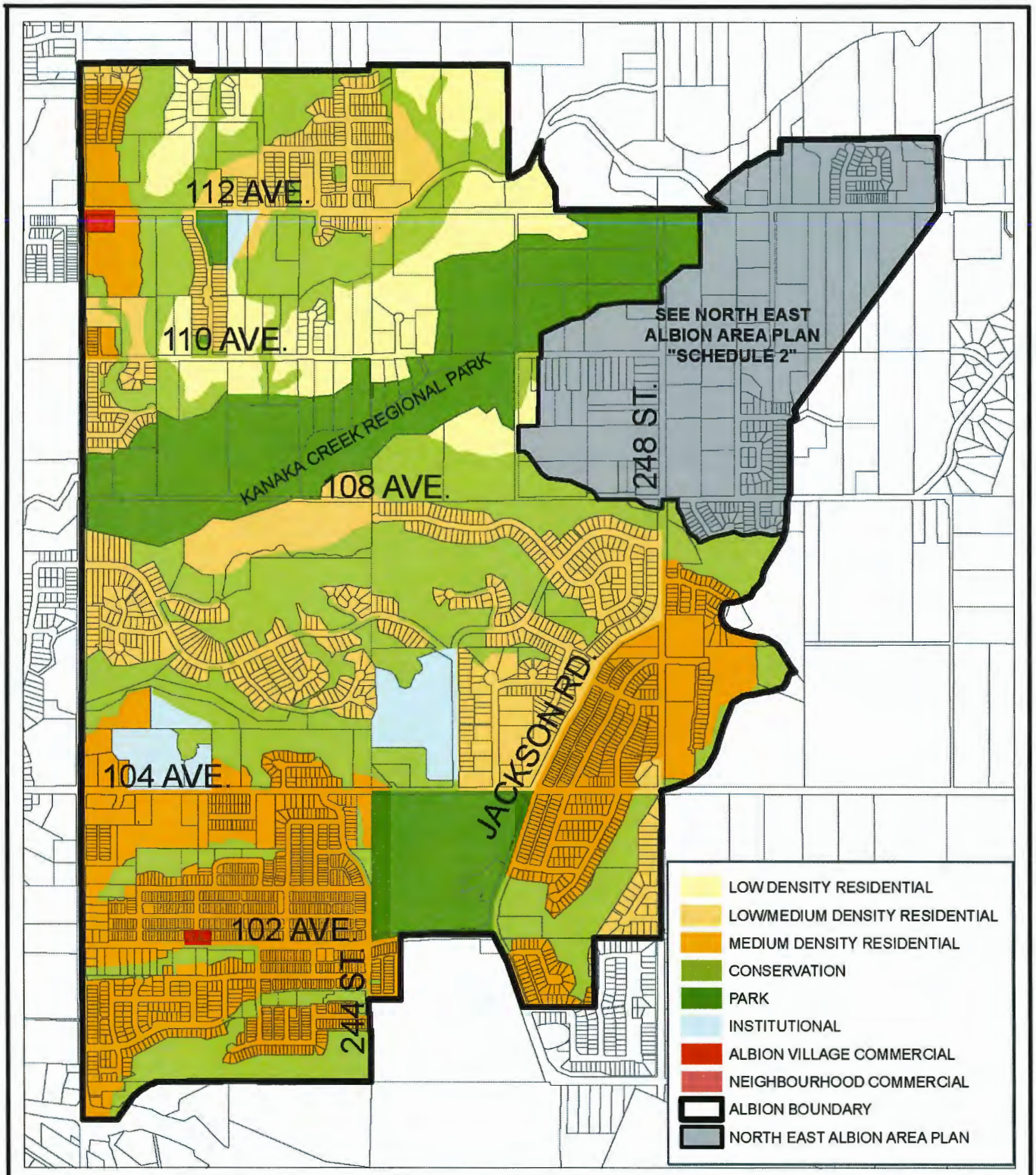
Conditions:

a) This Matrix is to be read in conjunction with the policies and criteria in the Albion Area Plan and Official Community Plan and is not the only source for determining applicable zones;
b) All zones corresponding to each land use designation or category may not be appropriate for a specific site, and are not applicable in all areas of the municipality;
c) Lot consolidation may be required to meet the minimum lot area, lot width and/or lot depth requirements of the Zoning Bylaw and/or Subdivision Control Bylaw;
d) The P-4 Place of Worship Institutional zones would be considered in all Land Use Designations subject to satisfying all requirements of the zone.

NORTH EAST ALBION AREA SPECIFIC	
LAND USE DESIGNATION	**ZONE(S)**
Townhouse	RM-1 Low Density Townhouse Residential * RT-3 Ground-Oriented Residential North East Albion RST-NEA Street Townhouse Residential – North East Albion R-2 Single Detached (Medium Density) Urban Residential R-3 Single Detached (Intensive) Urban Residential
Cluster Residential	RM-1 Low Density Townhouse Residential * RT-3 Ground-Oriented Residential North East Albion RST-NEA Street Townhouse Residential – North East Albion
X-Plex **(Duplex, Triplex, Fourplex)**	RT-1 Two-Unit Urban Residential RT-3 Ground-Oriented Residential North East Albion RST-NEA Street Townhouse Residential – North East Albion
Single Family	RS-1b Single Detached (Medium Density) Urban Residential * RS-1 Single Detached Residential *Along eastern Plan boundary* RS-1c Single Detached (Low Density) Residential RS-1d Single Detached (Half Acre) Residential *
Albion Village Commercial	C-5 Village Commercial
* Density Bonus provisions and details are provided in each of these zones.	

Conditions:

a) This Matrix is to be read in conjunction with the policies and criteria in the Albion Area Plan and Official Community Plan and is not the only source for determining applicable zones;
b) All zones corresponding to each land use designation or category may not be appropriate for a specific site, and are not applicable in all areas of the municipality;
c) Lot consolidation may be required to meet the minimum lot area, lot width and/or lot depth requirements of the Zoning Bylaw and/or Subdivision Control Bylaw;
d) The P-4 Place of Worship Institutional zones would be considered in all Land Use Designations subject to satisfying all requirements of the zone.



N

N.T.S.

ALBION AREA PLAN "SCHEDULE 1"

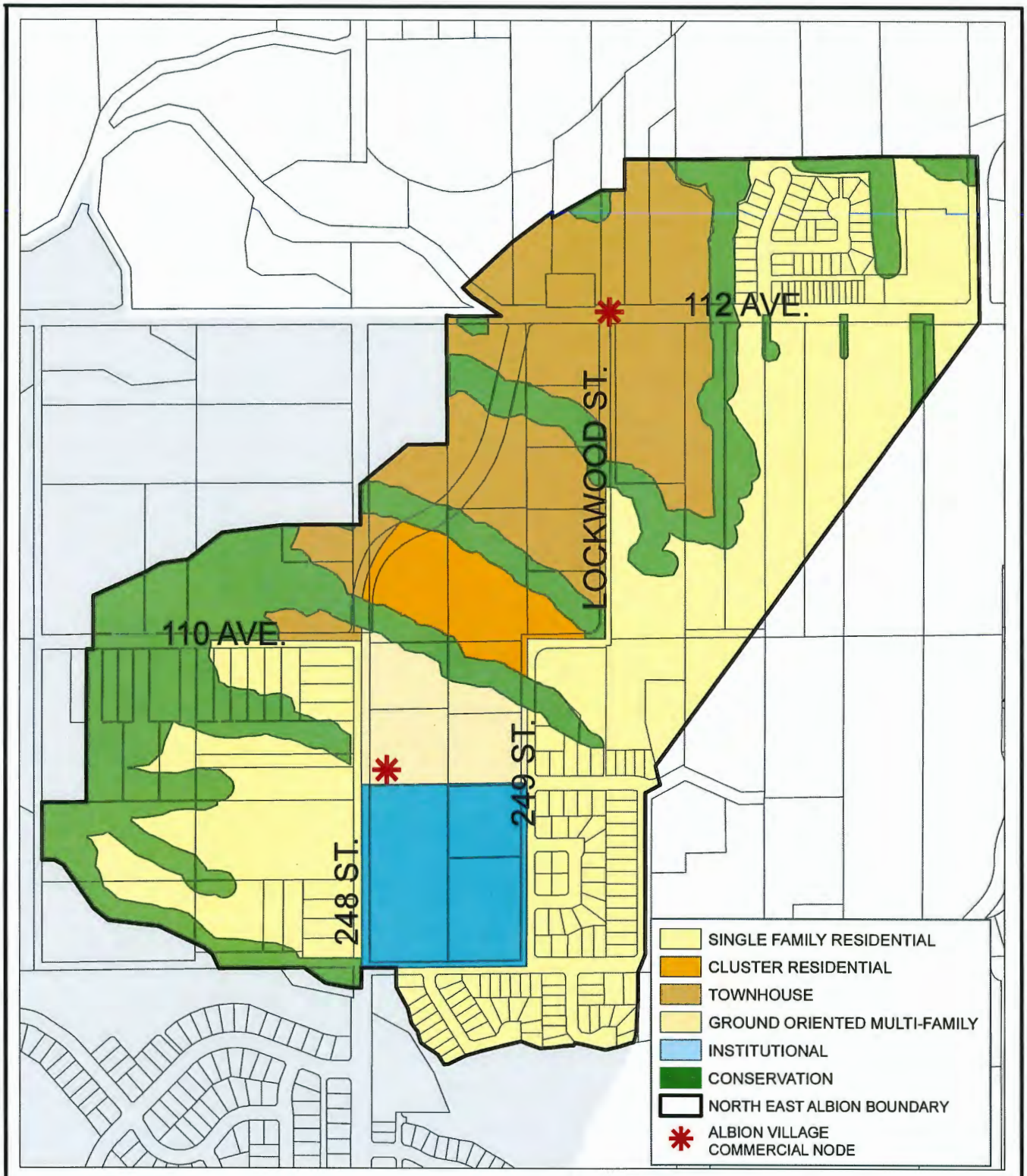
PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

DATE ADOPTED: MMM XX 2022
DATE OF LAST REVISION: MMM XX, 2022

BY: DT



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N.T.S.

NORTH EAST ALBION AREA PLAN "SCHEDULE 2"

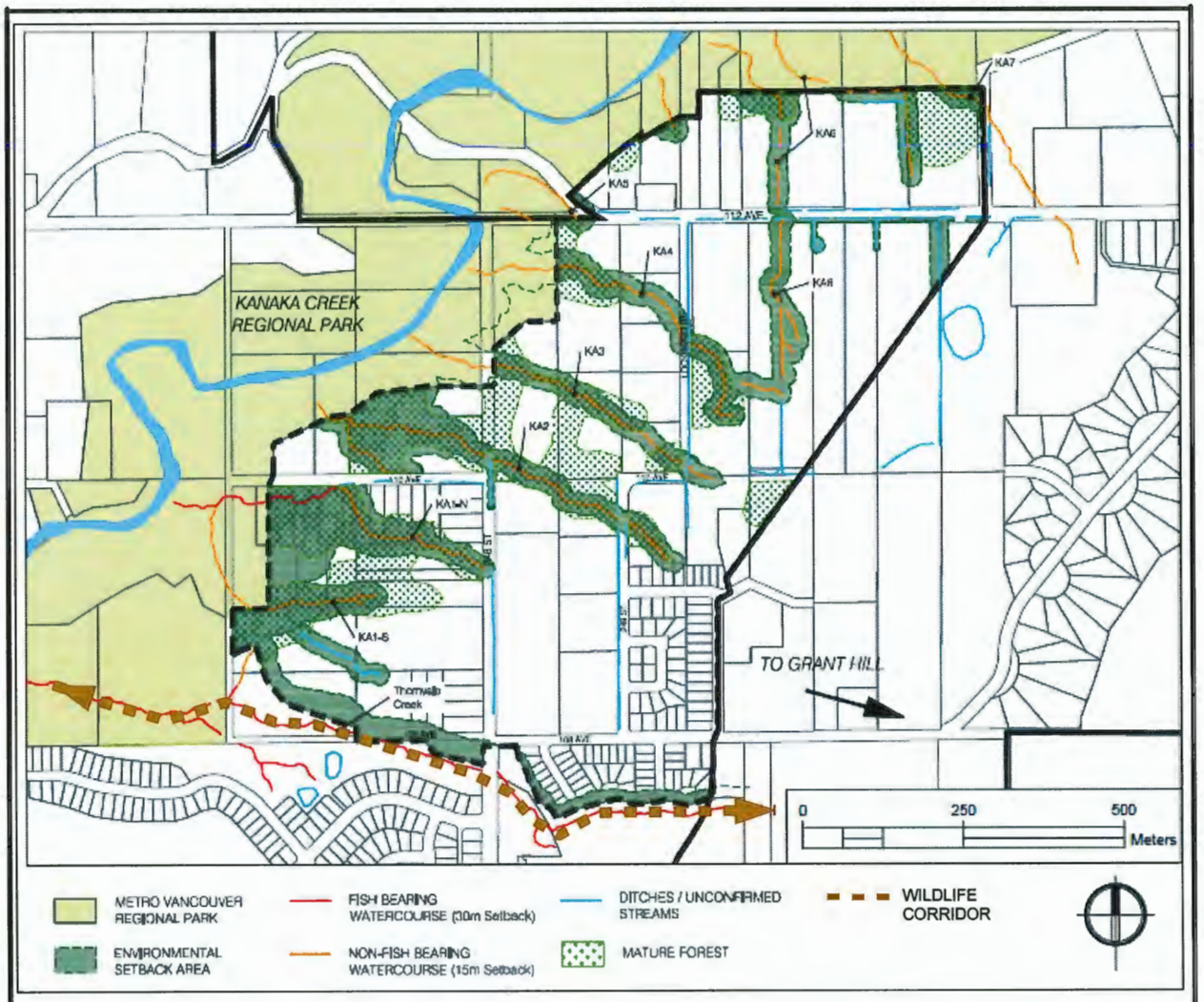
PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

DATE ADOPTED: MMM XX 2022
DATE OF LAST REVISION: MMM XX, 2022

BY: DT



N

N.T.S.

Figure 1

Watercourses and Mature Forests

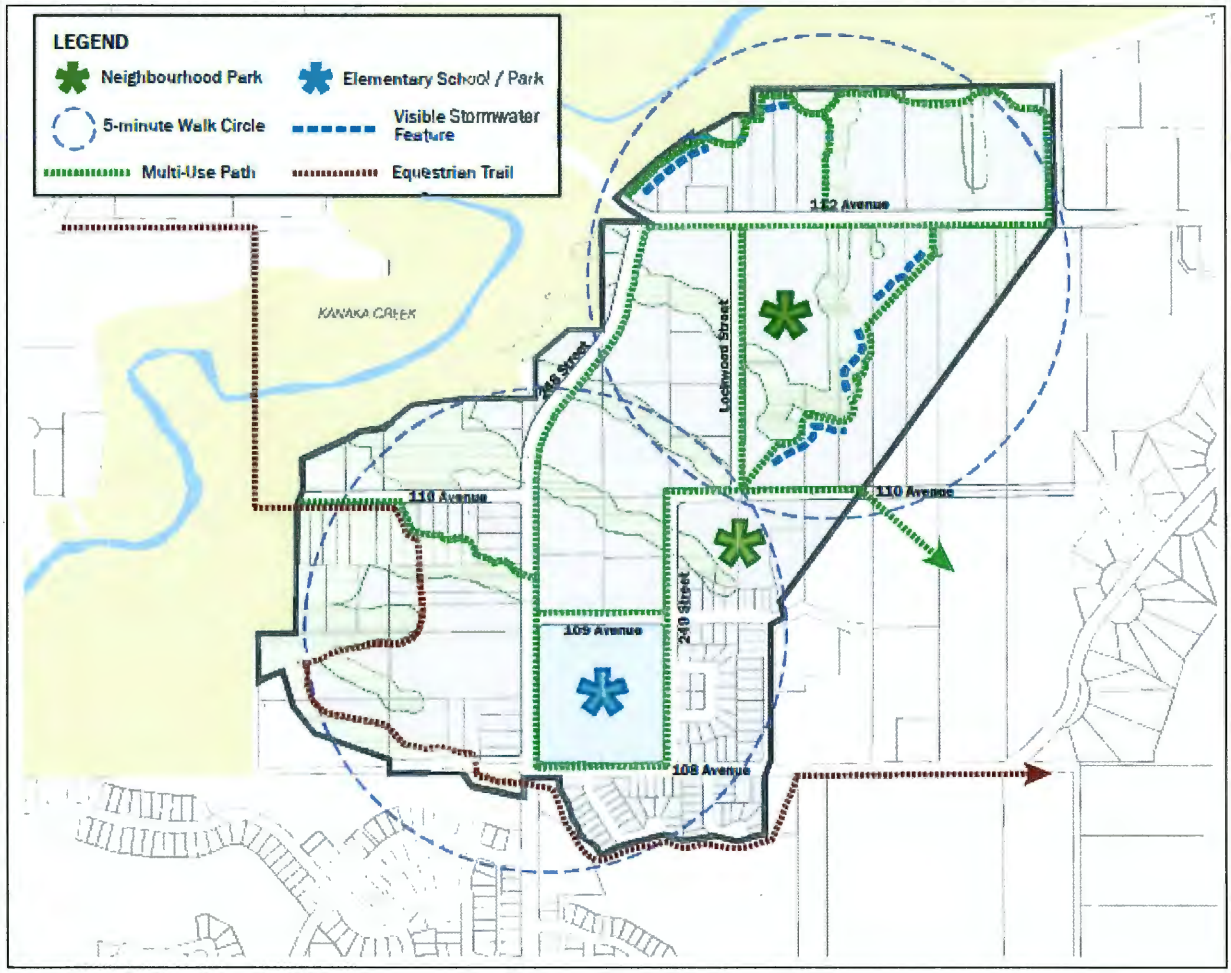
North East Albion Area Plan
Figure 1

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: NEAAP Figure 1.mxd
DATE: Jan 5, 2021 BY: DT



N

N.T.S.

Figure 2

Proposed Neighbourhood Parks and Trails

North East Albion Area Plan
Figure 2

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
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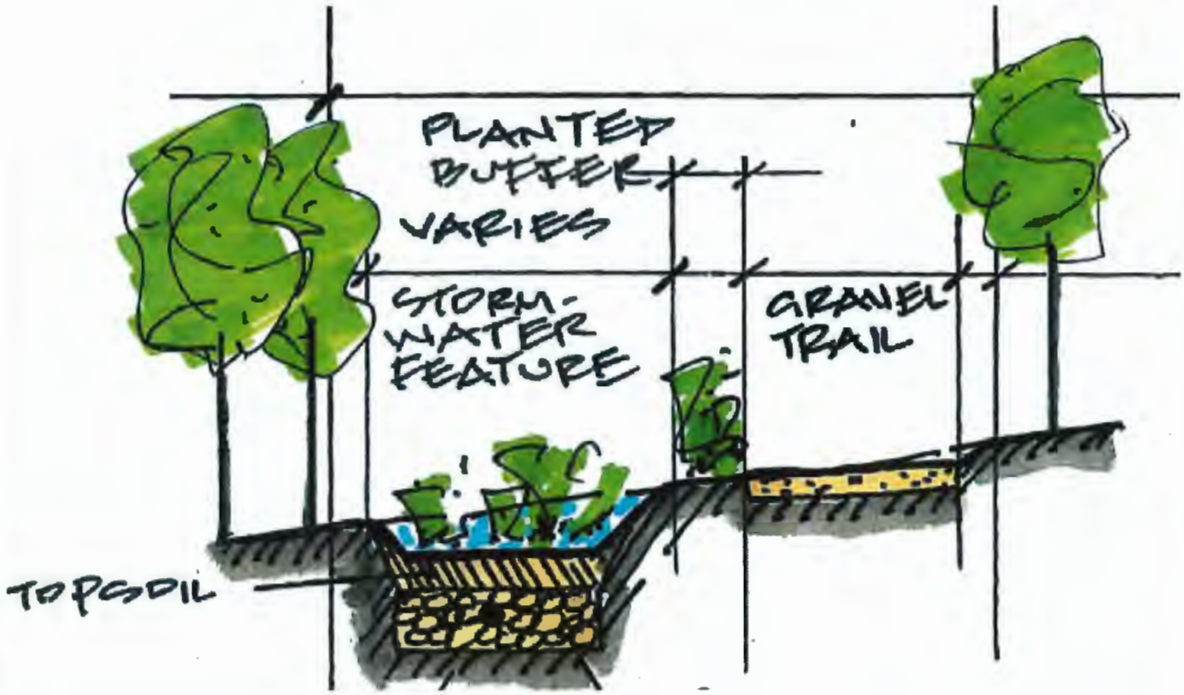
FILE: NEAAP Figure 2.mxd
DATE: Jan 5, 2021 BY: DT



N

N.T.S.

Figure 3

Trail and Stormwater Feature Section

North East Albion Area Plan
Figure 3

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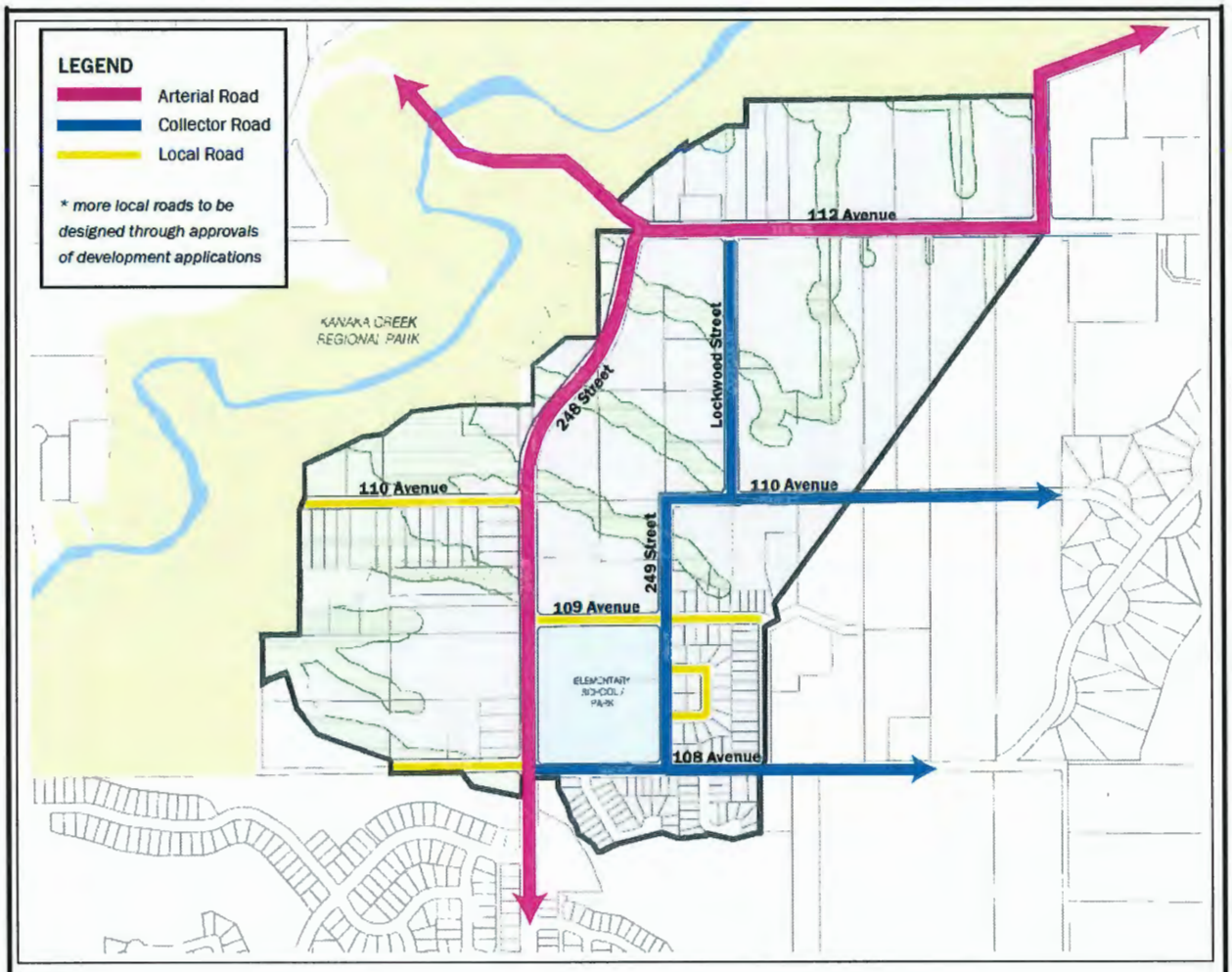
FILE: NEAAP Figure 3.mxd
DATE: Jan 5, 2021 BY: DT



N

N.T.S.

Figure 4

Proposed Road Network

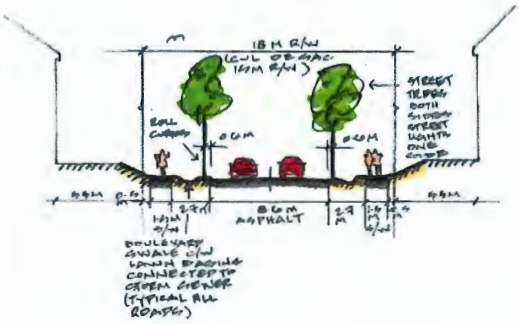
North East Albion Area Plan
Figure 4

PLANNING DEPARTMENT

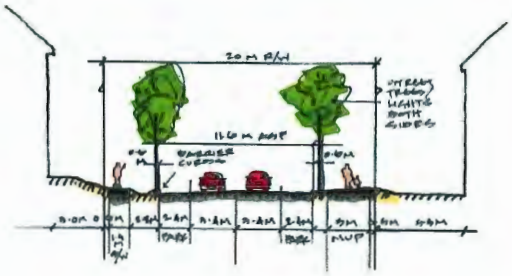
MAPLE RIDGE
British Columbia

mapleridge.ca

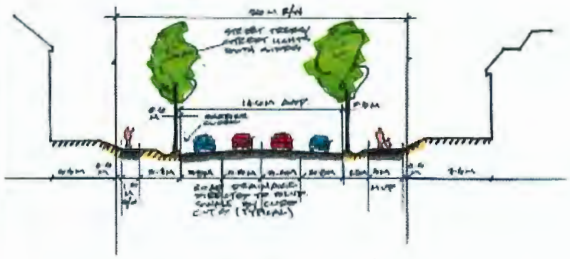
FILE: NEAAP Figure 4.mxd
DATE: Jan 5, 2021 BY: DT



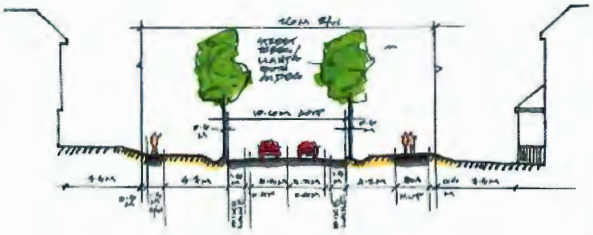
Typical Section, Local Road



Typical Section, Collector Road



Typical Section, 248 Street



Typical Section, 112 Avenue

N

N.T.S.

Figure 5

Road Sections

North East Albion Area Plan
Figure 5

PLANNING DEPARTMENT

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British Columbia

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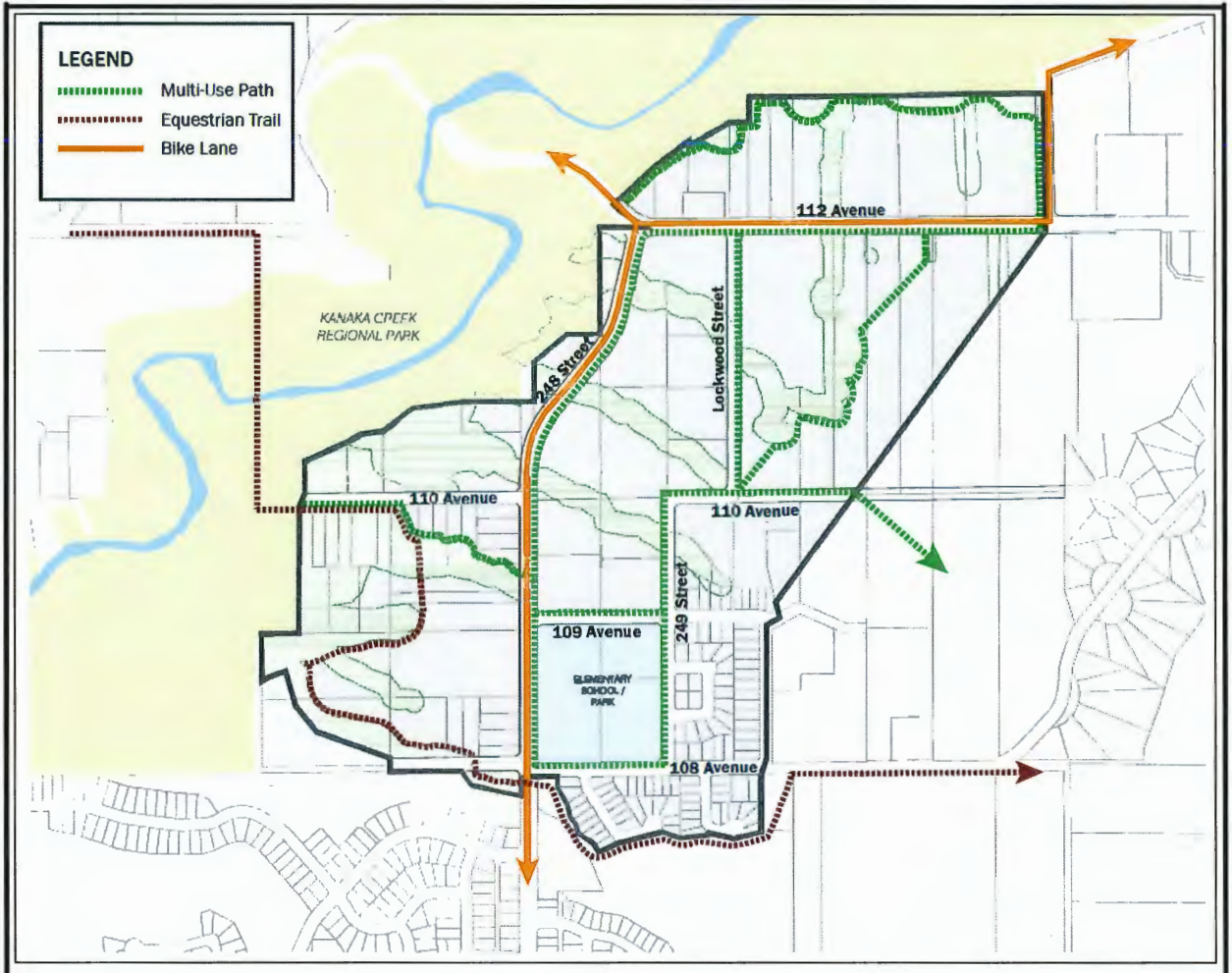
FILE: NEAAP Figure 5.mxd
DATE: Jan 5, 2021 BY: DT



N

N.T.S.

Figure 6

Proposed Bike Lanes, Multi-Use Path and Trails

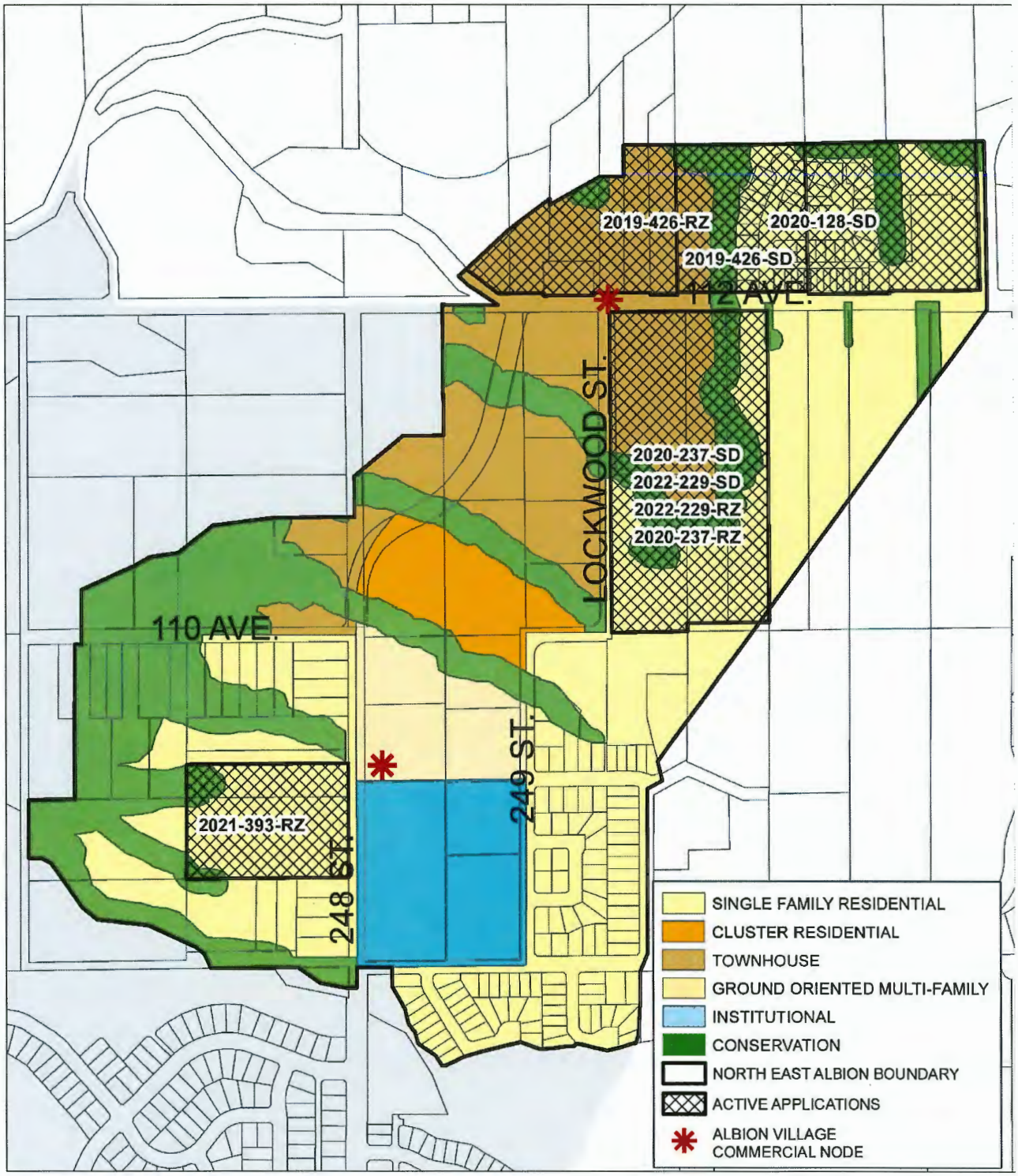
North East Albion Area Plan
Figure 6

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: NEAAP Figure 6.mxd
DATE: Jan 5, 2021 BY: DT


2019-426-RZ
2020-128-SD
2019-426-SD
112 AVE.
LOCKWOOD ST.
2020-237-SD
2022-229-SD
2022-229-RZ
2020-237-RZ
110 AVE.
249 ST.
2021-393-RZ
248 ST.
SINGLE FAMILY RESIDENTIAL
CLUSTER RESIDENTIAL
TOWNHOUSE
GROUND ORIENTED MULTI-FAMILY
INSTITUTIONAL
CONSERVATION
NORTH EAST ALBION BOUNDARY
ACTIVE APPLICATIONS
ALBION VILLAGE COMMERCIAL NODE

Agricultural Land Commission
201 – 4940 Canada Way
Burnaby, British Columbia V5G 4K6
Tel: 604 660-7000 | Fax: 604 660-7033

March 2, 2022

Reply to the attention of Shannon Lambie
ALC Planning Review: 46807
Local Government File: 2019-046-CP

Amanda Grochowich, MCIP, RPP
Planner, City of Maple Ridge
agrochowich@mapleridge.ca

Re: North East Albion Area of CMR Albion Area Plan

Thank you for forwarding a draft copy of Official Community Plan Amending Bylaw No. 7698 – 2021 (the "Proposal") for review and comment by the Agricultural Land Commission (ALC). The following comments are provided to help ensure that the Proposal is consistent with the purposes of the *ALC Act*, the Agricultural Land Reserve (ALR) General Regulation, the ALR Use Regulation, and any decisions of the ALC.

The Proposal is intended to update the policies and land use designations within the North East Albion Area by removing the original Albion Area Plan and replacing it with 10.2 Albion Area Plan.

The North East Albion Area Plan stretches from 112 Avenue to the North down to 108 Avenue to the South, and is bordered by Kanaka Creek Regional Park to the West and Morrisette Place to the East. The Plan area is not within the ALR; however, the northern perimeter of the plan boundary is adjacent to ALR lands that are located within Kanaka Creek Regional Park. Given that the ALR lands adjacent to the plan area are within a regional park, standard recommendations regarding buffering and setbacks are less relevant; as such, ALC staff have no objection to the Proposal.

*****

The ALC strives to provide a detailed response to all referrals affecting the ALR; however, you are advised that the lack of a specific response by the ALC to any draft provisions cannot in any way be construed as confirmation regarding the consistency of the submission with the ALCA, the Regulations, or any decisions of the Commission.

This response does not relieve the owner or occupier of the responsibility to comply with applicable Acts, regulations, bylaws of the local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.

If you have any questions about the above comments, please contact the undersigned at 236-468-2026 or by e-mail (shannon.lambie@gov.bc.ca).

Yours truly,

PROVINCIAL AGRICULTURAL LAND COMMISSION

S. Lambie

Shannon Lambie, Regional Planner

CC: Ministry of Agriculture – Attention: (jeffrey.weightman@gov.bc.ca)

46807m1

Regional Planning and Housing Services
Tel. 604-451-6024

February 17, 2022

File: CR-07-01-MRI
Ref: 50644041

Amanda Grochowich, Planner
City of Maple Ridge
1195 Haney Place
Maple Ridge, BC V2X 6A9
VIA EMAIL: agrochowich@mapleridge.ca

Dear Ms. Grochowich:

Albion Area Plan – North East Portion, Your File No. 2019-046-CP

Thank you for the opportunity to review and comment on this Official Community Plan amendment application, pertaining to the North East Portion of the Albion Area Plan. This letter provides comments from Metro Vancouver staff from the Parks and Environment, and Water Services Departments.

Parks and Environment
The North East Portion of the Albion Area Plan is located along the Kanaka Creek Regional Park boundary, existing urban and rural residential communities, conservation areas, and Kanaka Creek Regional Park. Future development in the area is intended to support a complete community with a focus on environmental stewardship. The amendments currently proposed include adding the policies specific to the North East Portion into the overall Albion Area Plan.

Regional Parks staff have been engaged in the engagement process of the preparation of the policies for the Albion Area Plan. A formal response from Metro Vancouver was provided in 2019 after participation in design charrettes, the comments from which are repeated below for consistency. Staff have been working with the City on a case-by-case basis with some early development permits.

Multi-use Trail Connections
Proposed trail connections shown within the Concept Plan are consistent with the trails concept from the 2004 Management Plan which shows community trails linking with strategic locations within Kanaka Creek Regional Park.

Servicing
Thank you for preparing and circulating the technical memo in relation to the proposal for engineering servicing (sanitary and water) crossing Kanaka Creek at 112th Avenue. We understand that there is a potential future opportunity for trail connectivity as part of this

servicing corridor and see this as beneficial to achieving better trail connectivity. We look forward to remaining engaging with the city in relation to site planning for sanitary pump stations PS1 and PS2. We note that the Concept Plan shows sanitary pump station PS2 (end of 110 Ave) located within the boundaries of Kanaka Creek Regional Park.

Parkland Interfaces
Strategy 3.1 of *Metro 2040*, the regional growth strategy (Protect Conservation and Recreation Lands) calls for municipalities to include policies, where appropriate, that effectively buffer Conservation and Recreation lands from activities in adjacent areas. Creating a buffer to those lands, in areas such as Kanaka Creek Regional Park, is consistent with this strategy. We look forward to remaining engaged with the City to create appropriate interfaces and buffers with parkland that protect parkland trees, address potential human impacts and mitigate any potential public safety risks posed by the south bank cliffs of Kanaka Creek.

Water Services
Presently, there are no Metro Vancouver assets located within the North East Albion Area as the City of Maple Ridge supplies water to this area. Water service is proposed to be supplied to the proposed redevelopment area by the City using the existing Albion infrastructure with redundancy provided by the Grant Mountain Reservoir. Water Services staff request that an estimate of the increased demands from the Metro Vancouver water system, and where it will be drawn from, be provided when available to determine the sizing and planning timelines for any necessary infrastructure upgrades.

Thank you for providing Metro Vancouver with the opportunity to comment on this proposed amendment. We look forward to continuing to work with you to ensure that the growth planned through this and other development continues to align with the Regional Growth Strategy and the City's Regional Context Statement.

If you have any questions, please contact me by phone at 604-451-6024 or by email at Carla.Stewart@metrovancouver.org.

Sincerely,

Carla Stewart, MCAHP, RPP, MCIP
Senior Planner, Regional Planning and Housing Services

CS/JS/cs

50988461

metrovancouver
SERVICES AND SOLUTIONS FOR A LIVABLE REGION

Regional Parks, East Area Office
Tel. 604-530-4983 Fax 604-530-5251

February 13, 2020

File: PA-03-01 - KAN

Amanda Grochowich, Planner
City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9
VIA EMAIL: agrochowich@mapleridge.ca

Dear Ms. Grochowich:

Re: North East Albion Land Use and Servicing Concept Plan

Thank you for providing Metro Vancouver Regional Parks the opportunity to review and comment on the Land Use and Servicing Concept Plan for North East Albion. Regional Parks staff are grateful for the opportunity to work with the City of Maple Ridge and participate in the development of the concept plan.

Kanaka Creek Regional Park bounds the concept plan area to the north and west. The Kanaka Creek Regional Park Management Plan was adopted by the Greater Vancouver District Board of Directors on April 30, 2004 and outlines goals, objectives policies and land-use guidance and partnership opportunities for the park's management and development over the following twenty years. Staff have reviewed the North East Albion Land Use and Servicing Concept Plan endorsed by City of Maple Ridge Council on October 1, 2019 and understand that the development and servicing of North East Albion will provide opportunities and challenges for Kanaka Creek Regional Park. These include; trail connectivity, wildlife corridors, watercourse and aquifer protection and altered park interfaces.

Multi-use Trail Connections
Proposed trail connections shown within the Concept Plan are consistent with the trails concept from the 2004 Management Plan which shows community trails linking with strategic locations within Kanaka Creek Regional Park.

Servicing
Thank you for preparing and circulating technical memo in relation to the proposal for engineering servicing (sanitary and water) crossing Kanaka Creek at 112th Avenue. We understand that there is potential future opportunity for trail connectivity as part of this servicing corridor and see this as beneficial to achieving better trail connectivity.

36888613

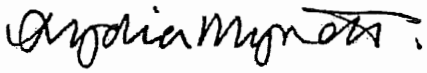
We look forward to remaining engaging with the city in relation to site planning for sanitary pump stations PS1 and PS2. We note that the Concept Plan shows sanitary pump station PS2 (end of 110 Ave) located within the boundaries of Kanaka Creek Regional Park.

Parkland Interfaces

Strategy 3.1 of the Regional Growth Strategy - Protect Conservation and Recreation Lands calls for municipalities to include policies, where appropriate, that effectively buffer Conservation and Recreation areas from activities in adjacent areas. Creating a buffer to conservation and recreation lands such as Kanaka Creek Regional Park is consistent with this strategy. We look forward to remaining engaged with the City in order to create appropriate interfaces and buffers with parkland that protect parkland trees, address potential human impacts and mitigate any potential public safety risks posed by the south bank cliffs of Kanaka Creek.

We would like to request that Metro Vancouver Regional Parks are engaged as a neighboring landowner as the concept plan moves forward to become part of the City of Maple Ridge's Official Community Plan and resultant Development Applications. Thanks once again for the opportunity to be a part of the emerging neighbourhood plan

Sincerely,



Lydia Mynott, Park Planner MBCSLA
Regional Parks, East Area

LM/DP/ke

36888613

School District 42
Maple Ridge & Pitt Meadows
Learning Today, Leading Tomorrow

February 10, 2022

City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9

Attention: Amanda Grochowich

Dear Ms. Grochowich:

Re: File #: 2019-046-CP
Subject: Formal Referral Request: Re-designation of the North East Albion portion Of the City of Maple Ridge Albion Area Plan

The proposed application would affect the student population for the catchment areas currently served by Albion Elementary, Blue Mountain Elementary, c̓əsqənelə Elementary, Garibaldi Secondary and Samuel Robertson Technical Secondary.

Albion Elementary has an operating capacity of 455 students. For the 2021/22 school year the student enrolment at Albion Elementary is 494 (108% utilization) including 94 students from out of catchment.

Blue Mountain Elementary has an operating capacity of 315 students. For the 2021/22 school year, the student enrolment at Blue Mountain Elementary is 376 (119% utilization) including 93 students from out of catchment.

c̓əsqənelə Elementary has an operating capacity of 655 students. For the 2021/22 school year, the student enrolment at c̓əsqənelə Elementary is 711 (108% utilization) including 111 students from out of catchment.

Garibaldi Secondary has an operating capacity of 1050 students. For the 2021-22 school year the student enrolment at Garibaldi Secondary is 1417 students (134% utilization) including 273 students from out of catchment.

Samuel Robertson Technical Secondary has an operating capacity of 600 students. For the 2021-22 school year the student enrolment at Samuel Robertson Technical Secondary is 1053 students (175% utilization) including 158 students from out of catchment.

Sincerely,

Flavia Coughlan
Secretary Treasurer
The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Ihor Politylo
David Vandergugten
Derek Oppedisano

School District No. 42 | Maple Ridge - Pitt Meadows
22225 Brown Avenue Maple Ridge, BC V2X 8N6
Phone: 604.463.4200 | Fax: 604.463.4181

Maple Ridge referral responses: NE Albion area
2022-06-09

Hi Amanda,

Thank you again for the opportunity to review and comment on these two Maple Ridge referrals: Cliff Avenue properties and the North East Albion Area. TransLink comments are respectively provided below for each referral. The comments are based upon:

- TransLink's legislated mandate to review OCP amendments and development proposals for regional transportation implications, and to support Metro Vancouver's Regional Growth Strategy (RGS); and
- Policy direction in Transport 2050, the regional transportation strategy, to work with partner agencies in advancing shared regional objectives and integrated land use and transportation planning.

North East Albion Area Plan update

The North East Albion Area Concept Plan is intended as an update to the Maple Ridge OCP and an update to the Albion Area Plan therein. The area is within the urban containment boundary and designated for General Urban use, though not within an Urban Centre or Frequent Transit Development Area. Current transit service is limited and the area is not identified as a MTN corridor in Transport 2050. The Transit Service Guidelines are included here as a reference, as these guidelines outline land use characteristics which determine potential levels of future transit service and may help provide a sense of expectation for the City and this community as it develops.

The NE Albion Concept Plan includes commercial nodes intended to provide local shopping options for the community, as well as a series of proposed paths and trails providing active transportation connections within the neighbourhood and onward. TransLink supports the inclusion of these aspects, noting that Transport 2050 seeks to have at least half of all trips by transit or active transportation by 2050. Providing local retail and a complete active travel network will enable residents to walk or roll to destinations instead of travelling by private vehicle. We also note that Metro Vancouver's Regional Greenway Network is anticipated near the NE Albion area, and encourage coordination with Metro Vancouver staff to seamlessly link these proposed active travel networks.

As part of this reply, I am also copying Susan Lightfoot, my fellow senior planner in our Partner Planning team. Susan will likely be the planner responding to future referrals in Maple Ridge, so I wanted to share that information and her email with you. If there are questions about any of the above, please feel free to reach out to me.

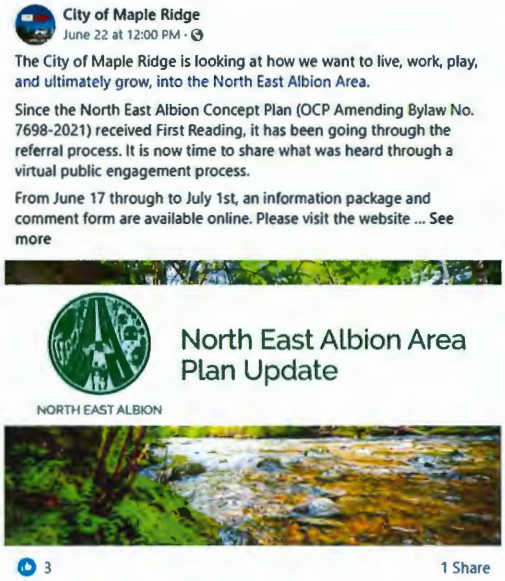
Cheers,
Zak

Zak Bennett *(he/him)*
Senior Planner, Partner Planning
Transportation Planning & Policy
TransLink

Virtual Public Process

Instagram & City Spotlight:

Facebook:



Newspaper:

NORTH EAST ALBION

NORTH EAST ALBION AREA PLAN UPDATE

The City of Maple Ridge is looking at how we want to live, work, play, and ultimately grow, into the North East Albion Area.

Since the North East Albion Concept Plan (OCP Amending Bylaw No. 7698-2021) received First Reading, it has been going through the referral process. It is now time to share what was heard through a virtual public engagement process.

From June 17 through to July 1st, an information package and comment form are available online. Please visit the website at ***mapleridge.ca/2214*** for the latest information and to share your thoughts on the area plan development.

Live Play Grow

HAVE QUESTIONS?

Contact Amanda in the the Planning Department at:
604-463-5221 ext 5566
northeastalbion@mapleridge.ca

11995 Haney Place,
Maple Ridge BC V2X 6A9

MAPLE RIDGE
British Columbia

Comment Card Responses:

Question 1 - List one or more elements that you like or support about the North East Albion Area Plan:
Park space and commercial space like coffee shop would be nice.
The plan for walkways linking the different areas through nature. The spot for a park/playground as we have nothing within walking distance. The commercial opportunity in the village area as we have nothing close. The school.
Retail
Bringing servicing and skme services to the area.
Plan area should also include connecting Grant hill subdivision to city services
Plan should include GRANT HILL subdivision to be connected to city services
Grant Hill connection to city sewer/services
Right now; nothing. The roads are way too narrow, kanaka park and wild life are completely distrusted, when we bought in grant hill we were told by the city that they would never develop townhouses etc and if they did they would be connecting grant hill to city services.
Grant Hill Water utilities not connected to City
Would like to have city septic to attach to grant hill for Carmichael street residents.
Please connect Granthill Estates to City sewage. Thanks
Multiple retail sites. School. Townhomes.
I support the overall vision and opportunity for people to express their views
Green/park space
I support development in the area along with the creation of new recreational areas and trail systems. However, I would like to see this done in a fashion that respects the environment and natural beauty of the area and minimizes the construction of new roadways that will create noise and also damage the environment and the area's character.
More green space and parks. A market. No more homes please
Some thought has been given to the impact of development in this fragile, natural area.
None
Adding small commercial spaces to the plan. Mixed housing style.
Like the nature trails and green spaces/ protecting the natural environment for our wild life.
There is lot of homes without stores, commercial and community centre
I like the shopping areas. I hope there are more meeting areas for the community such as a courtyard where people can have coffee and or lunch. I like how the green space is being maintained.
Grant Hill estates - include subdivision with the city utilities and sewer system into the plan.
that there seems to be a focus on the services required for the area when increasing the population density
Green space

Question 2 - Are there any elements of the Plan that you do not like or would like to change?
Less density. Seems much higher density with 209 t/h. There is not much space on 112th.
I don't think so as long as nature is preserved and also the roads are planned with more density in mind as the new 112 is quite narrow and the turn onto Lockwood is narrow and crazy and sight lines at 108 there are minimal. Will there be good river access off 112 once pump station construction is done?
Less housing, more commercial and parks
Need to connect the existing subdivision to the east (grant hill) and include that area in this plan area.
Narrow streets, too many developments, will cause a lot of traffic when people heading to work and coming home. Disrupting the wild life, getting rid of natural beautiful surroundings. Also, why is it so easy for the city to allow subdivisions that big to be built by a park, but can't extend the city services up the road on Bosonworth at least, since we're on a city street anyway?' We need Connecting of the Grant Hill subdivision to city services"
We hope that as the neighborhood develops; we don't need to rely on the small water cleaning utilities
Bring city sewer to grant hill estates neighbours located on Carmichael street
More park space.
Please extend city services to Grant Hill subdivision.
Too many houses. There are already too many houses here and not enough services to support. Also road infrastructure in maple ridge already cannot support the amount of residents
I do not support the widening of 248th St or the linking of 248th St. with 112th Ave for the following reasons: 1. Doing so and joining with Jackson Rd would create a "speedway" and thereby a potential safety issue for residents. Jackson Rd is already known for traffic going too fast. Widening 248th St and linking to 112 Ave would promote more traffic and faster traffic. This also does not adhere to the philosophy of "retaining the environment and it's character" that the city led us to believe would be an integral part of any development in the area. 2. Doing so will negatively impact the environment and wildlife in the area. Clearing the forested areas required to build the attaching roadway will unnecessarily remove habitat that local wildlife rely on. 3. There are already existing roadways that link to 112th Ave that could be enhanced with roundabouts etc. to provide proper and safe access to the area. i.e. - 108th Ave to Lockwood St. which joins to 112 Ave.
No more town homes
It is no longer a pedestrian or bicycle friendly area and I would not consider walking along this dangerous stretch of roadway.
The destruction of the environment for a tax base
Addition of more multi use trails. Making sure that adequate parking is mandated within each development type. Today, Townhouse complexes in the area have inadequate parking onsite; which has encouraged significant spillage of parking into neighbouring streets. This will be important as it does not appear that this area will be a Translink priority for many years.
too much high density/ multi family development. Need more single family larger lot developments. Plan area also needs to include connecting the Grant Hill Subdivision to City Services.
LESS townhomes! Getting to this area is already difficult due to congestion with too many people living in one condensed area! Maple Ridge doesn't have enough roads to get you in. Traffic 24/7 now with all the build after 240th. I'm starting to hate living here. My area used to be so lovely. Now it takes me half an hour to get from 203rd to 240th. what a nightmare.

Needed lot more stores in the area, required development to apartments to have ground level stores, services, please include a movie studio
I think there are way too many townhomes. There is an over development of homes and not enough resources. We need more doctor offices, massage places, breweries, good restaurants, and coffee shops,
Please add Grant Hill estates - 108 Carmichael street and Godwin drive homes into the city municipality system
there is no focus that I could see on the transportation west of the area. These roads are already full. Adding more density before the roads are improved, hoping that people will take transit, is not a good idea.
townhouses/ road infrastructure c as t in my opinion handle that much more traffic

Question 3 - Let us know if you have any other thoughts or general comments:
People drive dangerously fast on 112th frequently cutting corners. The newly placed curbs on 112th with the very narrow roadway is very dangerous. I was nearly hit by a semi truck whose back tires cut over the line. With the curb there is no where to go, no shoulder or room to move over. I couldn't believe the road was still that narrow after it reopened. Poor planning.
Want access to river/beach on 112 where pump station is...maybe even spruce it up from what it was (fishing hole trail). With more density and future school, something might need to be considered with 108ve hill coming down from grant hill as traffic isn't frequent but it absolutely flies down really fast!
Less townhomes in this area
Please connect the Grant Hill subdivision to the city's sewer system.
Plan should include GRANT HILL subdivision to be connected to city services
The plan should include adding the Grant Hill subdivision to city services
Grant hill has been dealing with the construction of the new developments for over a year, and will continue for years. Why not connect it to city services that we already pay for?! Oh
"Plan area should also include connecting the Grant Hill subdivision to city services"
Grant hill is still strata base and has its own water cleaning facility. We would like Grant hill to be connected to the city water plant.
I am concerned about the number of cars which will be using the roads in this area when the town houses are built.
In the current plan, the reaidential area around Carmichael street is not included. Please include this new and upcoming area to the plan.
All properties with parking for the public/guests should have multiple EV charging stations.
N/A
Stop building houses anytime you acquire a piece of land. Do some actual community planning with all services and infrastructure
Residents in the area have not yet been informed how our well water will be protected during construction and development in the affected area. Has the city considered this? All of the residents along 248th St and 110th Ave depend on Wells that provide clean water to our households. I'm concerned that construction of roads and buildings will disturb and negatively impact our watersupply.
A market, more parks

Our mailbox is located at the corner of 252nd Street and 112th Avenue. It has been very difficult to access our mailbox with the development going on. The road has really narrowed and there is no parking for mail pickup on the north side of 112th Avenue. Is there a plan in place for a more accessible location for mail pickup for the residents of 112th Avenue between 252nd Street and 256th Street?
I sent a message earlier about the trucks using their air brakes. After mentioning it to my husband, he corrected me and said the truckers are using their JAKE brakes. Their is no signage on 112th Avenue and a sign was knocked down by a snow plow during the winter and was not replaced.
One wildlife corridor? Did you let wildlife know?
Please mandate that developers consider active ways of mitigating building disruption in the area - impacts on animals, residents, schools etc.. The encompasses animal corridors and is home to a sizeable number of animals, fish and birds. This is an infill area with significant residential development and schools on all approaches. The roadways are narrow and not generally suitable for heavy vehicle traffic.
Plan area should also include connecting the Grant Hill subdivision to city services.
Why there are no commercials or fast food restaurants in this area?
Albion doesn't need more housing. We need more resources. More places to go. Make maple ridge a nice place to visit and hang out. Everytime I want to hang out I usually go to Fort Langley. Stop building more townhomes. We don't want another Willoughby area like in Langley!!!
Good plan in progress. Please include the Granthill estates subdivision into the Northeast Albion area plan process. It would be great to include it into the city municipality system
Add Grant Hill to the sewerage plan.
I've lived in Maple Ridge since 1979, when the population was < 40,000, but the transportation infrastructure has barely changed.
we need to bring in shopping not more townhouses.

MAPLE RIDGE
British Columbia
mapleridge.ca

POLICY MANUAL

Title: North East Albion Servicing Strategy Policy	Policy No.: 6.35 Supersedes: Amended:
Authority: Legislative ☒ Operational ☐	Effective Date: July 26, 2022
Approval: Council ☒ CMT ☐ General Manager ☐	Review Date: July 26, 2025

Policy Statement:
The North East Albion Land Use Concept Plan and Servicing Strategy (the "**Servicing Strategy**"), endorsed in October 2019, includes a detailed Servicing Strategy for the North East Albion Area. The level of detail found in the Servicing Strategy is not typically embedded in an Official Community Plan. As such, a Policy is required, and the Servicing Strategy has been appended to this Policy as **Schedule A**.

Purpose:
The purpose of this Policy is to attach a summary of the servicing details that have been developed to facilitate the development application process. These servicing details are flexible and adaptive but also technically accurate to ensure design standards during development are met.

North East Albion
SERVICING STRATEGY

01 | INTRODUCTION

The North East Albion Land Use and Servicing Concept planning process involves a review of the existing infrastructure in the area and an evaluation of the existing systems to withstand buildout of North East Albion.

02 | TRANSPORTATION

The proposed transportation network is designed to foster interconnection between streets, trails, and greenways to promote cycling, walking, and horse-back riding. New roads essential to a functional street grid are identified, such as the 248 Street connection. Any new local roads required for proposed housing will be determined at the time of development. A network of high-quality trail loops will link neighbourhood parks, open spaces, commercial nodes, and other key destinations.

All drawings are considered to have the proposed 248 Street and 112 Avenue intersection moved approximately 30 to 35 meters east.

Please refer to Section 7, **Drawing 18-1022A-101 (Roadworks Master Plan)** for the proposed major road network and road classifications.

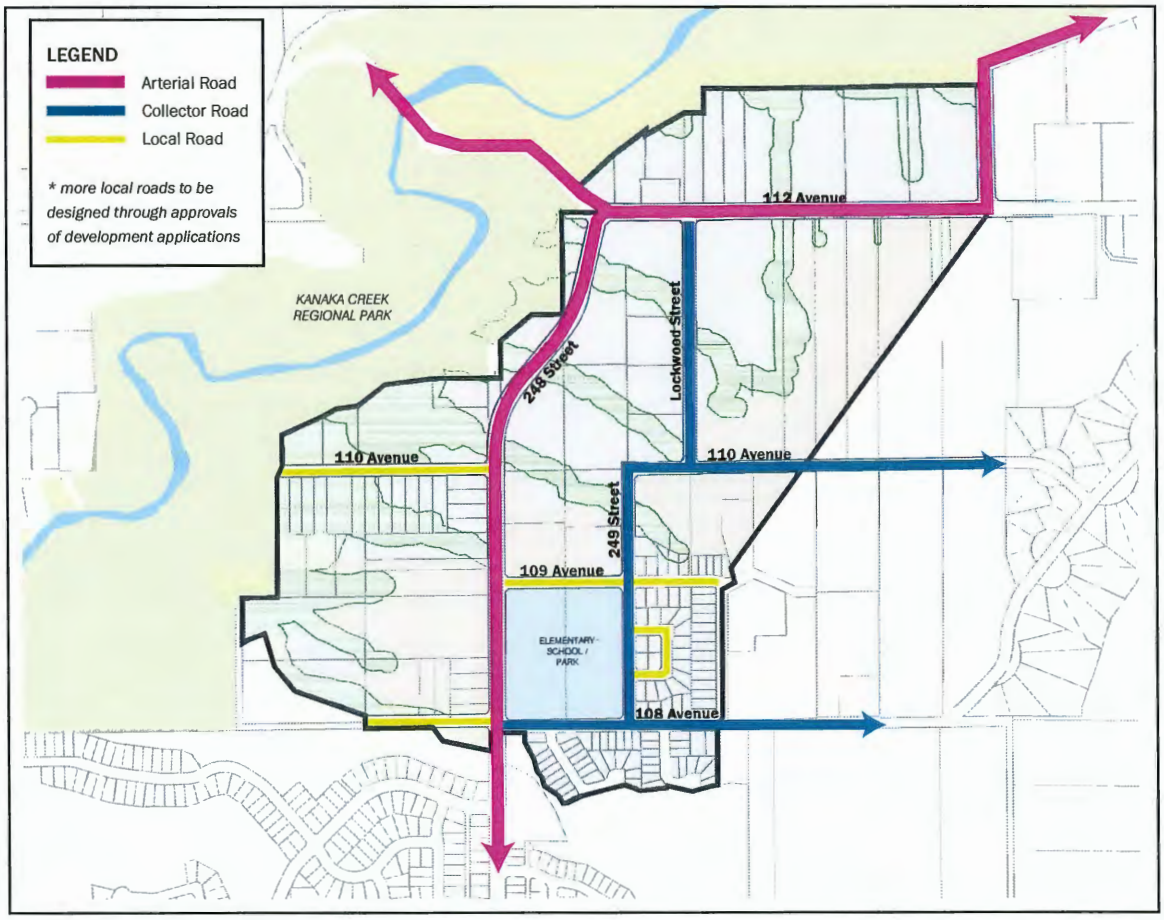


Figure 1 - Proposed Road Network

2.1 ROAD NETWORK

The North East Albion Concept Plan is currently serviced by 112 Avenue to the north and 108 Avenue to the south. New roadways shall be constructed generally in accordance with the City of Maple Ridge standards to service the proposed development of the area. A traffic signal is proposed to help traffic control and safe crossing at the 112 Avenue and 248 Street intersection, and a roundabout is proposed at the 112 Avenue and 252 Street intersection to facilitate movement as the arterial roadway turns north at 252 Street. Additional traffic improvements like roundabouts or signals may be identified as required on a development by development basis.

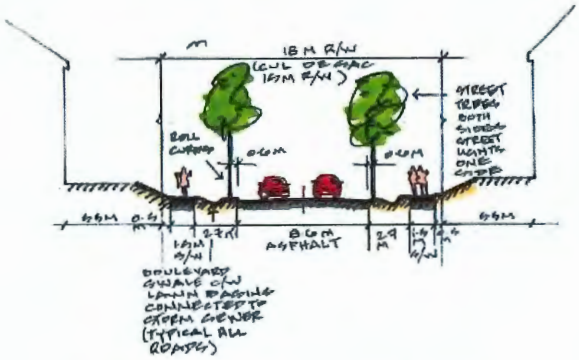
2.2 FUTURE ROAD ALIGNMENTS

As part of the 2014 Strategic Transportation Plan (STP), the City of Maple Ridge identifi ed the 108/112 Connector as a long-term east-west link. The specific alignment was not detailed in the STP but rather a notional connection is illustrated, establishing an east/west arterial grid network. As part of the North East Albion planning process, the Engineering Department at the City of Maple Ridge requested that the consultant team look at alignment options for the connector between 248 Street and 260 Street to ensure that the preferred option is not precluded by implementation of the North East Albion Plan.

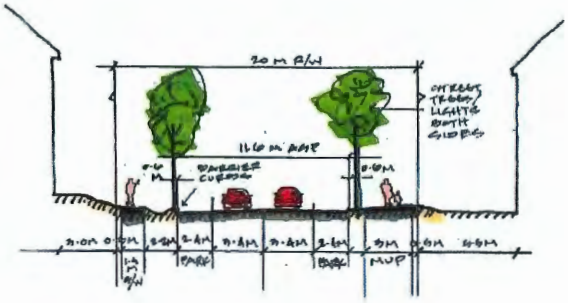
It was determined that there is the possibility for future arterial road alignments, but these would be outside the North East Albion area and would require further studies to be conducted under a separate process.

A major east-west arterial route analysis was also completed as a part of this project. As a result of that analysis, the ultimate alignment for the 112 Avenue connection from 248 Street to Grant Avenue was confirmed.

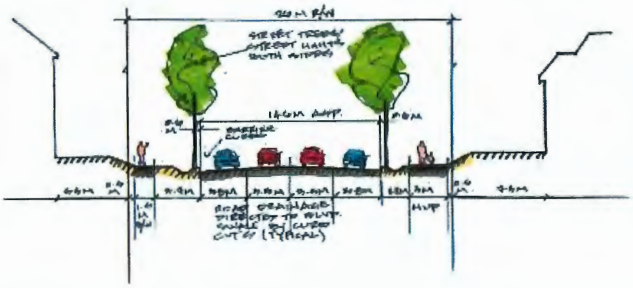
The City updates the Strategic Transportation Plan from time to time, as such, cross sections proposed for the North East Albion Area may be updated accordingly.



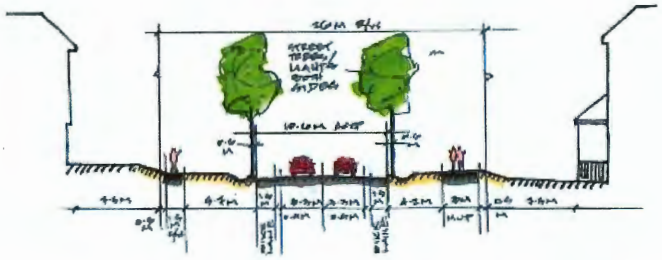
Typical Section, Local Road



Typical Section, Collector Road



Typical Section, 248 Street



Typical Section, 112 Avenue

2.3 ACTIVE TRANSPORTATION

The Concept Plan includes sidewalk or pathway access to the school site and to Cliff Falls in Kanaka Creek Regional Park. All roads include sidewalks or trails on both sides to encourage walkability through the area and to connect to the school and park.

The Maple Ridge 2014 STP identifies two corridors for a long-term bicycle network within the Concept Plan: 112 Avenue and 248 Street. The North East Albion Concept Plan provides on or off-street bicycle access to the school site and to the existing and planned municipal bike route network. 248 Street will have a multi-use path on the east side to facilitate access to the school and 112 Avenue will have on-street bike lanes consistent with the STP.

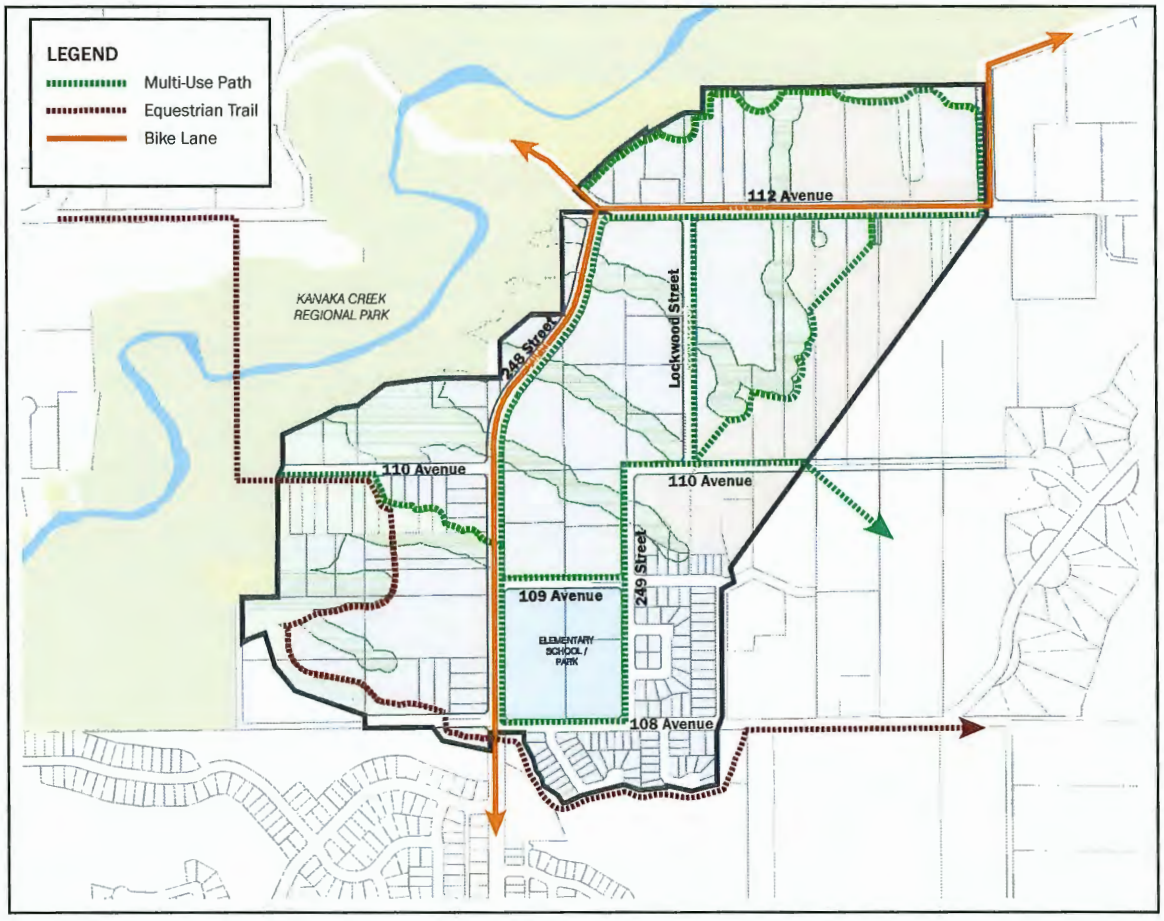


Figure 2 - Proposed Bike Lanes, Multi-Use Paths and Trails

03 | SANITARY

North East Albion is not currently serviced with sanitary sewer, except for a small portion of land near 108 Avenue that is currently serviced to the south by the existing Albion Area system. The City recently had a *Master Sanitary Plan* (MSP) completed by AECOM (November 7, 2016) that considered the existing (2016) system, anticipated 2018 loading, anticipated 2023 loading, and anticipated 2041 loading. The MSP forms the framework for integrating the localized North East Albion analysis in this Concept Plan into the overall master plan for the City.

The intent of this servicing analysis is to review the capacity of the existing system downstream of North East Albion based on the projected ultimate population proposed within the North East Albion Concept Plan.

3.1 DESIGN CRITERIA

The criteria for the evaluation of existing downstream systems is set forth in the City's current Design Criteria Manual.

3.2 SERVICING PLAN

North East Albion is proposed to be serviced primarily by a municipal pump station (PS-1) located on 112 Avenue just east of the Kanaka Creek bridge. This pump station will service the 65ha catchment within North East Albion not already being serviced to the south. Please see Section 7, **Drawing 18-1022A-201 (Sanitary Master Plan)** for the overall servicing plan and the downstream capacity calculations.

A pipe network along 112 Avenue, Lockwood Street and 110 Avenue will convey the northeast portion of the catchment to PS-1 by gravity. A gravity main along the north portion of 248 Street will convey the northwest portion of the catchment to PS-1 by gravity. Please see Section 7, **Drawing 18-1022A-202 (NE Albion Sanitary Catchment Plan)** for the local servicing plan and **Drawing 18-1022A-203 (NE Albion Sanitary Catchment Plan - Calculations)** for the local capacity calculations.

North East Albion lands south of this zone will be conveyed by gravity to PS-2 located at the west end of 110 Avenue. Flows will be pumped from PS-2 east on 110 Avenue and north on 248 Street until discharging into the gravity system on 248 Street (at MH S55). Lands at the southwest corner of North East Albion will be conveyed to PS-3 which will pump flows to 248 Street and convey them to PS-2. There is also a provision for an interim pump station to be located near the intersection of 110 Avenue and 248 Street, to permit some development within the ultimate PS-2 catchment to proceed ahead of lands for PS-2 being secured. This would also permit the school site to develop ahead of PS-2 being available, if desired.

The City can also consider allowing PS-2 to pump flows from PS-2 south on 248 Street to discharge to the gravity system on 108 Avenue subject to a separate sanitary analysis report which may require additional flow monitoring to determine actual inflow and infiltration rates. Any downstream upgrades triggered by this route would need to be addressed through the course of development.

The currently anticipated design flow and approximate total dynamic head values for the three ultimate pump stations are as below:

Pump Station	Design Flow (L/s)	Dynamic Head (m)
PS-1	40.3	16
PS-2	14.6	48
PS-3	4.4	20

North East Albion flows are proposed to be pumped west along 112 Avenue from PS-1 discharging to the existing 300mm diameter sanitary sewer on 112 Avenue just west of 244 Street (EX S1). The offsite analysis consisted of reviewing the existing 300mm diameter system from EX S1 east to EX S11 at the intersection of 112 Avenue and 240 Street, and the existing 375mm diameter system south from EX S11 to EX S17. Flows generated by this area were independently reviewed considering the latest state of development and developable areas for these catchment lands. Results were verified against the MSP and agreed very closely with the MSP predicted downstream flows for the 2041 scenario, providing a level of validation of the analysis.

With the proposed ultimate flows from North East Albion included, the downstream system meets the trunk main criteria for its entirety.

It should be noted that the MSP identifies one short section of downstream pipe for upgrade from an existing 200mm pipe size to a 375mm. However, the as-builts for this main provided by the City note that the 200mm size shown on the plan is incorrect, and that the pipe constructed is in fact a 375mm pipe.

Downstream of EX S19 (240 Street & Kanaka Creek Road) the system heads west into a major trunk line with significant excess capacity based on the MSP.

3.3 FINANCIAL BUDGET REVIEW

It is proposed to include all sanitary works located outside of the North East Albion boundary (gravity trunk main from boundary edge to PS-1, PS-1 including any road adjustments required to service PS-1, water service to PS-1, and forcemain from PS-1 to MH EXS1 including creek crossing) in an area latecomer applied over the entirety of the undeveloped North East Albion area.

It is expected that PS-2 and PS-3 may also require area latecomers in the future depending on how lands ultimately consolidate and develop. However, it should be noted that all undeveloped lands (including those catchment to PS-2 and/or PS-3) would be included in the PS-1 area latecomer, as all flows from these lands will eventually be serviced by PS-1 and the associated infrastructure west of 248 Street. However, if it can be proven out that routing PS-2 south is feasible then these lands would not be included in the PS-1 latecomer.

Preliminary budgets (not including land acquisition) for works associated with each pump station that would likely be eligible for an area latecomer are as below:

Pump Station	Budgetary Construction Values	Total Construction Value
PS-1	Pump Station: $3,800,000 Gravity main & Forcemain: $1,300,000	$5,100,000
PS-2	Pump Station: $1,000,000 Forcemain: $185,000	$1,185,000
PS-3	Pump Station: $950,000	$1,045,000

04 | WATER

North East Albion is not currently serviced with water, with the exception of a small portion of land at the south end that is currently serviced from the 108 Avenue system. The City recently had a *Master Water Plan (MWP)* completed by Kerr Wood Leidal (November 2016) that considered future upgrades on the City system at large. The MWP shows North East Albion being serviced by the 158m Albion pressure zone and being primarily fed by the Albion Reservoirs (158m TWL) with redundancy and some fire fl ow support provided from the Grant Mountain Reservoir (224m TWL).

PRV stations in three locations will ultimately allow for fire flow and emergency support from the Grant Mountain Zone to the Albion Zone. The stations are all existing, and are as follows:

- PRV 1: 112 Avenue at 252 Street;
- PRV 2: 108 Avenue just east of Morrisette Place; and,
- PRV 3: 112 Avenue and 256 Street (within the Grant Mountain Booster Pump Station).

The buildout of the North East Albion Concept Plan will allow for integration of the existing 158m Grant Mountain sub-zone into the 158m Albion Zone. This sub-zone services lots along 112 Avenue between 252 Street and 256 Street and was created as part of the Grant Mountain development.

Water Street Engineering Ltd. (WSE) was retained to assist in sizing the trunk infrastructure to service the area and to evaluate pressures throughout the system.

4.1 DESIGN CRITERIA

The City's Design Criteria states the following pressure requirements:

- Maximum allowable pressure: 900kPa (130 psi)
- Minimum pressure at Peak Hour Demand: 300 kPa (44 psi)
- Minimum pressure during Max Day Demand and Fire Flow: 150kPa (22 psi)
- Fire flowrequirements:
  - Single family residential: 60L/s
  - Apartments / Townhouses: 120L/s
  - Commercial / Institutional: 150L/s

It is noted that the lowest elevation areas of the existing 158m Albion Zone (53m el. west of 248 Street) have pressures up to 1035 kPa (105m WC).

The design criteria proposed by WSE as a result of their previous work on this reservoir is as follows:

- Elevation range of 53m to 110m (lower elevations to be protected with PRVs or other measures as determined with City).
- Albion reservoir total storage available = 2,489m^3;
- Grant Mountain fire storage available (cascading volume) = 409m^3;
- Density of 2.8 people per dwelling unit;
- Net lot area to gross area ratio of 64%;
- Irrigable area to net lot area ratio of 50%;
- Balancing storage amount: 25% of MDD;
- Design fire flow of 150L/s for 2 hours;
- Emergency storage amount: 25% of balancing and fire storage combined; and,
- Areas south of 108 Avenue (outside of North East Albion) retain same build-out projections as those in the 2018 memo prepared by WSE.

4.2 SERVICING PLAN

It is proposed to comply with the overall servicing concepts outlined in the MWP. Please see Section 7 **Drawing 301 (Water Master Plan)**.

Within the Concept Plan, feeder mains are proposed along 248 Street and 112 Avenue, with internal looping along 249 Street, 110 Avenue, and Lockwood Street. Local mains will connect into these feeder mains as required to service build out of the lands.

A 50mm diameter water service is proposed to the sanitary pump station PS-1 from the North East Albion system. A localized PRV is expected to be required on the PS-1 service.

4.3 SYSTEM DEMANDS

The North East Albion demands in the MWP were based on a design population of 2700 capita (ca) and a serviced lot area of 43.2ha.

The unit rates used to develop demands in the MWP were:

- Residential base demands of 250L/ca/day
- Non-revenue water of approximately 12% of base demand
- Irrigable area to lot area ratio of 50%
- Seasonal demands of 0.47L/s/ha

The above unit rates were consistent with observed system-wide consumption in Maple Ridge. The resulting demands in MWP included a buildout maximum day demand of 49L/s for the 158m Albion Area, including 19L/s for the North East Albion Concept Plan.

The revised loads for the North East Albion are:

- Residential population of 3481ca
- ICI Population equivalents of 178PE
- Total population equivalents of 3659ca
- Serviced lot area of 42.12ha

Based on the above and unit-demand rates consistent with the MWP the expected buildout demands are 21.8 L/s, i.e. an increase of approximately 3L/s.

Using the City of Maple Ridge design criteria rate of 1200L/ca/day would yield fl ows of 51L/s for the North East Albion Concept Plan. Given the size of the proposed development and actual observed demands, use of this value for sizing of water transmission infrastructure would be overly conservative.

4.4 HYDRAULIC ANALYSIS

As per previous recommendations, the HGL setpoints for the Grant Mountain PRVs to the Albion Zone should be lower than the Albion Reservoir operating range (i.e. less than 154m HGL). This will prevent over-commitment of the Grant Mountain Reservoir and Pump Station. Hydraulic analysis was completed on this basis.

Hydraulic analyses were completed with proposed 200mm water mains added on 248 Street, Lockwood Street, 249 Street, and 112 Avenue as indicated on Section 12 Drawing 301 (Water Master Plan). The analysis was completed without other future minor mains in the area.

An analysis completed with build-out demands of 21.8L/s for the area indicated that:

- Peak hour minimum pressures were acceptable
- Fire flows were acceptable (generally > 200L/s throughout)

A second fire flow analysis was completed with design criteria demands of 51L/s for the area, PRV station links to the 224m Grant Mountain Zone closed, and 104 Ave Pump Station off (i.e. all flow supplied from Albion Reservoir). This analysis indicated that while available fire flows were reduced, they still met design criteria (>60L/s for single family, > 120L/s for multi-family, and > 150L/s for commercial and institutional areas).

As discussed above areas with elevations less than 53m will have operating pressures slightly exceeding 1035 kPa (150psi). Special considerations should be included for these areas such as a local pressure-reduced zone or pressure-reduction on services off of 248 Street (i.e. to strata developments).

05 | STORMWATER

The North East Albion Land Use and Servicing Concept Plan provides a vision and implementation measures for sustainable water stewardship and management. The Concept Plan contains numerous watercourses that fl ow to Kanaka Creek, a fish bearing creek. Because of the degradation of fi sh habitat and water fl ows overtime, it has been recognized as one of the 15 Sensitive Streams in BC in the *Water Sustainability Act*. The creek is very sensitive to peak fl ow rate increases and water quality degradation. Primary objectives for stormwater management in the North East Albion Concept Plan have been developed as follows:

- Maintain baseflows and water quality to Kanaka Creek and its tributary watercourses to protect fish and fish habitat in these streams;
- Control peak runoff flows under frequent storm events to best mimic pre-development conditions and minimize stream erosion;
- Promote onsite infiltration to protect shallow wells, maximize groundwater infiltration and recharge and ensure groundwater flows are not to be intercepted by site development and road construction;
- Design and construct a stormwater conveyance system that includes subsurface storm sewers, detention facilities, open channels and culverts to adequately convey storm runoffs to watercourses for rain events up to a 10-year return period;
- Ensure that storm runoffs under extreme storm conditions can be conveyed via major storm conveyance systems, including major road crossings, overland flow paths and stream channels and cause no damage to life and properties; and
- Preserve or maintain existing drainage patterns essential to the overall health of Kanaka Creek, wherever possible.

5.1 STORMWATER MANAGEMENT CRITERIA

Aplin Martin identified the following design criteria to achieve the stormwater management objectives in the North East Albion Concept Plan:

Stormwater Volume Control (Achieving City's Tier A Requirements): Provide onsite infi ltration and retention to capture the 6-month 24-hour event rainfall, which equals to 72% of the Mean Annual Rainfall (MAR or the 2-year return period event rainfall) in both the development areas and the roads.

This criterion exceeds the City of Maple Ridge's Tier A design principle that requires capturing of 50% of the Mean Annual Rainfall.

Water Quality Control: Provide water quality treatment to runoff from frequent rainfall events up to a 2-year return period.

Runoff Rate Control (Achieving City's Tier B Requirements): Provide onsite or offsite storage to store runoff from design storm events up to and including the 10-year return period events and control the release rates at a forested land use condition.

This criterion exceeds the City of Maple Ridge's Tier B design principle that requires control of post-development peak flows to pre-development forested land use condition up to and including MAR (or the 2-year return period rainfall).

Groundwater Protection: Provide groundwater protection measures such as trench dams and/or groundwater flow diversions to ensure the subsurface fl ows in the shallow groundwater aquifer are not to be intercepted by development or new road construction.

Flood Control (Achieving City's Tier C Requirements): Design and construct minor and major stormwater conveyance systems to minimize surface fl ooding and flood damage to life and properties.

Minor Conveyance System: As an upland area to the Kanaka Creek system, developments will be required to adequately convey the 1:10-year return period post development flow within an engineered stormwater conveyance system that contains storm sewers, detention facilities, open ditches and culverts.

Major Conveyance System: To safely convey the 1:100-year return period post development flow within major flow paths, including major road crossings, overland fl ow paths and stream channels.

This criterion is same as the City of Maple Ridge's Tier C design principle.

Considering Climate Change Impacts: The stormwater conveyance system is to be designed to account for a 10% climate change impact.

2070 (assuming a 50-year design life for storm infrastructure).

The stormwater management criteria developed for the Concept Plan exceeds the City of Maple Ridge's three-tier stormwater design principles. This is to help maximize the environmental protection and minimize the impacts of development in North East Albion on the natural ecological system of the area and the overall Kanaka Creek watershed.

5.2 METHODOLOGY

Based on the above objectives, the stormwater management concept plan and Best Management Practices (BMPs) have been developed for the Concept Plan based on the following scope of work:

- Develop design storms under the existing and future 2070 moderate climate change conditions;
- Delineate existing land use condition catchment boundaries to the tributaries of Kanaka Creek;
- Determine proposed catchment boundaries and creek outfall locations based on the natural topography and practical development of lands;
- Determine pre-development forested land use design flows to the creeks;
- Determine post-development (existing and future 2070 climate condition) design flows to the creeks with and without the implementation of onsite BMPs;
- Prepare design guidelines for onsite BMPs;
- Determine onsite source control retention requirements;
- Determine unit detention requirements (m^3/ha) that are in addition to the implementation of source control retention BMPs for post-development to meet the design criteria (up to 10-year peak flow control to pre-development forested land use);
- Review potential for community stormwater pond facilities in North East Albion for any of the creek catchment;
- Review overland flow paths, culvert capacities, and creek capacities to ensure safe conveyance of the 100-year event;
- Determine applicable measures for groundwater protection;
- Develop stormwater management concepts that include:
  - Proposed stormwater minor and major drainage conveyance system;
  - Design requirements for onsite source control BMPs;
  - Design requirements for onsite and offsite detention facilities; and
  - Design requirements for groundwater protection measures.
- Develop stormwater management design guidelines for development applications; and
- Develop operation and maintenance, as well as monitoring programs to ensure effectiveness and sustainability of the stormwater management measures in the future.

5.3 EXSITING CONDITION OVERVIEW

Surface Drainage

The current state of North East Albion is generally undeveloped, with most of the land covered by natural forest and rural large parcel residential land uses. The area generally slopes west/northwest towards the Kanaka Creek ravine. Rainfall on the lands is mainly infiltrated into the ground with runoff being collected overland into ditches and tributary streams to Kanaka Creek.

Watercourses

Watercourses in North East Albion are primarily tributary to Kanaka Creek. All the tributary ravine creeks are essential sources of water and nutrients to fish population in Kanaka Creek. Most of these creeks are fed by groundwater, so they export cool temperature waters at steady rates to Kanaka Creek.

Groundwater

Based on the aquifer classification descriptions from the BC Water Resource Atlas, North East Albion is above three groundwater aquifers, the "Grant Hill" and "South of Grant Hill" aquifers, and an unnamed aquifer.

The Grant Hill Aquifer is a fractured sedimentary bedrock aquifer, underlying the entire area of North East Albion. The aquifer is approximately 6.1m to 28m below ground surface. A till layer generally covers the bedrock surface, limiting potential hydraulic connections between the shallow groundwater and fractured bedrock. However, the *Environmental Assessment*

Report – North East Albion Baseline Environmental Assessment report prepared by Phoenix Environmental Services Ltd. (April 2019), suggests that the southeast portion of North East Albion may have recharge values to this aquifer, based on background research and site investigation findings.

The South of Grant Hill Aquifer is a glacio-fluvial sand and gravel aquifer at approximately 1.2 to 1.5m below ground level. Only a small portion of the North East Albion lands on the south are underlain by this aquifer. The area near the proposed school site above this aquifer may have recharge value. In particular, the eastern side of the proposed school site consists of the well-draining soil types and this area may therefore constitute a valuable recharge area. The shallow depth of this aquifer and its proximity to Thornvale Creek suggest that it may provide valuable moderated water flows to this important salmonid-spawning stream.

The unnamed aquifer is located near the northeast portion of North East Albion. This aquifer is approximately 1.2m below ground level. Springs and streams along the toes of sloped areas in the eastern portion of North East Albion are likely fed by the aquifer.

5.4 HYDROLOGIC AND HYDRAULIC MODELLING

Modeling Scenarios

The scenarios summarized in **Table 1** were developed and assessed to defi ne the conveyance system and detention targets.

It should be noted that the conveyance system has been reviewed and sized to meet both the minor (1:10-year return period) and major (1:100-year return period) flow conveyance requirements under the future 2070 climate conditions without source control BMPs and detention storage. This is to ensure that the proposed conveyance system will adequately convey the target flows based on the design life of the system.

For source control BMPs and detention facilities, it is assumed that they will be applied to achieve the stormwater volume and rate control targets under the existing climate condition.

The source control BMPs shall be capable of retaining a minimum of 100% of the 6-month 24-hour event (72% of 2-year 24-hour rainfall volume) rainfall onsite. They are to be implemented in all development areas, including future roadway corridors.

The additional detention volumes required for the runoff fl ow rate control were estimated based on modelling a unit development site for various soil and post-development land use conditions in addition to the source control BMP measure(s) proposed for the site, to control the post-development flows to the pre-development levels for design storm events up to and including the 10-year return period events.

Table 1 – Modelling Scenarios

No.	Land Use	Climate	Onsite BMPs	Purpose
1	Future	2070	No	Define future performance under future climate conditions without source controls or detention features. This scenario is to assess and size the conveyance infrastructure.
2	Pre-development	Current	No	Define base flow control targets
3	Future	Current	Yes	Define future performance under existing climate conditions with source controls. This scenario is to size onsite BMPs and additional detention requirements.

Model Coverage

The model covers the watershed encapsulating North East Albion, including the catchment draining into the neighbourhood area and via the tributary streams to Kanaka Creek. In Section 7, **Drawing 18-1022A-401** presents the existing catchment map delineated based on the air photo, topography and the available drainage plans from existing developed areas. In Section 7, **Drawing 18-1022A-402** presents the future catchment map based on the proposed Land Use Concept Plan and the planned storm sewer system for future developments.

Design Storms

Design storms were developed under both the existing and future 2070 moderate climate change conditions based on the new design storm hyetographs developed by Aplin Martin for the City of Maple Ridge.

Land Use and Percent Imperviousness

In Section 7, **Drawings 18-1022A-401** and **18-1022A-402** also summarize the existing and future land uses based on available orthophoto, zoning and the proposed Land Use Concept Plan, respectively. **Table 2** shows the percent impervious values assigned to each land use type.

For the purpose of stormwater modelling, Cluster Residential and Multiplex land-use designations have been combined to create the category of "Multiplex".

Please note for the pre-development forested land use condition model, surface conditions of all subcatchments are assumed being the Environmentally Sensitive Areas/Metro Vancouver Regional Park (5% imperviousness).

Table 2 – Land Use Percent Imperviousness

Land Use Type	% Imperviousness
Environmentally Sensitive Areas/Metro Vancouver Regional Park	5
Single-Family Residential	55
Multiplex	60
Townhouse	65
Institutional (excluding sport field)	80
Road ROW	78

Soils and Infiltration Parameters

In Section 7, **Drawings 18-1022A-403** presents the soil map for the study catchment, showing that the study catchment area consists of three types of surfi cial soil textures, sandy loam, loam and silt loam soils. The soil map was developed based on soil information presented in *Soils of the Langley – Vancouver Map Area Volume 1* (Lutterding, 1981).The soil survey data has been interpreted into various soil texture categories and provided as an online open data source by the Ministry of Environment and Climate Change Strategy. This soil information has been commonly used for surficial drainage studies.

Soil infiltration parameters for the types of soils in the study area were selected based on the SWMM manual and typical textbook values.

Soil infiltration parameters used for modelling are summarized in **Table 3**.

Table 3 – Hydrological Modelling Parameters

Hydrological Model Parameters – North East Albion Neighbourhood		
Global Parameters	**Depression Storage, mm**	
	Impervious	2
	Pervious	7
	Manning's n	
	Impervious	0.015
	Pervious	0.25
Green-Ampt Infiltration Parameters	**Sandy Loam**	
	- Average Capillary Suction, mm (Wet)	110.1
	- Initial Moisture Deficit (Saturated)	0
	- Saturated Hydraulic Conductivity, mm/hr	25
	Loam	
	- Average Capillary Suction, mm (Wet)	88.9
	- Initial Moisture Deficit (Saturated)	0
	- Saturated Hydraulic Conductivity, mm/hr	13
	Silt Loam	
	- Average Capillary Suction, mm (Wet)	166.8
	- Initial Moisture Deficit (Saturated)	0
	- Saturated Hydraulic Conductivity, mm/hr	6.6

Subsurface Flow Modelling

Geotechnical investigations performed in North East Albion indicated that the groundwater table is at approximately 1.0m below the ground surface during the winter months. Likely, rainfall infiltrated to the ground would slowly drain back to the stormwater system or downstream watercourses. We have therefore included the groundwater module in our model that simulates the subsurface flows. The parameters used for the groundwater module were based on the subsurface soil characteristics and our past groundwater model calibration experience, as shown in **Table 4**.

Model Network

The stormwater network for existing developments was modeled based on the City's GIS data and available field verification data. The proposed future pipe network was modeled based on future land use and development plans, and the proposed future catchment plan. The modeled creek transects were approximated from the City's DEM data.

Downstream Boundary Conditions

The hydraulic model developed covers the tributary streams to Kanaka Creek to which North East Albion drains. Based on the topography, it does not appear that there would be backwater effects from Kanaka Creek impacting the drainage in our study catchments. Therefore, we have assumed free outfall conditions for the tributary streams to Kanaka Creek in the model.

However, it may be prudent to review the modelled Kanaka Creek peak water level profiles from the Kanaka Creek ISMP study to assess whether backwater/downstream water levels should be considered in the modelling of the boundary conditions when the ISMP becomes available.

Table 4 – Subsurface Modelling Parameters

Subsurface Model Parameters – North East Albion Neighbourhood		
Groundwater Aquifer Parameters	Porosity (/)	0.450
	Wilting Point (/)	0.085
	Field Capacity (/)	0.19
	Conductivity (mm/hr)	10.9
	Lower GW Loss Rate (mm/hr)	0.002
	Bottom Elevation (m)	0
	Initial Water Table Elevation (m)	1.0
Groundwater Parameters	Surface Elevation (m)	2
	Groundwater Flow Coefficient (A1)	0.1
	Groundwater Flow Exponent (B1)	2
	Groundwater Flow Coefficient (A2)	0
	Groundwater Flow Exponent (B2)	0
	Surface Water Depth (m)	Depth from flow routing
	Threshold Water Table Elevation (m)	1.0

5.5 STORMWATER MANAGEMENT CONCEPTS

Stormwater management concepts have been developed for North East Albion Concept Plan based on the modelling results and are as follows:

- Proposed trunk storm sewer network and major flow paths;
- Onsite source volume and Water Quality control BMPs;
- Additional detention requirements;
- Regional stormwater management features; and
- Groundwater protection measures.

Proposed Trunk Storm Sewer Network and Major Flow Paths

The proposed trunk storm mains were sized in compliance with the design criteria under Scenario 1, which simulates the peak flow in the system during future land use and future climate conditions, assuming 2070 climate condition and no source controls and detention features are functional. In Section 7, **Drawing 18-1022A-404** presents the proposed storm main sizes and upgrades to the existing system. The underground storm sewers are to be designed to convey 1:10-year return period peak design flows while the major road crossings are to convey 1:100-year return period peak design flows.

Major storm conveyance systems for safely conveying 1:100-year return period post-development flows also include overland flow paths and stream channels, in addition to major road crossings, to ensure no flood damage to life and properties. The major storm conveyance system under the post-development 2070 climate condition has been reviewed with major flow paths identified as shown in Section 7, **Drawing 18-1022A-405**. Stream channels' adequacy to convey extreme flows has been confirmed, with the exception of approximately 150m of an existing drainage ditch north of 112 Avenue that discharges to the tributary channel KA6 west (see Section 7, **Drawing 18-1022A-405)**.The modelling results show that this ditch would be flooded and should be upgraded to a minimum 1m bottom width with 2:1 side slope channel to provide a suitable 100-year flow path under the assumed design condition.

Onsite Source Volume and Water Quality Control BMPs

The objectives for onsite source volume and water quality control BMPs include:

- Retain 90% of the total annual rainfall volume onsite as that typically occurs under the natural forested land use conditions; and
- Control rainfall runoff quality.

Past hydrologic analyses indicate that capturing 100% of the 6-month 24-hour rainfall volume would roughly achieve the 90% annual rainfall volume retention in the Metro Vancouver region. The 6-month 24-hour rainfall depth for the study area is estimated to be 53.6mm, that equals to 72% of the 2-year 24-hour rainfall depth.

Types of source control BMPs recommended in North East Albion for developments with different land uses are summarized in **Table 5**. These BMPs were identified based on Aplin Martin's experience with past common BMP applications within the Greater Vancouver Lower Mainland area.

Detailed design of these BMPs shall follow the design guidelines provided in the *Metro Vancouver's Stormwater Source Control Design Guidelines 2012*. A general overview of each the recommended BMPs and their application in the North East Albion Concept Plan are provided below.

ABSORBENT LANDSCAPE

Applying amended topsoil on pervious areas is the most commonly used stormwater source control BMP measure. It creates an absorbent landscape layer that acts like a sponge to soak up, store and slowly release rainfall. It also provides bio-infiltration or water quality control to the runoff draining into the absorbent landscape areas. This type of the BMP is generally suitable to use for all type of development applications. Runoff from impervious areas would need to be routed to the pervious areas.

Based on the native soil condition and percent imperviousness of the site, absorbent landscape alone or combined with other ground-infiltration measures would achieve the target volume and water quality controls in North East Albion.

Materials and application methods for absorbent landscape shall meet MMCD 2009 requirements for Topsoil and Finish Grading (Section 32-91-21), **Table 2** specifications for Growing Medium, with organic matter requirements amended to minimum of 8% for lawn areas and 15% for planting areas. The minimum amended topsoil depth is 300mm in grassed areas and 450mm in planted areas.

INFILTRATION CHAMBERS

Infiltration chambers such as rock pits are a type of BMP that can be easily implemented, and they are cost effective for onsite stormwater volume control. Infiltration chambers are commonly used for residential development areas for rainfall infiltration and capture. They can be applied in combination with the absorbent landscape BMP to achieve the target volume and water quality controls for future single-family developments in North East Albion.

Infiltration chambers are typically located below the ground surface and consist of either prefabricated storage cells or drain rock wrapped in geotextile, with a perforated underdrain pipe connected to the municipal stormwater system.

Absorbent Landscape

Infiltration Chambers

BIO-RETENTION

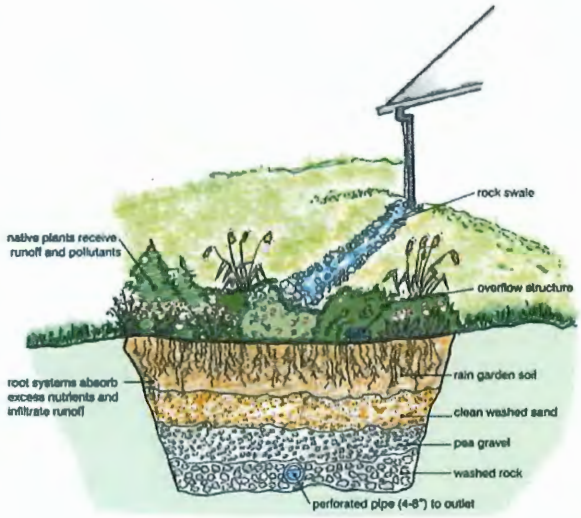
Bio-retention BMPs, such as rain gardens and infiltration swale systems, combine aspects of a green medium layer for water quality control and an infiltration trench/reservoir for runoff to store and/or infiltrate to achieve volume control. Bio-retention cells would require more maintenance than infiltration chambers and they are typically more applicable to high density residential, industrial, commercial and institutional land use development. For the North East Albion Concept Plan, it is proposed that bio-retention BMPs are to be applied for the proposed townhouse sites and institutional lands in combination with the absorbent landscape BMP measure.

Bio-retention facilities are typically designed with a minimum 450mm thick growing medium layer with amended topsoil overlaid on a rock reservoir layer. Drain rock fills the rock reservoir layer with a perforated pipe installed near the top of the rock reservoir and connected to the municipal stormwater system.

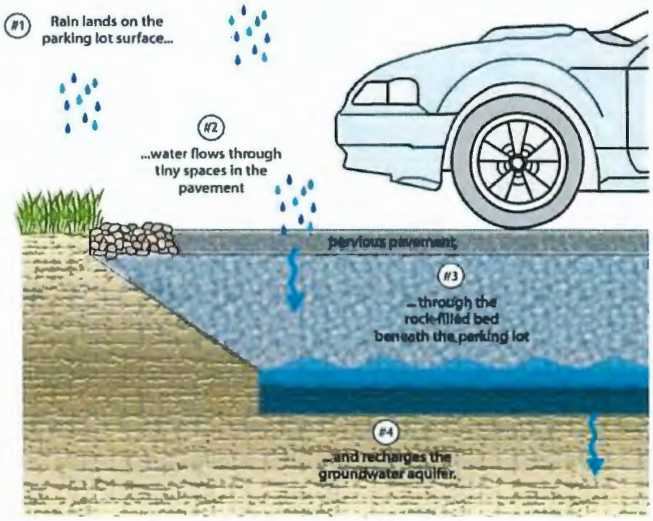
PERVIOUS PAVING

Pervious paving is a surface layer of paving systems which allow rainfall to percolate into an underlying reservoir base, where rainfall is stored and either infiltrated to underlying subgrade or discharged via a sub-drain. The surface component of pervious paving can be porous asphalt or porous concrete, concrete or plastic grid pavers, or permeable unit pavers.

Pervious paving does not have a soil layer that treats runoff and is subject to clogging from surface pollutants. It should not be used to infiltrate runoff from city roads. They may be used for driveways, walkways, patio areas, or visitor parking areas for various land use developments in North East Albion. In addition, grades are to be considered when evaluating locations to implement pervious pavings.



Bio-Retention



Pervious Paving

BIO-SWALE AND INFILTRATION TRENCH

Source control BMPs with a combined bio-swale and infiltration trench system is proposed for the roads in the North East Albion Concept Plan. Bio-swales provide water quality improvement of captured road runoff prior to discharge to infiltration trenches for infiltration and temporary storage to achieve rainfall volume control. Infiltration trenches are similar to infiltration chambers and have similar design requirements.

Amended topsoil shall also be used in the pervious areas in road rights-of-way and the surface of bio-swales. The minimum amended topsoil depth is 300mm in grassed areas and 450mm in planted areas.

Retention storage volumes for the source volume control BMPs are calculated based on the following mass balance equation:

Total 24-hour Rainfall = 24-hour Infiltration to native soil in pervious area + Water Storage in topsoil and rock reservoir

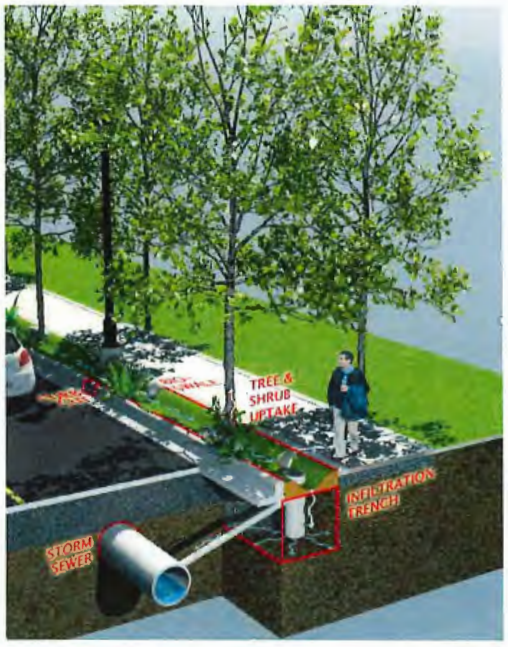
Several basic assumptions have been made to the calculation, as follows:

- Native Ground Infiltration Rate:
  - Sandy Loam: 25mm/hr
  - Loam: 13mm/hr
  - Silt Loam: 6.6mm/hr
- 50% effective pervious area, accounting for possible pervious area coverage to be reduced after development or during redevelopment;
- 300mm minimum depth of amended topsoil on pervious areas;
- 450mm standard soil depth in bio-retention facilities;
- 30mm water storage in amended soil layer (based on the typical 20% of the topsoil thickness as the water storage volume with 50% reduction accounting for topsoil loss over time);
- 100% impervious area will be routed via effective pervious area for all land use types except road right-of-way;
- Impervious areas in the road right-of-way will be drained to bio-swales then to infiltration trenches, assuming no retention storage in the amended topsoil.
- Assume 5% of the total development land area will be designated for source volume retention storage use for all land use types, except road rights-of-way;
- Infiltration trenches will be installed within all road rights-of-way and cover minimum 10% of the total ROW area with minimum 200mm depth; and
- Detention storage area will be filled with drain rocks with 35% porosity.

Table 6 below provides the estimated BMP retention storage requirements (in addition to the onsite infi ltration and retention storage provided in the amended topsoil) based on the mass balance calculation.

Please refer to Section 7, **Drawing 18-1022A-403** for the soil map showing areas with different soil types in North East Albion.

In addition to the above recommended BMPs, other types of source volume and water quality control BMPs, such as rainwater harvesting facilities, soak-away pits, green-roofs, tree clusters, and/or other special bio-retention facilities can also be considered in the design to achieve the stormwater retention and quality control targets, subject to approval by the City of Maple Ridge Engineering Department.



Bio-Swale and Infiltration Trench

Structural water quality treatment devices, such as oil/grit separators and stormceptors, may also be considered in the design to treat urban runoff from areas with high pollutant loadings, prior to discharge into infiltration facilities or storm sewers. These devices are used in urban environments where space is limited. They therefore may be retrofitted into the storm systems. They are to be specified to target treatment for oils and hydrocarbons, and sand and sediment trapping.

Table 5 – Recommended Source Volume Control BMPs

Land Use Type	Applicable BMP Types				
	Absorbent Landscape	Infiltration Chamber	Bio-retention	Pervious Paving	Bioswale + Infiltration Trench
Single Family Residential	X	X		X	
Multiplex	X		X	X	
Townhouse	X		X	X	
Institutional	X		X	X	
Road ROW					X

Table 6 – Onsite Source Volume Control BMP Storage Requirements

Land Use Type	% Imp	Required Rock Reservoir Storage Depth, mm			Rock Reservoir Area
		Sandy Loam	Loam	Silt Loam	
Single Family	55%	-	-	641	5% of the Total Development Area
Multiplex	60%	-	-	910	
Townhouse	65%	-	-	1,179	
Institutional	80%	-	1,109	1,987	
Road ROW	78%	200	456	1,045	10% of Road ROW Area

Note: For land use types with soil types showing no storage depth requirement, the onsite infiltration and retention in the amended topsoil would adequately provide the 6-month 24-hour rainfall capture.

Detention Requirements

In addition to the BMP storages provided for 90% rainfall volume capture, additional detention may also be required to control runoff rates under the post-development condition to that of the pre-development forested condition for design storm events up to and including the 10-year return period events.This is to aim to provide erosion protection to the tributary and main channels of Kanaka Creek. To estimate the detention requirements, a unit development site of 1ha was modelled to estimate the flow hydrographs for the three soil types under pre-development forested land use and various post-development land use conditions. Onsite source volume control BMPs determined in Section 10.5 were modelled to estimate the additional detention requirements under various soil type and land use conditions. **Table 7** presents a summary of the unit detention volume required for each soil and post-development land use type according to the modelling results. Discharge rates of the detention facilities should be controlled to the pre-development forested condition rates, relative to the underlying soil stratigraphy, as shown in **Table 7**.

Detention and controlled discharge required for each development site shall be estimated based on pro-rating storage and discharge rates required for areas with multiple land uses and/or soil types according to **Table 7**. Please refer to Section 7, **Drawing 18-1022A-403** for the soil map showing areas with different soil types in North East Albion.

Based on the topography of North East Albion, limited sites would be available for community detention facilities. The required detention volumes are therefore to be provided at individual development sites and subdivisions, roadways and/or at locations suitable for community stormwater management features. Detention storage can be provided with the following measures:

- Adding extra storage and flow controls to the onsite BMPs;
- Oversized pipes;
- Underground tanks; or
- Wet or dry open detention facilities.

Open water detention volumes integrated into the source volume and water quality control devices would be preferred in the design, instead of oversized pipes and underground tanks.

Table 7 – Summary of Detention Requirements

Soil Type	Forested Condition Peak Unit Discharge	Proposed Post-Development Land Use Type	Additional Detention, m^3/ha
Sandy Loam	$Q_{2\text{-year}}$ = 3.7 L/s/ha $Q_{5\text{-year}}$ = 5.0 L/s/ha $Q_{10\text{-year}}$ = 5.9 L/s/ha	Single Family (55% Imp)	0
		Multiplex (60% Imp)	0
		Townhouse (65% Imp)	13.3
		Institutional (80% Imp)	196.0
		Road ROW (78% Imp)	167.4
Loam	$Q_{2\text{-year}}$ = 3.7 L/s/ha $Q_{5\text{-year}}$ = 5.0 L/s/ha $Q_{10\text{-year}}$ = 5.9 L/s/ha	Single Family (55% Imp)	18.3
		Multiplex (60% Imp)	65.7
		Townhouse (65% Imp)	119.6
		Institutional (80% Imp)	271.1
		Road ROW (78% Imp)	267.5
Silt Loam	$Q_{2\text{-year}}$ = 3.7 L/s/ha $Q_{5\text{-year}}$ = 9.0 L/s/ha $Q_{10\text{-year}}$ = 16.3 L/s/ha	Single Family (55% Imp)	41.3
		Multiplex (60% Imp)	64.5
		Townhouse (65% Imp)	58.6
		Institutional (80% Imp)	35.3
		Road ROW (78% Imp)	42.5

Community Stormwater Management Features

In addition to the proposed stormwater onsite source control BMP and detention measures described above, community stormwater management features may be implemented in select areas as shown on Section 7, **Drawing 18-1022A-404**. These community stormwater features have been proposed adjacent to park trails and underutilized open spaces primarily to maximize water quality control opportunities from the trails prior to discharging into the downstream watercourses. These features may also create local detention opportunities for its adjacent properties.

The proposed offsite community stormwater features utilize a series of interconnected bio-retention cells, wetted habitat channels, and ponds/wetlands which convey surface water runoff collected from the adjacent lots towards the downstream watercourses.

In addition to the areas identifi ed above, these community stormwater management features may also be applied to areas near stream setback boundaries or other conservation area boundaries onsite or offsite.

Groundwater Protection

Groundwater is recognized as a valuable resource in North East Albion. Groundwater protection is key for stormwater management in the area. Such groundwater protection measures may include, but are not limited to:

- Promoting rainwater infiltration to recharge to groundwater. Implementing source volume control BMP measures as described in Section 10.5 would ensure capture of the 6-month 24-hour rainfall; equivalent to 90% of the annual rainfall in ground for groundwater recharge.

- Groundwater flows could be interrupted and/or redirected due to land development and road constructions. In order to ensure groundwater conservation, a groundwater impact assessment should be conducted by a qualified Hydrogeologist for each future application in North East Albion. The groundwater investigation should be focused on groundwater characterization regarding aquifer presence at a site (e.g. groundwater-bearing soil formation, depth, flow direction) and impact mitigation measures (e.g. intercept and redirect to nearby streams, supplement with stormwater infiltration) to protect stream base flows and local use as a drinking water resource.

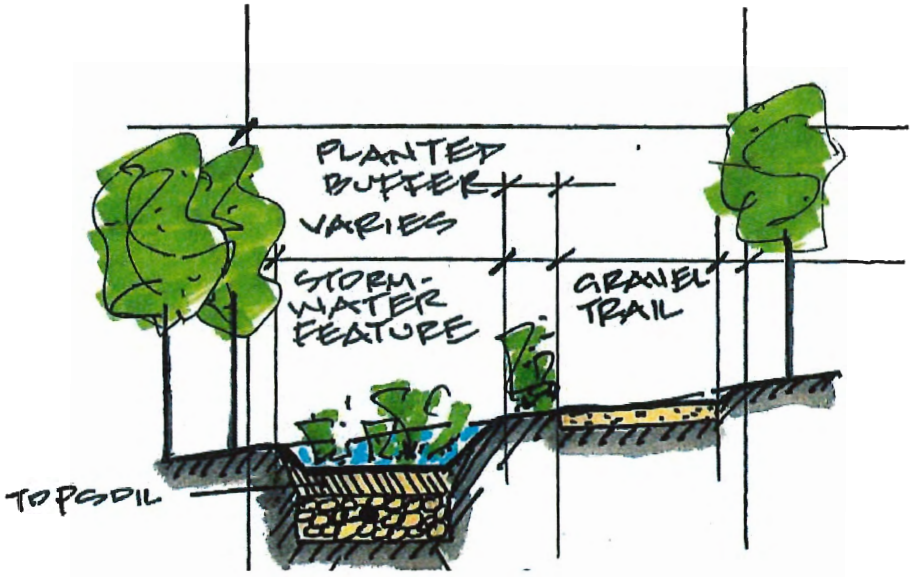


Figure 3 - Trail and Stormwater Feature Typical Section

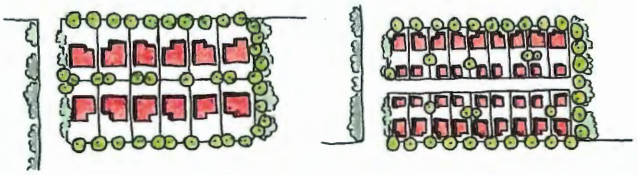
5.6 STORMWATER MANAGEMENT DESIGN GUIDELINES

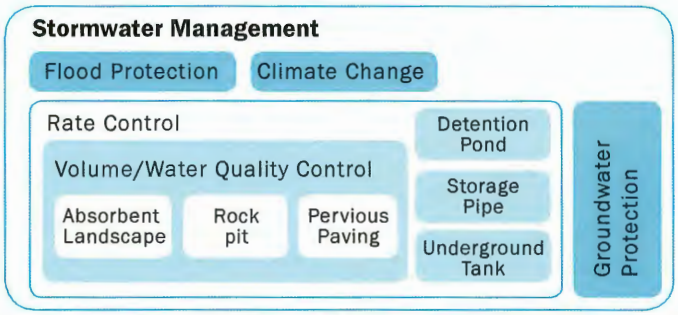
Stormwater management designs for development applications in the North East Albion area are recommended to follow source control design guidelines developed for various land uses.

These design guidelines were prepared based on stormwater management concepts developed in Section 10.5

Single Family

Maximum allowed imperviousness: 55%





Absorbent Landscape

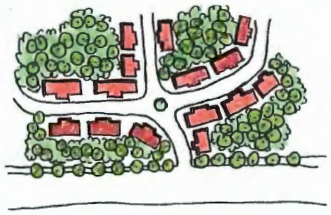
Rock Pit

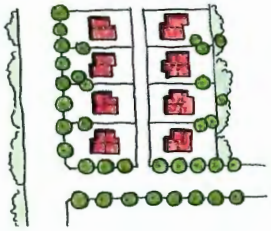
Pervious Paving

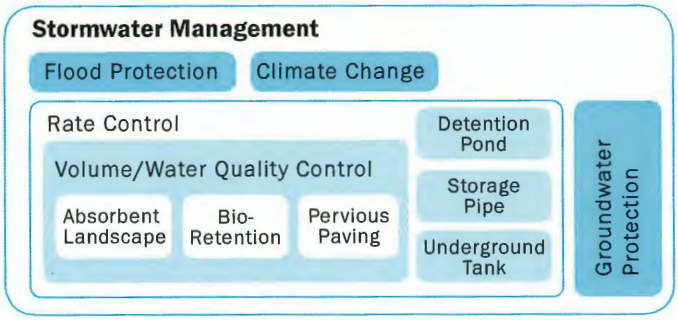
Criteria	Recommendations
Water Quality/ Volume Control (6 month 24 hour rainfall Capture)	• Minimum 300mm amended topsoil in grassed and 450mm in planted areas • Disconnected roof leaders to pervious area • Pervious paving for driveways, walkways and patio areas • Rock pit installation in silt loam soils, but not required in sandy loam and loam soils Rock pit area = 5% development area Rock reservoir storage depth = 641mm *Note: Required rock reservoir storage depth shall be verified based on the site specific geotechnical investigation for the subsurface soils and soil infiltration rates.*
Rate Control (Up to 10-year post-development flow to pre-development flow)	• Additional detention storage requirements Sandy Loam Soil Area: None Loam Soil Area: 18.3 m3/ha Silt Loam Soil Area: 41.3 m3/ha
Groundwater Protection	• Groundwater impact assessment be conducted by a Hydro-geotechnical professional to determine groundwater protection measures
Supplementary Stormwater Management Measures	• Maintenance (or retention) of high tree cover densities • Maintenance of riparian setback as per the environmental requirements if applicable. • Installation of daisy-chained stormwater management features (combination of bio-retention cells, wetted habitat channels and detention ponds/wetlands) if possible along the edge of the riparian setback boundaries • Other source control measures that can achieve water quality, volume and rate controls in combination with, or in replacement of replacing rock pits

Cluster Residential/Multiplex

Maximum allowed imperviousness: 60%

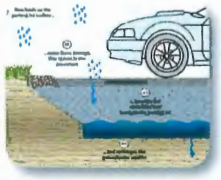






Absorbent Landscape

Bio-Retention

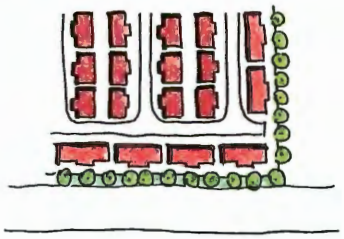


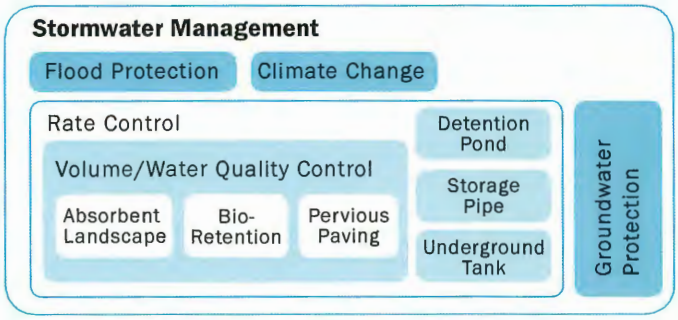
Pervious Paving

Criteria	Recommendations
Water Quality/ Volume Control (6 month 24 hour rainfall Capture)	• Minimum 300mm amended topsoil in grassed and 450mm in planted areas • Disconnected roof leaders to pervious area • Pervious paving for driveways, walkways, visitor parking areas • Bio-retention devices installation in silt loam soils, but not required in sandy loam and loam soils Bio-retention bottom area = 5% development area Rock reservoir storage depth = 910mm *Note: Required rock reservoir storage depth shall be verified based on the site specific geotechnical investigation for the subsurface soils and soil infiltration rates.*
Rate Control (Up to 10-year post-development flow to pre-development flow)	• Additional detention storage requirements Sandy Loam Soil Area: None Loam Soil Area: 65.7m3/ha Silt Loam Soil Area: 64.5m3/ha
Groundwater Protection	• Groundwater impact assessment be conducted by a Hydro-geotechnical professional to determine groundwater protection measures
Supplementary Stormwater Management Measures	• Maintenance (or retention) of high tree cover densities • Maintenance of riparian setback as per the environmental requirements if applicable • Installation of daisy-chained stormwater management features (combination of bio-retention cells, wetted habitat channels and detention ponds/wetlands) if possible along the edge of the riparian setback boundaries • Other source control measures that can achieve water quality, volume and rate controls in combination with, or in replacement of bio-retention devices

Townhouse

Maximum allowed imperviousness: 65%





Absorbent Landscape

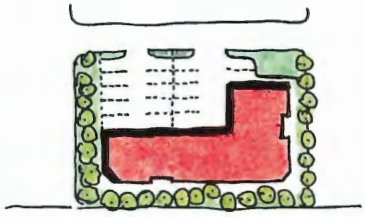
Bio-Retention

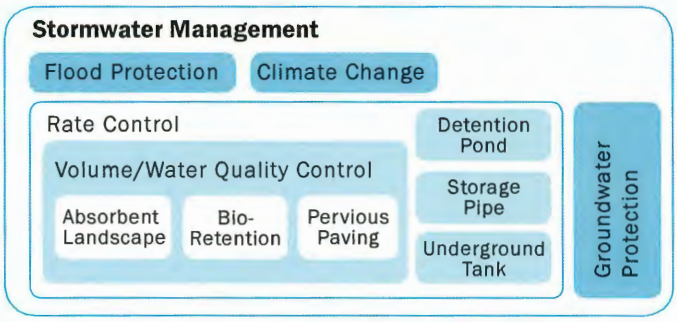
Pervious Paving

Criteria	Recommendations
Water Quality/ Volume Control (6 month 24 hour rainfall Capture)	• Minimum 300mm amended topsoil in grassed and 450mm in planted areas • Disconnected roof leaders to pervious area • Pervious paving for driveways, walkways and visitor parking areas • Bio-retention devices installation in silt loam soils, but not required in sandy loam and loam soils Bio-retention bottom area = 5% development area Rock reservoir storage depth = 1,179mm *Note: Required rock reservoir storage depth shall be verified based on the site specific geotechnical investigation for the subsurface soils and soil infiltration rates.*
Rate Control (Up to 10-year post-development flow to pre-development flow)	• Additional detention storage requirements Sandy Loam Soil Area: 13.3m3/ha Loam Soil Area: 119.6m3/ha Silt Loam Soil Area: 58.5m3/ha
Groundwater Protection	• Groundwater impact assessment be conducted by a Hydro-geotechnical professional to determine groundwater protection measures
Supplementary Stormwater Management Measures	• Maintenance (or retention) of high tree cover densities • Maintenance of riparian setback as per the environmental requirements if applicable • Installation of daisy-chained stormwater management features (combination of bio-retention cells, wetted habitat channels and detention ponds/wetlands) if possible along the edge of the riparian setback boundaries • Other source control measures that can achieve water quality, volume and rate controls in combination with, or in replacement of bio-retention devices

Institutional

Maximum allowed imperviousness: 80%
(excluding fields)





Absorbent Landscape

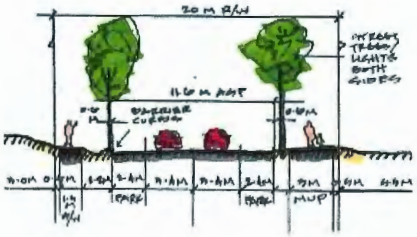
Bio-Retention

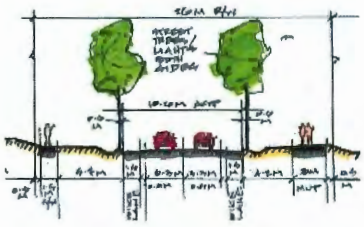
Pervious Paving

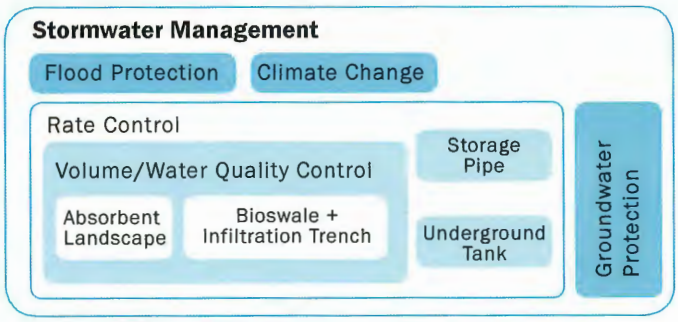
Criteria	Recommendations
Water Quality/ Volume Control (6 month 24 hour rainfall Capture)	• Minimum 300mm amended topsoil in grassed and 450mm in planted areas • Disconnected roof leaders to pervious area • Pervious paving for walkways and parking areas • Bio-retention devices installation in loam and silt loam soils, but not required in sandy loam soils Bio-retention bottom area = 5% development area Rock reservoir storage depth = 1,109mm (Loam)/1,987mm (Silt Loam) *Note: Required rock reservoir storage depth shall be verified based on the site specific geotechnical investigation for the subsurface soils and soil infiltration rates.*
Rate Control (Up to 10-year post-development flow to pre-development flow)	• Additional detention storage requirements Sandy Loam Soil Area: 196.0m3/ha Loam Soil Area: 271.1m3/ha Silt Loam Soil Area: 35.3m3/ha
Groundwater Protection	• Groundwater impact assessment be conducted by a Hydro-geotechnical professional to determine groundwater protection measures • Plan for the school sport field in the eastern portion of the school site and install perforated subsurface drainage system to allow for maximum ground infiltration and groundwater recharge in this area
Supplementary Stormwater Management Measures	• Maintenance (or retention) of high tree cover densities • Other source control measures that can achieve water quality, volume and rate controls in combination with, or in replacement of bio-retention devices

Road Right-of-Way

Maximum Design imperviousness: 78%







Absorbent Landscape

Bioswale + Infiltration Trench

Criteria	Recommendations
Water Quality/ Volume Control (6 month 24 hour rainfall Capture)	• Minimum 300mm amended topsoil in grassed and 450mm in planted areas • Bioswale in combination with infiltration trench system installation Infiltration trench bottom width = 10% road ROW width Rock reservoir storage depth = 200mm (Sandy Loam) = 456mm (Loam) = 1,045mm (Silt Loam) *Note: Required rock reservoir storage depth shall be verified based on the site specific geotechnical investigation for the subsurface soils and soil infiltration rates.*
Rate Control (Up to 10-year post-development flow to pre-development flow)	• Additional detention storage requirements Sandy Loam Sand Area: 167.4m3/ha Loam Sand Area: 267.5m3/ha Silt Loam Sand Area: 42.5m3/ha
Groundwater Protection	• Groundwater impact assessment be conducted by a Hydro-geotechnical professional to determine groundwater protection measures
Supplementary Stormwater Management Measures	• Tree planting in boulevard • Installation of trench dams at stream crossing locations • Other source control measures that can achieve water quality, volume and rate controls in combination with, or in replacement of the proposed source control devices

In addition to the source control design guidelines provided above, onsite and offsite storm sewer systems shall be designed to convey the peak 10-year flows and the major flow paths including major road crossings, designated overland flow paths and open channels shall be designed to convey the peak 100-year flows assuming no onsite source control measures with 2070 climate condition.

5.7 STORMWATER MANAGEMENT SYSTEM OPERATION, MAINTENANCE AND PERFORMANCE MONITORING

Operation and Maintenance

Stormwater management source controls rely on appropriate operation and maintenance for performance and longevity. The lifespan of source controls will vary with the type, design and maintenance provided. **Table 8** provides the operation and maintenance requirements for various BMP devices for use by landowners and subdivision strata management groups during and after construction and implementation of these stormwater management BMP features.

Table 8 – Stormwater BMP Operation and Maintenance Requirements

BMP Type	Required Operation and Maintenance Actions
Absorbent Landscape	**Construction Phase:** - Inspection to ensure required depths and areas are constructed - Ensure topsoil installation area is properly scarified and prepared **Operation Phase:** - Hydro-seeding in areas where topsoil is exposed and eroded (on-going) - Minimum water supply to absorbent landscape areas during dry season (on-going) - Seeding and soil maintenance (bi-annual)
Rock Pit	**Construction Phase:** - Ensure rock infiltration area is protected from sediment **Operation Phase:** - Ensure vehicles are not driven or parked on the trenches unless proper support with pavement constructed on the top of the rock pit area for vehicle access is provided (on-going) - Avoid excessive compaction from equipment, vehicles and mowers (on-going) - Remove trash, leaves and other debris collected on the surface (on-going) - Inspect cleanouts of perforated drains (quarterly) - Remove debris from surfaces (quarterly) - Catch basins and inlets to be inspected and cleaned (annually) - Check and repair damages (e.g. sink holes) (as needed) - Check for signs of failure such as standing water in the observation well for more than 48 hours after a rain event, insects and/or odour, and clean and reinstall filter fabric and rock reservoir, as needed - Redirect drainage if runoff is conveyed over and across the trench but not into the facility (as needed)

Bio-Retention (e.g. rain gardens)	**Construction Phase:** - Inspection to ensure required amended topsoil depths being constructed - Ensure topsoil installation area is properly scarified and prepared - Ensure rock infiltration area is protected from sediments **Operation Phase:** - Plan in place for watering until plantings established (first year) - Plant and soil maintenance and weed control (bi-annual) - Inspection of surface conditions for uneven settling, water ponding, or potholes to determine if any remedial work is needed (bi-annual)
Pervious Paving	**Construction Phase:** - Ensure rock infiltration area is protected from sediments **Operation Phase:** - Provide remedial work when ponding of water is visible on the surface 48 hours after a rain event (on-going) - Avoid loading or placement of landscaping materials such as mulch, sand or topsoil on pervious paving (on-going) - Surface sweeping with a commercial vacuum sweeping unit or pressure washing of clogged surface (bi-annual or when accumulated sediment is found in between pavers) - Inspection of surface conditions for uneven settling, water ponding, or potholes to determine if any remedial work is needed (bi-annual) - Restrict use of de-icing chemicals and sand on pervious paving areas (winter)
Bioswale and Infiltration Trench in Road Right-of-Way	**Construction Phase:** - Inspection to ensure required amended topsoil depths being constructed within bioswale areas - Ensure topsoil installation area is properly scarified and prepared - Ensure infiltration trench area is protected from sediments **Operation Phase:** - Inspect cleanouts of perforated drains (quarterly) - Remove debris from surface to maintain proper function (quarterly or as needed) - Avoid excessive compaction from equipment and mowers (on-going) - Ensure vehicles are not driven or parked on trenches unless proper support with pavement constructed on the top of the infiltration area for vehicle access (on-going) - Catch basins and inlets to be inspected and cleaned (annual) - Repair when there is visible damage to the trench, e.g. sink holes (as needed) - Redirect drainage if runoff is conveyed over and across the trench but not into the facility (as needed)

Stormwater Performance Monitoring Program

A performance monitoring program will assist the City in answering the following two questions:

- If the development is negatively impacting the ecological health of creeks; and
- If stormwater management activities are resulting in no-net-loss of the overall health of the creeks.

Aplin Martin recommends that the City of Maple Ridge consider implementing a Stormwater Performance Monitoring Program for the North East Albion Concept Plan area according to the Monitoring and Adaptive Management Framework for Stormwater (MAMF) developed by Metro Vancouver in 2014. The proposed monitoring program should follow the MAMF protocols and includes the following:

- Conduct continuous flow monitoring in the selected ravine watercourses, e.g. KA2, KA3 and KA6 west;
- Water quality grab sampling to measure dissolved oxygen, water temperature, turbidity, pH, conductivity, nitrate, e. coli, fecal coliform, total iron, total copper, total lead, total zinc and total cadmium, once every five years;
- Annual erosion monitoring for all tributary ravine areas; and
- Desktop monitoring of changes in total impervious area, effective impervious area (EIA) and riparian forest integrity (RFI) using aerial photos and GIS, every five years.

06 | BC HYDRO, TELECOMM, CABLE & GAS

The area is generally currently serviced with BC Hydro, Telus and Fortis BC natural gas services. The existing subdivisions to the south and east of North East Albion are currently serviced with underground BC Hydro and Telus distribution systems.

It is proposed to extend the existing underground systems as required to service each individual development application within North East Albion.

Three phase BC Hydro servicing appears to currently terminate at the intersection of 112 Avenue and Lockwood Street. It is anticipated that three phase BC Hydro servicing will need to be extended via overhead service along 112 Avenue to service sanitary pump station PS-1.

07 | LARGE FORMAT DRAWING

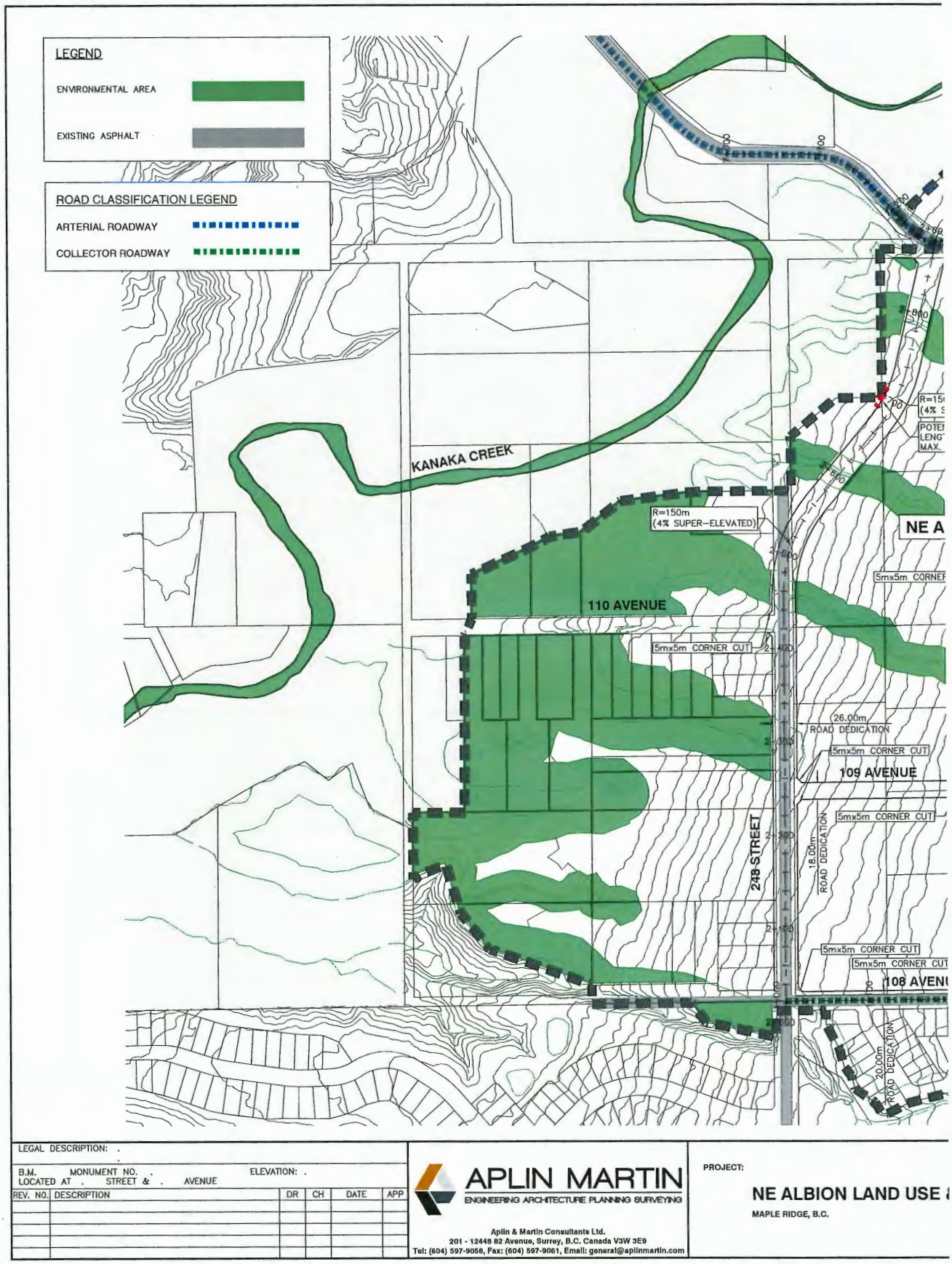
The drawings referenced above are provided in the following section.

Roadworks drawings include:
- Drawing 101 – Roadworks Master Plan

Sanitary drawings include:
- Drawing 201 – Sanitary Master Plan
- Drawing 202 – North East Albion Sanitary Catchment Plan
- Drawing 203 – North East Albion Sanitary Catchment Plan - Calculations

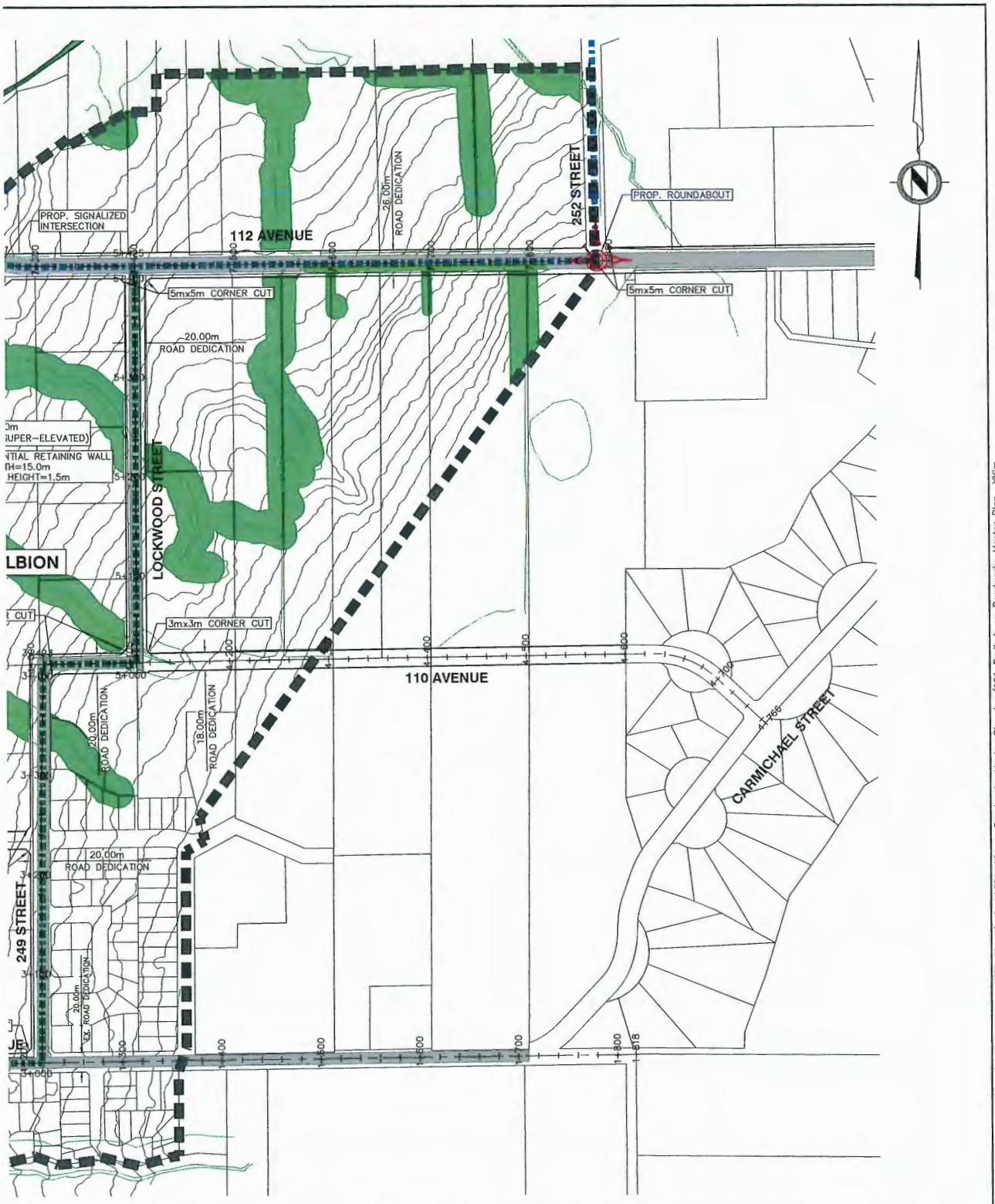
Water drawings include:
- Drawing 301 – Water Master Plan

Stormwater drawings include:
- Drawing 401 – Land Use and Stormwater Catchment Plan - Existing
- Drawing 402 – Land Use and Stormwater Catchment Plan - Post Development
- Drawing 403 – Soil Map
- Drawing 404 – Stormwater Master Plan
- Drawing 405 – 100 Year Flow Paths



Drawing 101 – Roadworks Master Plan

Noting that 248 Street at 112 Avenue intersection is approximately 30 to 35 meters east



& SERVICING PLAN

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: **ROADWORKS MASTER PLAN**

DESIGN: YK CHECK: DB
DRAWN: KAL APPR: DB

A & M FILE: **18-1022A**

PROJECT NO. •

SCALE : HORZ. 1:2500 VERT. N/A

DRAWING DATE: **FEBRUARY, 2019**

DRAWING NO. •

A & M DRAWING NO. **18-1022A - 101**

SHEET NO. **101**

REV.

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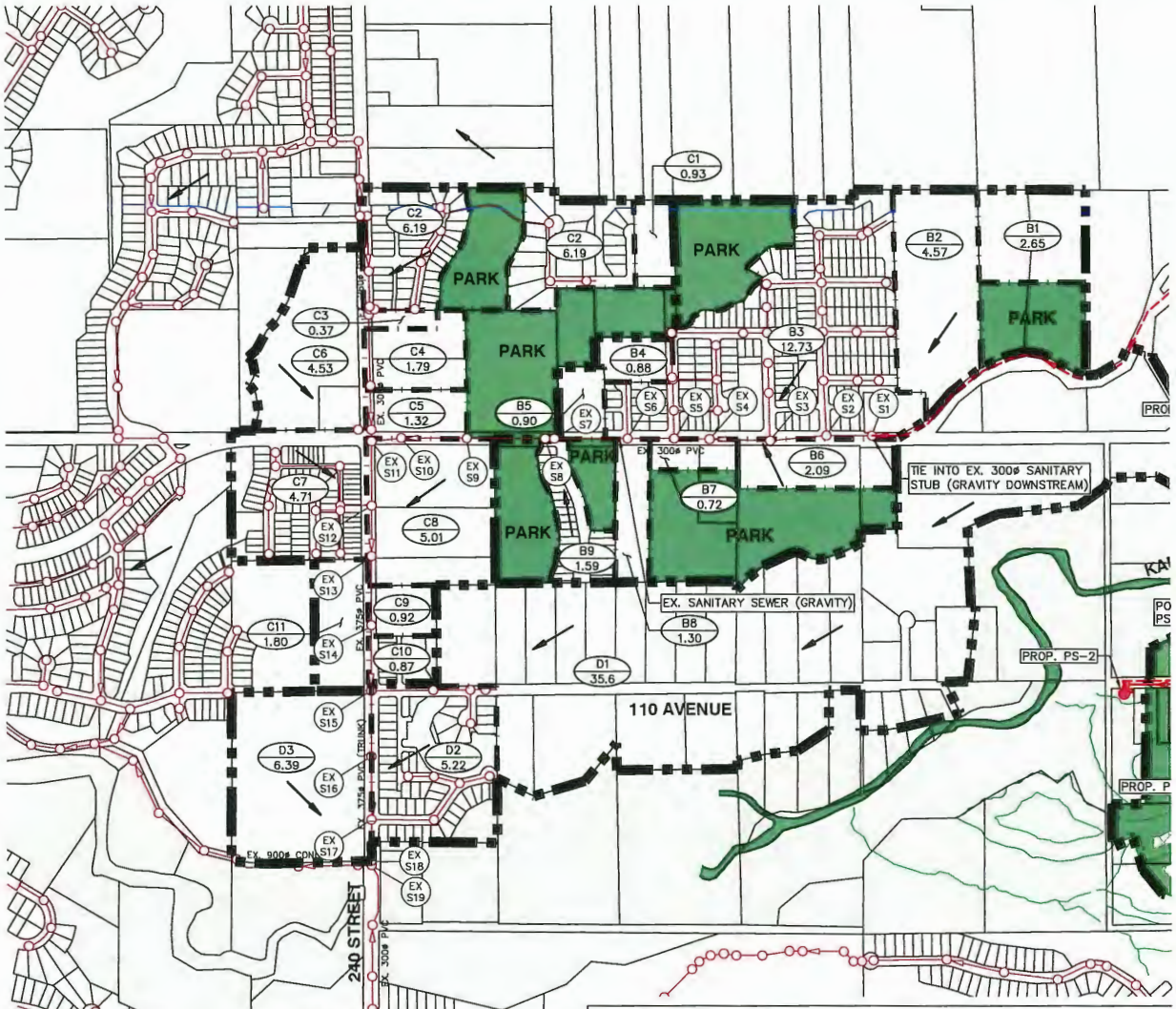


OVERALL SANITARY

Municipal Proj #	TBD
Project Title:	NE Albion LU & S Plan
Project Location:	NE Albion
	Maple Ridge

AVERAGE DAILY FLOW
Residential= 300 L/cap/day
MANNINGS "n" 0.011
Inflow & Infiltratior 11,232 L/hectare/day

Peaking Factor = Harmon Equation

Locations			Sub-Catchments									
Street	Manhole		Sub-Catchment No.	Area	Cum Area	Land Usage	Pop Density	Density	Pop Rate	Population	Cum Pop
	From	To		A (ha)	(ha)		(cap/ha)	(units)	(cap/unit)		
PROP. SITE			A	42.12	42.12	*		*	*	3659	365
112 Avenue	EX S1	EX S11	B	27.43	69.55	SF		289	2.80	811	447
240 Street	EX S11	EX S15	C	28.44	97.99	**		491	**	1405	587
240 Street	EX S15	EX S19	D	47.21	145.20	SF		229	2.80	641	651

*See NE Albion development area population calculation table for details

**See overall population calculation table for details

*** Lowest pipe grade used through the existing sanitary system

Note: Unit counts are based on David Laird estimations for undeveloped lands (Dated Feb 9, 2019)

LEGAL DESCRIPTION: .
.
B.M. MONUMENT NO. . ELEVATION: .
LOCATED AT . STREET & . AVENUE

REV. NO.	DESCRIPTION	DR	CH	DATE	APP

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

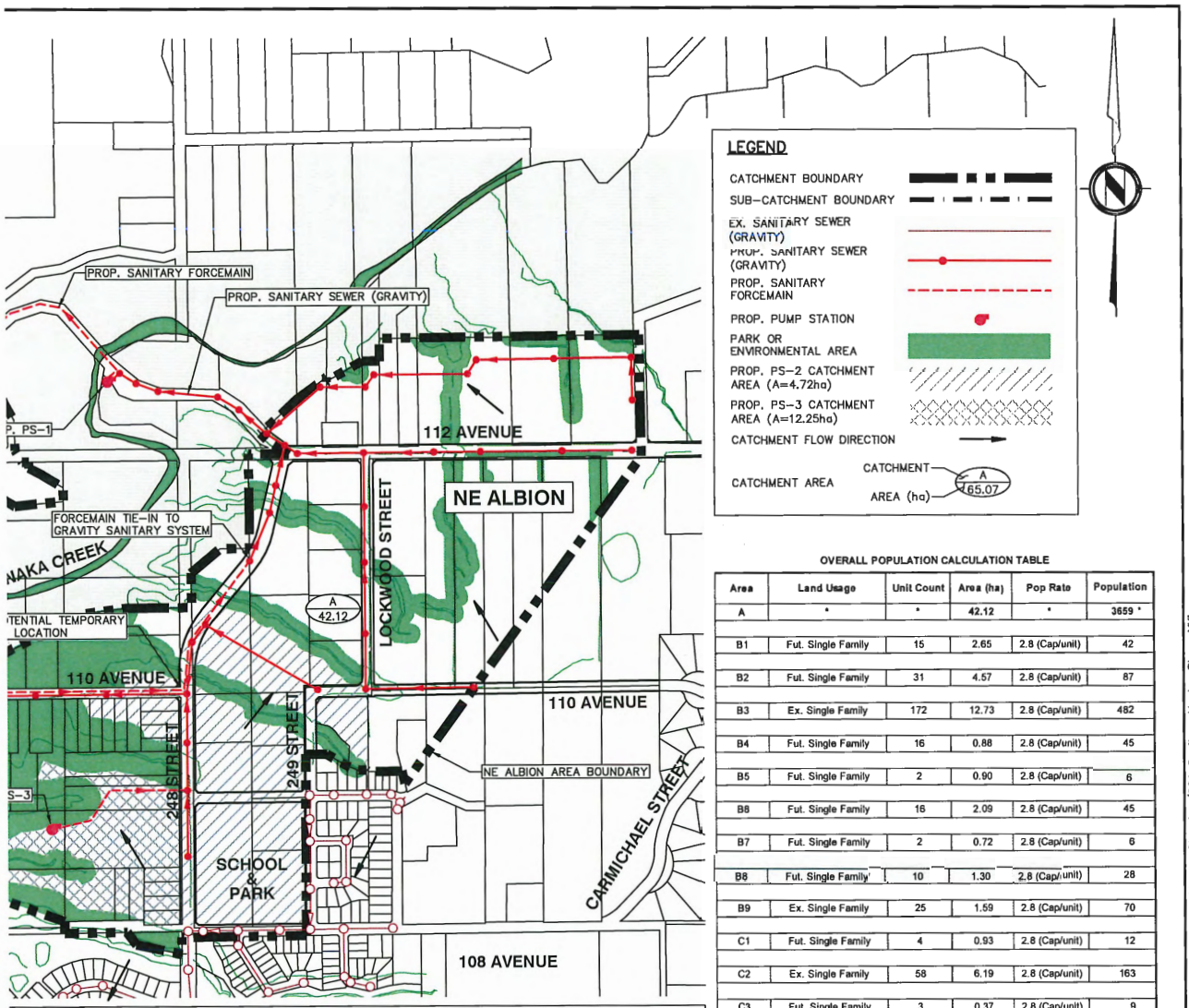
Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061, Email: general@aplinmartin.com

PROJECT:

NE ALBION LAND USE &

MAPLE RIDGE, B.C.

Drawing 201 – Sanitary Master Plan



OVERALL POPULATION CALCULATION TABLE

Area	Land Usage	Unit Count	Area (ha)	Pop Rate	Population
A	*	*	42.12	*	3659 *
B1	Fut. Single Family	15	2.65	2.8 (Cap/unit)	42
B2	Fut. Single Family	31	4.57	2.8 (Cap/unit)	87
B3	Ex. Single Family	172	12.73	2.8 (Cap/unit)	482
B4	Fut. Single Family	16	0.88	2.8 (Cap/unit)	45
B5	Fut. Single Family	2	0.90	2.8 (Cap/unit)	6
B6	Fut. Single Family	16	2.09	2.8 (Cap/unit)	45
B7	Fut. Single Family	2	0.72	2.8 (Cap/unit)	6
B8	Fut. Single Family	10	1.30	2.8 (Cap/unit)	28
B9	Ex. Single Family	25	1.59	2.8 (Cap/unit)	70
C1	Fut. Single Family	4	0.93	2.8 (Cap/unit)	12
C2	Ex. Single Family	58	6.19	2.8 (Cap/unit)	163
C3	Fut. Single Family	3	0.37	2.8 (Cap/unit)	9
C4	Fut. Single Family	5	1.79	2.8 (Cap/unit)	14
C5	Fut. Single Family	20	1.32	2.8 (Cap/unit)	56
C6	Ex. Townhouse (RM-1)	167	3.98	2.8 (Cap/unit)	468
	Fut. Commercial		0.55	50 (Cap/ha)	28 (2)
C7	Ex. Single Family	70	4.71	2.8 (Cap/unit)	196
C8	Fut. Townhouse (RM-1)	130	5.01	2.8 (Cap/unit)	364
C9	Fut. Single Family	5	0.92	2.8 (Cap/unit)	14
C10	Fut. Single Family	9	0.87	2.8 (Cap/unit)	25
C11	Fut. Single Family	20	1.80	2.8 (Cap/unit)	56
D1	Fut. Single Family	129	35.60	2.8 (Cap/unit)	361
D2	Ex. Single Family	50	5.22	2.8 (Cap/unit)	140
D3	Fut. Single Family	50	8.39	2.8 (Cap/unit)	140

(1) See NE Albion development area population calculation table for details
(2) Population density of 50 (cap/ha) used to determine future commercial population

SYSTEM DESIGN - CALCULATION SHEET

PIPE CAPACITY DESIGN CRITERIA
70% for Ex. Local (<40 L/s PWWF) Sewers (q/Q)
83.5% for Ex. Trunk (>40 L/s PWWF) Sewers (q/Q)
75% for New Sewers (d/D)

Consultant: APLIN MARTIN

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

A&M Proj # 18-1022A
Page: 1 of 1

Designed by: YK
Checked by: DB / DDH
Date: August-07-19

	Usage Level	Flow Calculations: Avg Flow	Peaking Factor	Peak Flow	Inflow & Infiltration	PWWF (Design Flow)	Pipe Parameters: Sewer Design					Results: Flow Ratio	Partial Velocity	Velocity Check	Depth of Flow
	L/cap/day	ADWF (L/s)	Pr	PDWF (L/s)	I&I (L/s)	Q (L/s)	S %	Dia. mm	L m	V_{cap} m/s	Q_{cap} (L/s)	Q/Qcap %	V_{act} (m/s)	$V_{act} \geq 0.75$ (m/s)	d/D %
9	300	12.0	2.74	34.78	5.48	40.25									
0	300	15.52	2.68	41.56	9.04	50.60	0.59***	30	8 20.00	1.24	87.78	57.6%	1.29	OK	54%
5	300	20.40	2.60	53.01	12.74	65.75	1.10***	37	4 10.00	1.97	217.32	30.3%	1.72	OK	38%
6	300	22.0	2.57	58.12	18.88	77.00	0.50***	37	2 80.00	1.33	146.52	52.6%	1.34	OK	51%

& SERVICING PLAN

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TITLE: SANITARY MASTER PLAN

DESIGN: YK CHECK: DB
DRAWN: KAL APPR: DB

A & M FILE: 18-1022A

PROJECT NO. -

SCALE : HORZ. 1:5000 VERT. N/A

DRAWING DATE: FEBRUARY, 2019

DRAWING NO. -

A & M DRAWING NO. 18-1022A - 201

SHEET NO. 201

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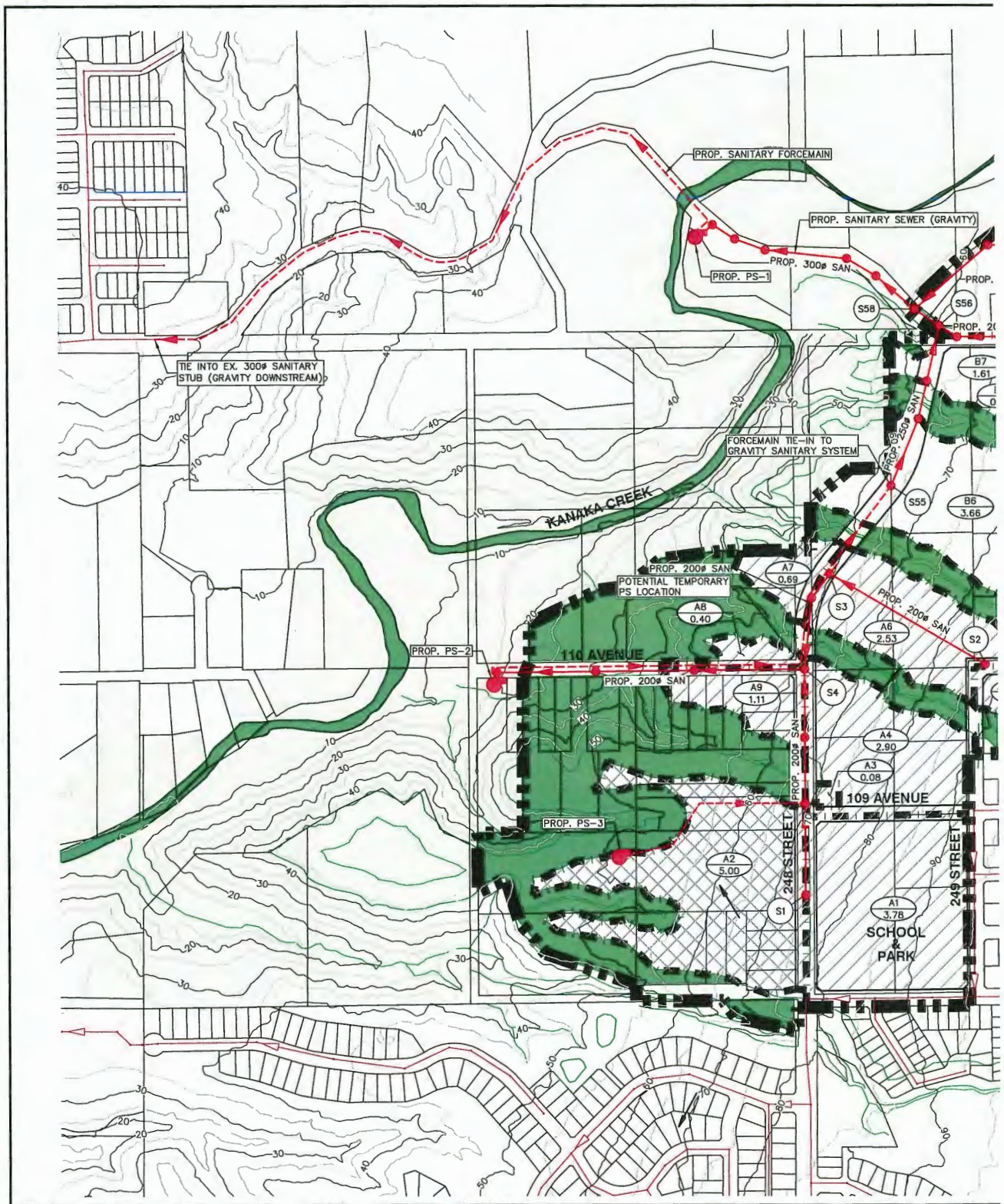


LEGAL DESCRIPTION: .

B.M. MONUMENT NO. . ELEVATION: .
LOCATED AT . STREET & . AVENUE

REV. NO.	DESCRIPTION	DR	CH	DATE	APP

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

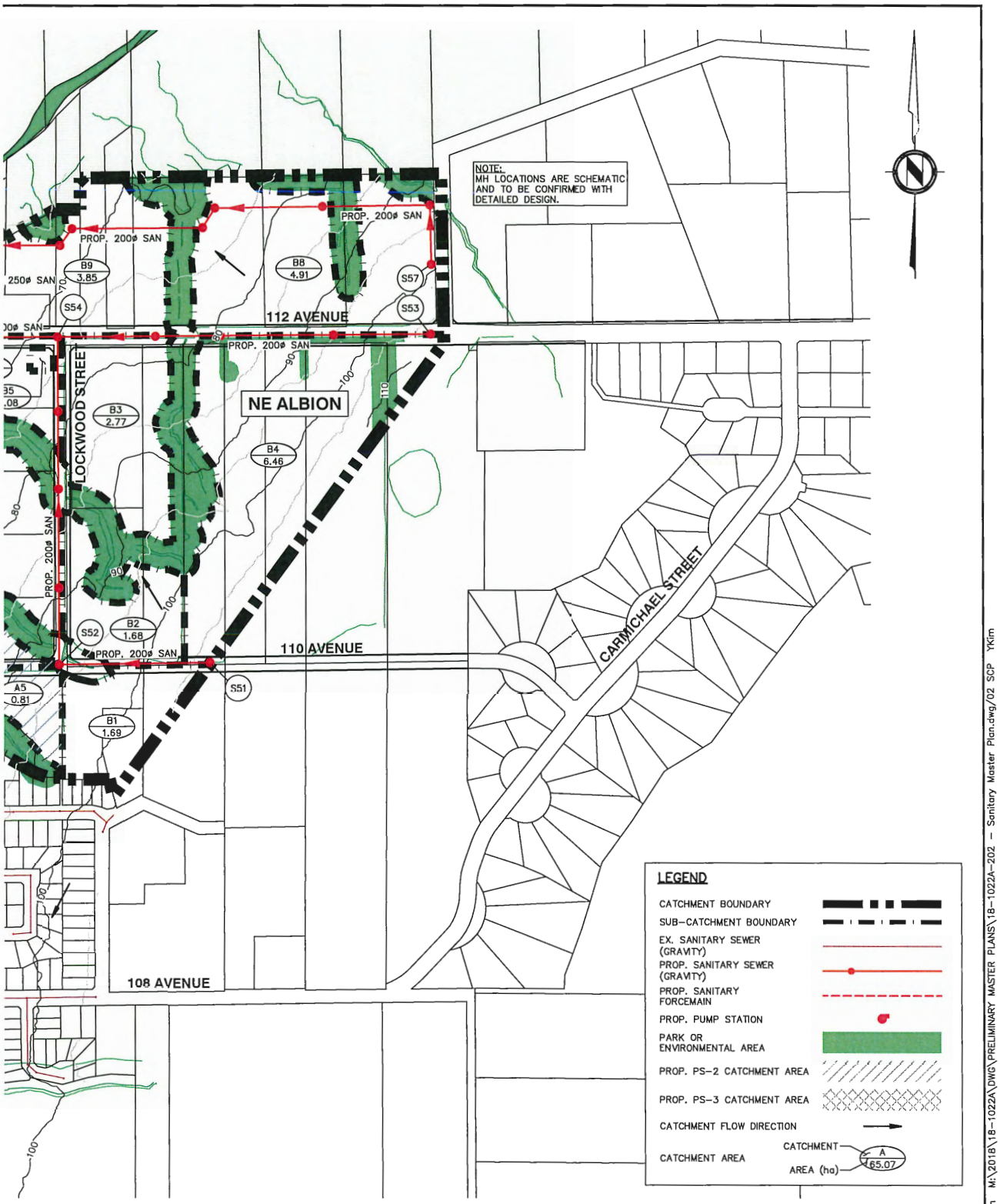
Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061, Email: general@aplinmartin.com

PROJECT:

NE ALBION LAND USE

MAPLE RIDGE, B.C.

Drawing 202 – North East Albion Sanitary Catchment Plan



& SERVICING PLAN

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TITLE: NE ALBION SANITARY CATCHMENT PLAN		DESIGN: YK CHECK: DB DRAWN: KAL APPR: DB	
		A & M FILE: 18-1022A	
PROJECT NO. .	SCALE : HORZ. 1:3000 VERT. N/A	DRAWING DATE: FEBRUARY, 2019	
DRAWING NO. .	A & M DRAWING NO. 18-1022A - 202	SHEET NO. 202	REV.

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NE ALBION SANITARY SYSTEM DESIGN - CALCULATION SHEET

Municipal Proj #	TBD
Project Title:	NE Albion LU & S Plan
Project Location:	NE Albion
	Maple Ridge

AVERAGE DAILY FLOW
Residential= 300 L/cap/day
MANNINGS "n" 0.011
Inflow & Infiltratior 11,232 L/hectare/day

PIPE CAPACITY DESIGN CRITERIA
70% for Ex. Local (<40 L/s PWWF) Sewers (q/Q)
83.5% for Ex. Trunk (>40 L/s PWWF) Sewers (q/Q)
75% for New Sewers (d/D)

Consultant: /

APLI

Peaking Factor = Harmon Equation

Locations			Sub-Catchments										Flow Calculations					Pipe Para		
Street	Manhole		Sub-Catchment No.	Area	Cum Area	Land Usage	Pop Density	Density	Pop Rate	Population	Cum. Pop	Usage Level	Avg Flow	Peaking Factor	Peak Flow	Inflow & Infiltration	PWWF (Design Flow)	Sewer Da		
	From	To		A (ha)	(ha)		(cap/ha)	(units)	(cap/unit)			L/cap/ day	ADWF (L/s)	Pr	PDWF (L/s)	I&I (L/s)	Q (L/s)	S %	DIA mm	L m
248 Street	S1	S4	A1, A2, A3 & A4	9.87	9.87	*		183	*	685	685	300	2.38	3.29	7.83	1.28	9.11	4.50	200	458.0
	S2	S3	A5 & A6	3.34	3.34	SF/TH		95	*	265	265	300	0.92	3.65	3.36	0.43	3.80	12.00	200	370.0
248 Street	S3	S4	A7	0.69	4.03	Townhouse		35	2.80	97	362	300	1.26	3.53	4.44	0.52	4.96	2.80	200	210.0
110 Avenue	S4	PS-2	A8 & A9	1.51	15.41	SF/TH		70	*	118	1165	300	4.05	3.10	12.56	2.00	14.56	8.00	200	630.0
110 Avenue	S51	S52	B1	1.69	1.69	SF		34	2.80	95	95	300	0.33	4.09	1.35	0.22	1.57	7.00	200	310.0
Lockwood	S52	S54	B2 & B3	4.45	6.14	SF/TH		172	*	482	577	300	2.00	3.35	6.72	0.80	7.52	4.00	200	660.0
112 Avenue	S53	S54	B4	6.46	6.46	SF		129	2.80	362	362	300	1.26	3.53	4.44	0.84	5.28	2.00	200	760.0
112 Avenue	S54	S56	B5	0.08	12.68	Commercial				4	943	300	3.27	3.18	10.40	1.65	12.05	8.50	200	230.0
248 Street	S55	S56	A, B6 & B7	5.27	20.68	*		264	2.50	737	1902	300	6.60	2.94	19.43	2.69	22.12	0.50	250	340.0
112 Avenue	S56	S58			33.36						2845	300	9.88	2.81	27.80	4.34	32.14	9.40	250	65.0
	S57	S58	B8 & D9	8.76	8.76	SF/TH		291	*	814	814	300	2.83	3.23	9.13	1.14	10.27	1.00	200	1100.0
112 Avenue	S58	PS-1			42.12				*		3659	300	12.70	2.74	34.78	5.48	40.25	1.00	300	470.0

** See NE Albion population calculation table for details*

LEGAL DESCRIPTION: .
.
B.M. MONUMENT NO. . ELEVATION: .
LOCATED AT . STREET & . AVENUE

REV. NO.	DESCRIPTION	DR	CH	DATE	APP

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061, Email: general@aplinmartin.com

PROJECT:
NE ALBION LAND USE
MAPLE RIDGE, B.C.

Drawing 203 – North East Albion Sanitary Catchment Plan - Calculations

A&M Proj #	18-1022A
Page:	1 of 1
Designed by:	YK
Checked by:	DB / DDH
Date:	August-07-19

APLIN MARTIN

N MARTIN

meters			Results			
esign			Flow Ratio	Partial Velocity	Velocity Check	Depth of Flow
	V_{cap} m/s	Q_{cap} (L/s)	Q/Q_{cap} %	V_{act} (m/s)	$V_{act} \geq 0.75$ (m/s)	d/D %
0	2.62	82.23	11.1%	1.72	OK	22%
0	4.27	134.28	2.8%	1.88	OK	12%
0	2.06	64.86	7.6%	1.22	OK	19%
0	3.49	109.64	13.3%	2.42	OK	25%
0	3.26	102.55	1.5%	1.19	OK	9%
0	2.47	77.52	9.7%	1.56	OK	21%
0	1.74	54.82	9.6%	1.10	OK	21%
0	3.60	113.01	10.7%	2.34	OK	22%
0	1.01	49.70	44.5%	0.98	OK	47%
)	4.39	215.47	14.9%	3.15	OK	26%
00	1.23	38.76	26.5%	1.04	OK	35%
0	1.62	114.28	35.2%	1.48	OK	41%

NE ALBION POPULATION CALCULATION TABLE

Area	Land Usage	unit/ha	Area (ha)	Units	Pop Rate	Population
A1	Institutional		1.89		90 (Cap/ha)	170 (1)
A2	Single Family	20	5.00	100	2.8 (Cap/unit)	280
A3	Commercial		0.08		50 (Cap/ha)	4 (2)
A4	Duplex	28.5	2.90	83	2.8 (Cap/unit)	231
A5	Single Family	20	0.81	16	2.8 (Cap/unit)	45
A6	Cluster TH	31	2.53	78	2.8 (Cap/unit)	220
A7	Townhouse	50	0.69	35	2.8 (Cap/unit)	97
A8	Townhouse	50	0.40	20	2.8 (Cap/unit)	56
A9	Single Family	20	1.11	22	2.8 (Cap/unit)	62
B1	Single Family	20	1.69	34	2.8 (Cap/unit)	95
B2	Single Family	20	1.88	34	2.8 (Cap/unit)	94
B3	Townhouse	50	2.77	139	2.8 (Cap/unit)	388
B4	Single Family	20	6.46	129	2.8 (Cap/unit)	362
B5	Commercial		0.08		50 (Cap/ha)	4 (2)
B6	Townhouse	50	3.66	183	2.8 (Cap/unit)	512
B7	Townhouse	50	1.81	81	2.8 (Cap/unit)	225
B8	Single Family	20	4.91	98	2.8 (Cap/unit)	275
B9	Townhouse	50	3.85	193	2.8 (Cap/unit)	539

(1) Population density of 90 (cap/ha) used to determine institutional population
(2) Population density of 50 (cap/ha) used to determine future commercial population

& SERVICING PLAN

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

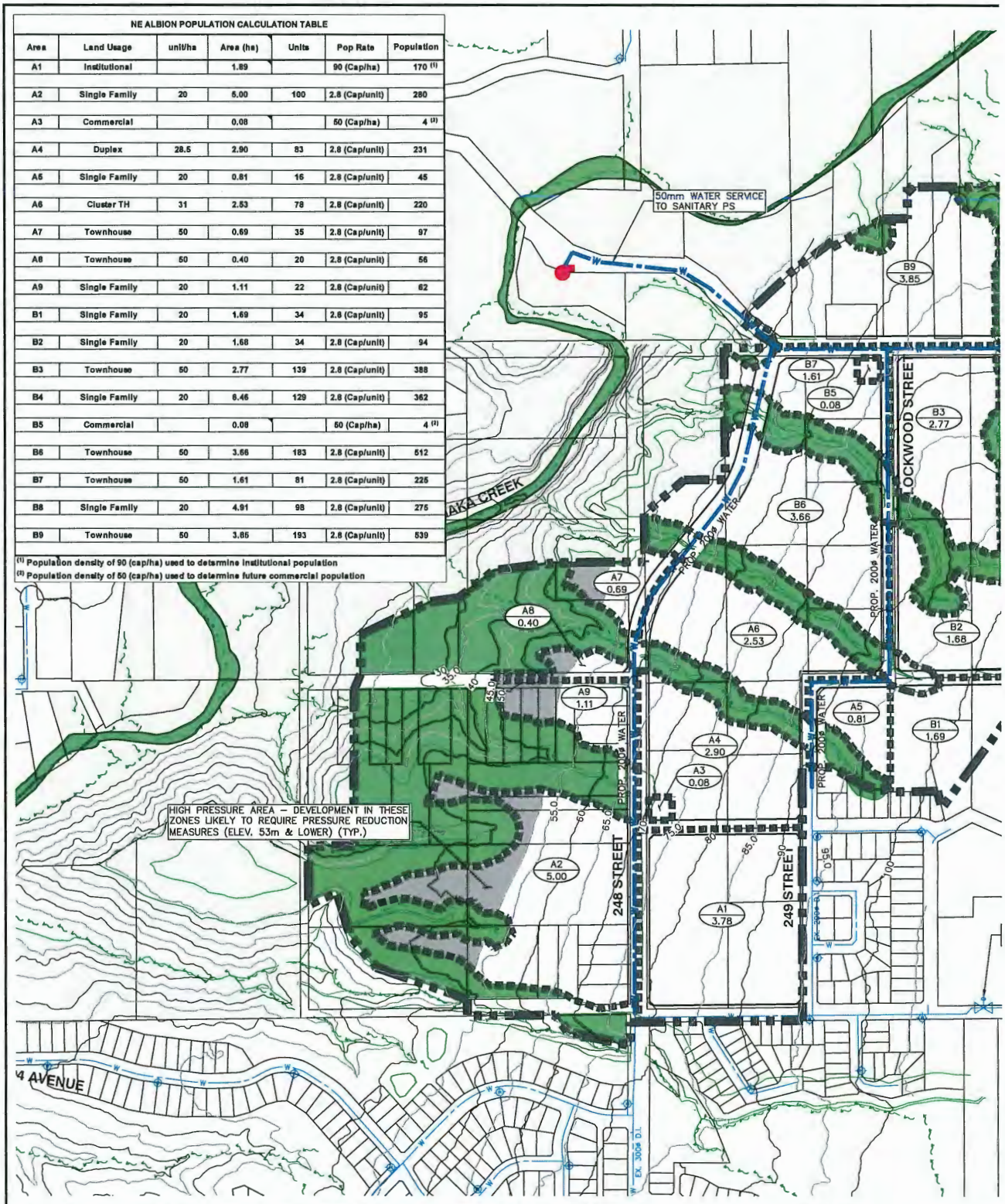
TITLE: NE ALBION SANITARY CATCHMENT PLAN - CALCULATIONS		DESIGN: YK CHECK: DB DRAWN: KAL APPR: DB	
		A & M FILE: 18-1022A	
PROJECT NO. .	SCALE : HORZ. N/A VERT. N/A	DRAWING DATE: FEBRUARY, 2019	
DRAWING NO. .	A & M DRAWING NO. 18-1022A - 203	SHEET NO. 203	REV.

Sep 24 2019 – 9:29am M:\2018\18-1022A\DWG\PRELIMINARY MASTER PLANS\18-1022A-202 – Sanitary Master Plan.dwg/03 SCP CALCS YKim

NE ALBION POPULATION CALCULATION TABLE

Area	Land Usage	unit/ha	Area (ha)	Units	Pop Rate	Population
A1	Institutional		1.89		90 (Cap/ha)	170 (1)
A2	Single Family	20	5.00	100	2.8 (Cap/unit)	280
A3	Commercial		0.08		50 (Cap/ha)	4 (2)
A4	Duplex	28.5	2.90	83	2.8 (Cap/unit)	231
A5	Single Family	20	0.81	16	2.8 (Cap/unit)	45
A6	Cluster TH	31	2.53	78	2.8 (Cap/unit)	220
A7	Townhouse	50	0.69	35	2.8 (Cap/unit)	97
A8	Townhouse	50	0.40	20	2.8 (Cap/unit)	56
A9	Single Family	20	1.11	22	2.8 (Cap/unit)	62
B1	Single Family	20	1.69	34	2.8 (Cap/unit)	95
B2	Single Family	20	1.68	34	2.8 (Cap/unit)	94
B3	Townhouse	50	2.77	139	2.8 (Cap/unit)	388
B4	Single Family	20	6.46	129	2.8 (Cap/unit)	362
B5	Commercial		0.08		50 (Cap/ha)	4 (2)
B6	Townhouse	50	3.66	183	2.8 (Cap/unit)	512
B7	Townhouse	50	1.61	81	2.8 (Cap/unit)	225
B8	Single Family	20	4.91	98	2.8 (Cap/unit)	275
B9	Townhouse	50	3.85	193	2.8 (Cap/unit)	539

(1) Population density of 90 (cap/ha) used to determine institutional population
(2) Population density of 50 (cap/ha) used to determine future commercial population



LEGAL DESCRIPTION: .

B.M. MONUMENT NO. . ELEVATION: .
LOCATED AT . STREET & . AVENUE

REV. NO.	DESCRIPTION	DR	CH	DATE	APP

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

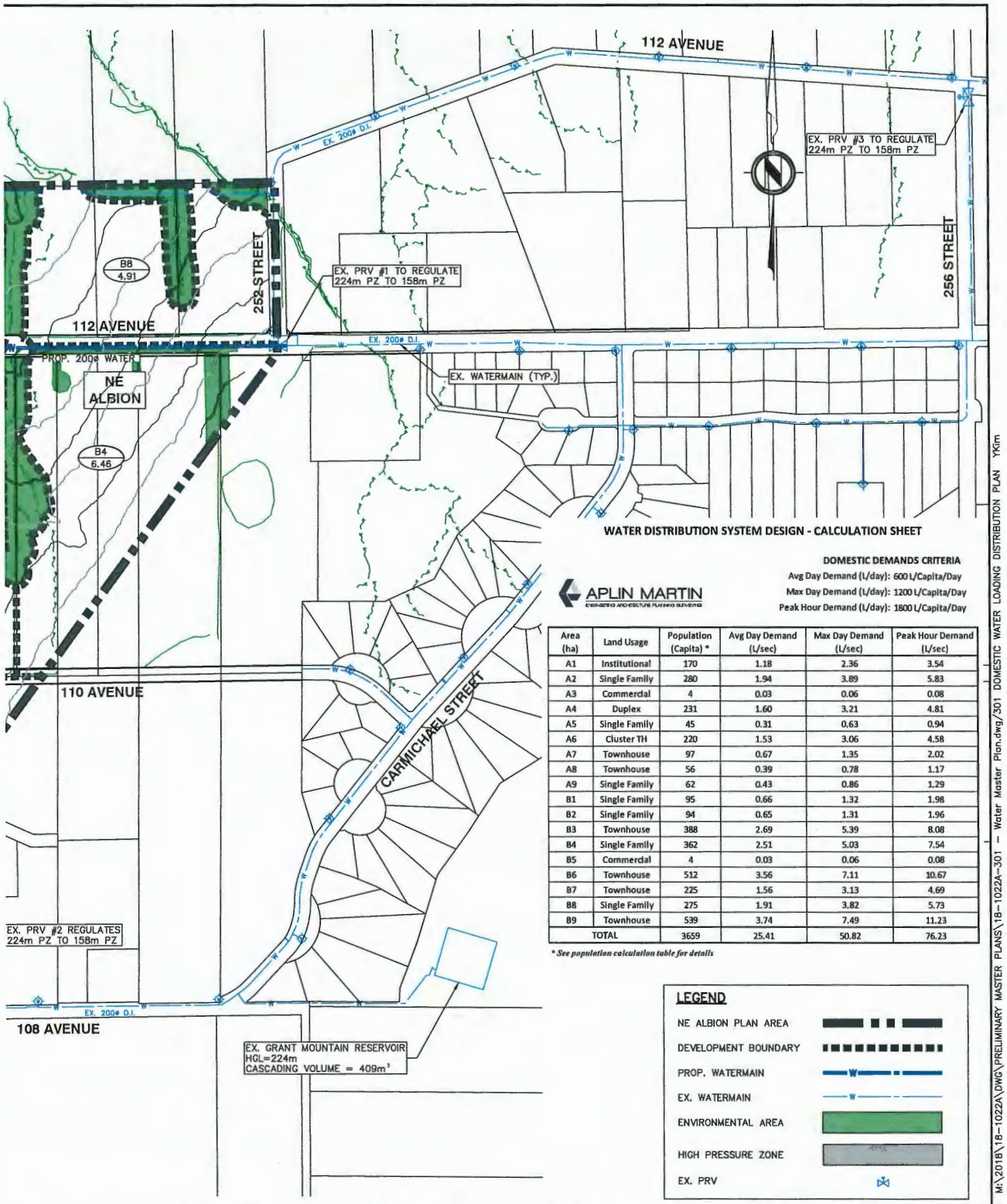
Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. Canada V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061, Email: general@aplinmartin.com

PROJECT:

NE ALBION LAND USE

MAPLE RIDGE, B.C.

Drawing 301 – Water Master Plan



WATER DISTRIBUTION SYSTEM DESIGN - CALCULATION SHEET

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

DOMESTIC DEMANDS CRITERIA

Avg Day Demand (L/day): 600 L/Capita/Day
Max Day Demand (L/day): 1200 L/Capita/Day
Peak Hour Demand (L/day): 1800 L/Capita/Day

Area (ha)	Land Usage	Population (Capita) *	Avg Day Demand (L/sec)	Max Day Demand (L/sec)	Peak Hour Demand (L/sec)
A1	Institutional	170	1.18	2.36	3.54
A2	Single Family	280	1.94	3.89	5.83
A3	Commercial	4	0.03	0.06	0.08
A4	Duplex	231	1.60	3.21	4.81
A5	Single Family	45	0.31	0.63	0.94
A6	Cluster TH	220	1.53	3.06	4.58
A7	Townhouse	97	0.67	1.35	2.02
A8	Townhouse	56	0.39	0.78	1.17
A9	Single Family	62	0.43	0.86	1.29
B1	Single Family	95	0.66	1.32	1.98
B2	Single Family	94	0.65	1.31	1.96
B3	Townhouse	388	2.69	5.39	8.08
B4	Single Family	362	2.51	5.03	7.54
B5	Commercial	4	0.03	0.06	0.08
B6	Townhouse	512	3.56	7.11	10.67
B7	Townhouse	225	1.56	3.13	4.69
B8	Single Family	275	1.91	3.82	5.73
B9	Townhouse	539	3.74	7.49	11.23
TOTAL		3659	25.41	50.82	76.23

** See population calculation table for details*

LEGEND

- NE ALBION PLAN AREA
- DEVELOPMENT BOUNDARY
- PROP. WATERMAIN
- EX. WATERMAIN
- ENVIRONMENTAL AREA
- HIGH PRESSURE ZONE
- EX. PRV

& SERVICING PLAN

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: **WATER MASTER PLAN**

DESIGN: YK CHECK: DB
DRAWN: KAL APPR: DB

A & M FILE: **18-1022A**

PROJECT NO. -

SCALE : HORZ. 1:3000 VERT. N/A

DRAWING DATE: **FEBRUARY, 2019**

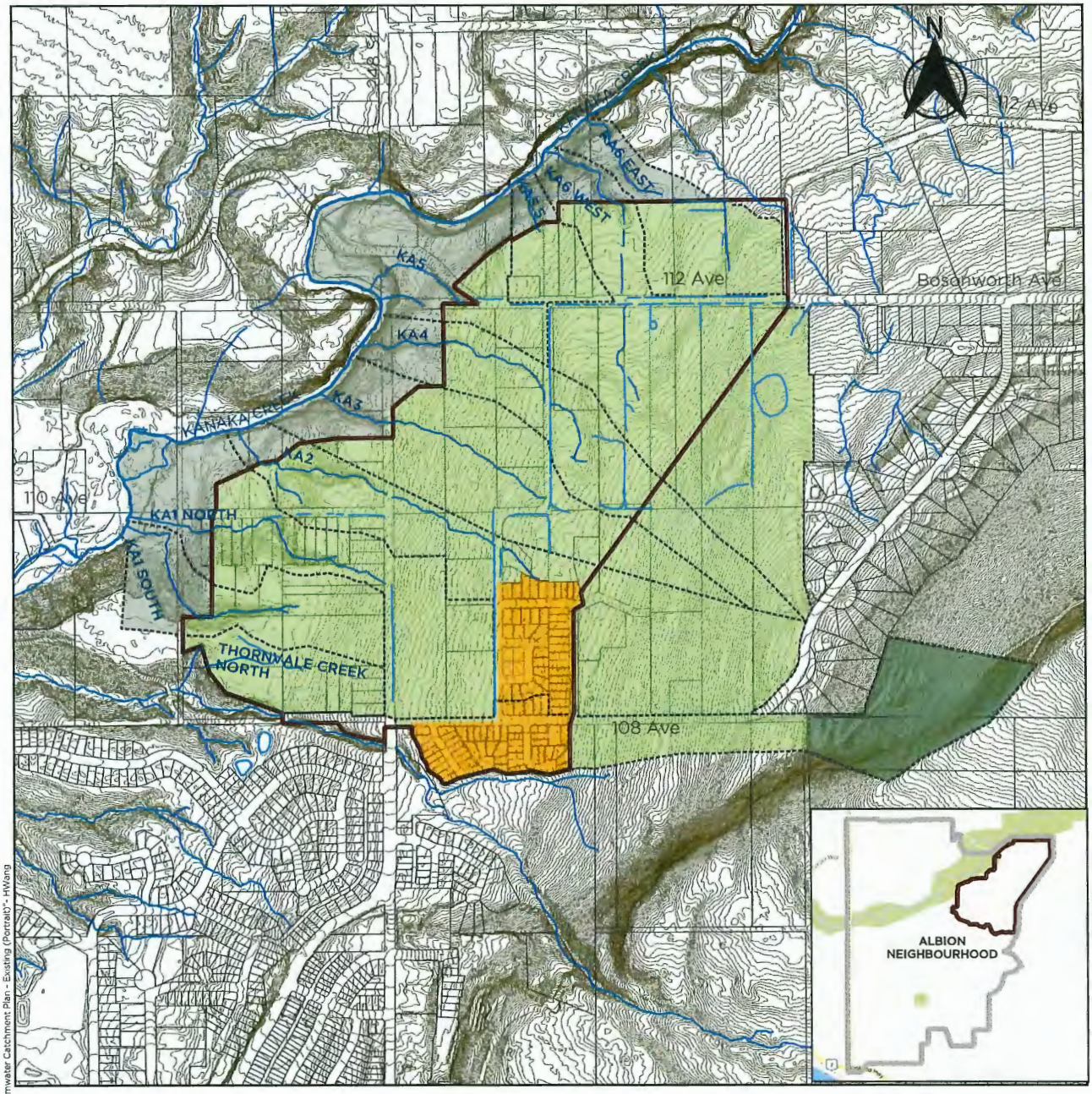
DRAWING NO. -

A & M DRAWING NO. **18-1022A - 301**

SHEET NO. **301** REV.

0 30 1:3000 150m

Sep 24 2019 - 10:28am M:\2018\18-1022A\DWG\PRELIMINARY MASTER PLANS\18-1022A-301 - Water Master Plan.dwg/301 DOMESTIC WATER LOADING DISTRIBUTION PLAN YKim



Legend

- North-East Albion
- Existing Drainage Boundaries
- Contour (1m Interval)
- Watercourse
- Ditches/Unconfirmed Streams

Existing Land Use

- Metro Vancouver Park
- Agricultural
- Rural
- Low Density Residential
- Low/Medium Density Residential
- Medium Density Residential

150 0 150 300 450 m

Scale 1:8,000

NE Albion
Land Use and Stormwater
Catchment Plan - Existing

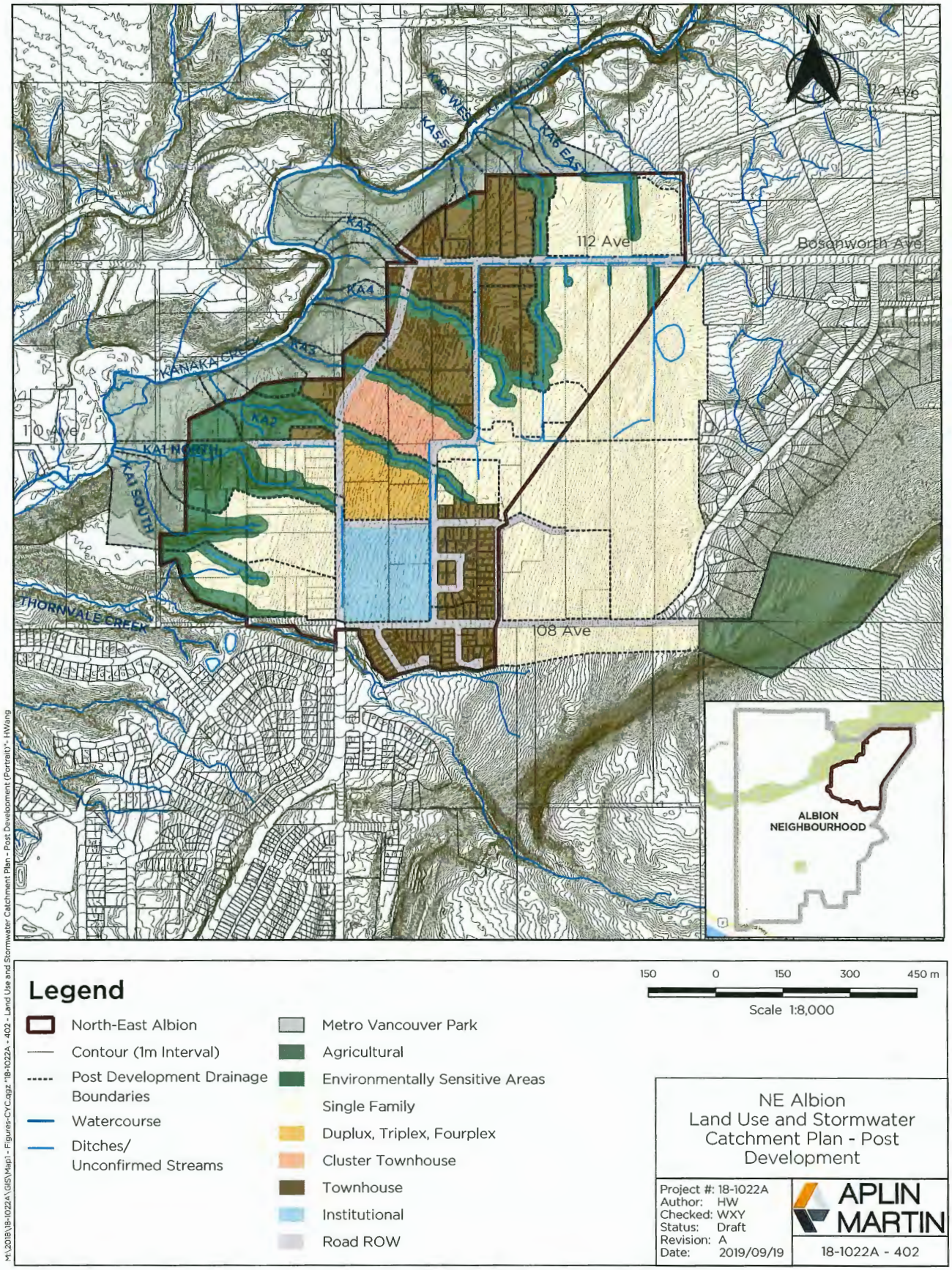
Project #: 18-1022A
Author: HW
Checked: WXY
Status: Draft
Revision: A
Date: 2019/09/19

APLIN MARTIN

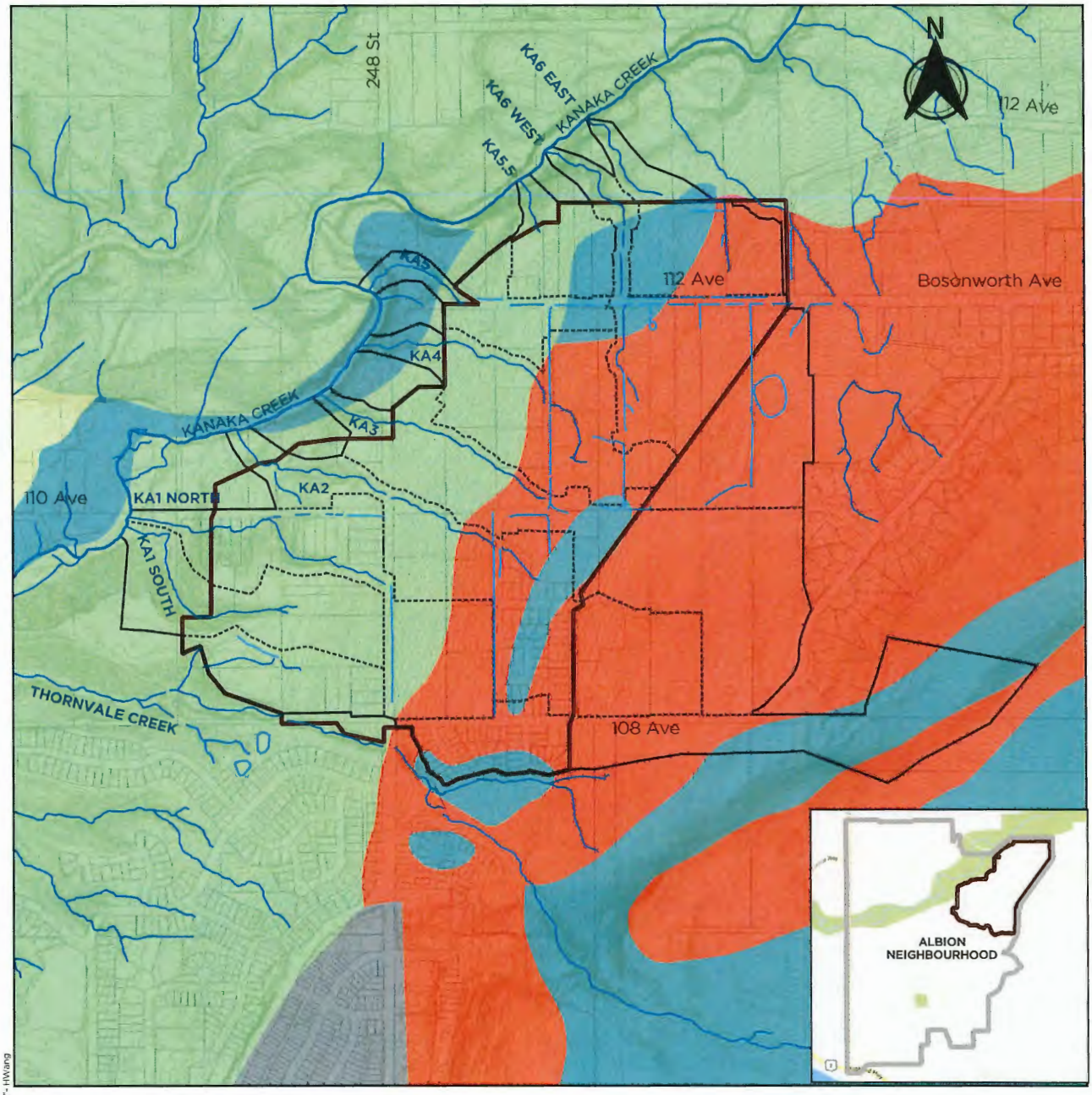
18-1022A - 401

M:\2018\18-1022A\GIS\Map\ - Figures-CYC.aprx "18-1022A - 401 - Land Use and Stormwater Catchment Plan - Existing (Portrait)" - HWang

Drawing 401 – Land Use and Stormwater Catchment Plan - Existing



Drawing 402 – Land Use and Stormwater Catchment Plan - Post Development



Legend

- North-East Albion
- Contour (1m Interval)
- Extent of Drainage Boundaries
- Post Development Drainage Boundaries
- Watercourse
- Ditches/ Unconfirmed Streams

Surficial Soil Types

- L - Loam
- SL - Sandy Loam
- SIL - Silt Loam
- SICL - Silty Clay Loam
- Gravel Pit

150 0 150 300 450 m

Scale 1:8,000

NE Albion
Soil Map

Project #: 18-1022A
Author: HW
Checked: WXY
Status: Draft
Revision: A
Date: 2019/09/13

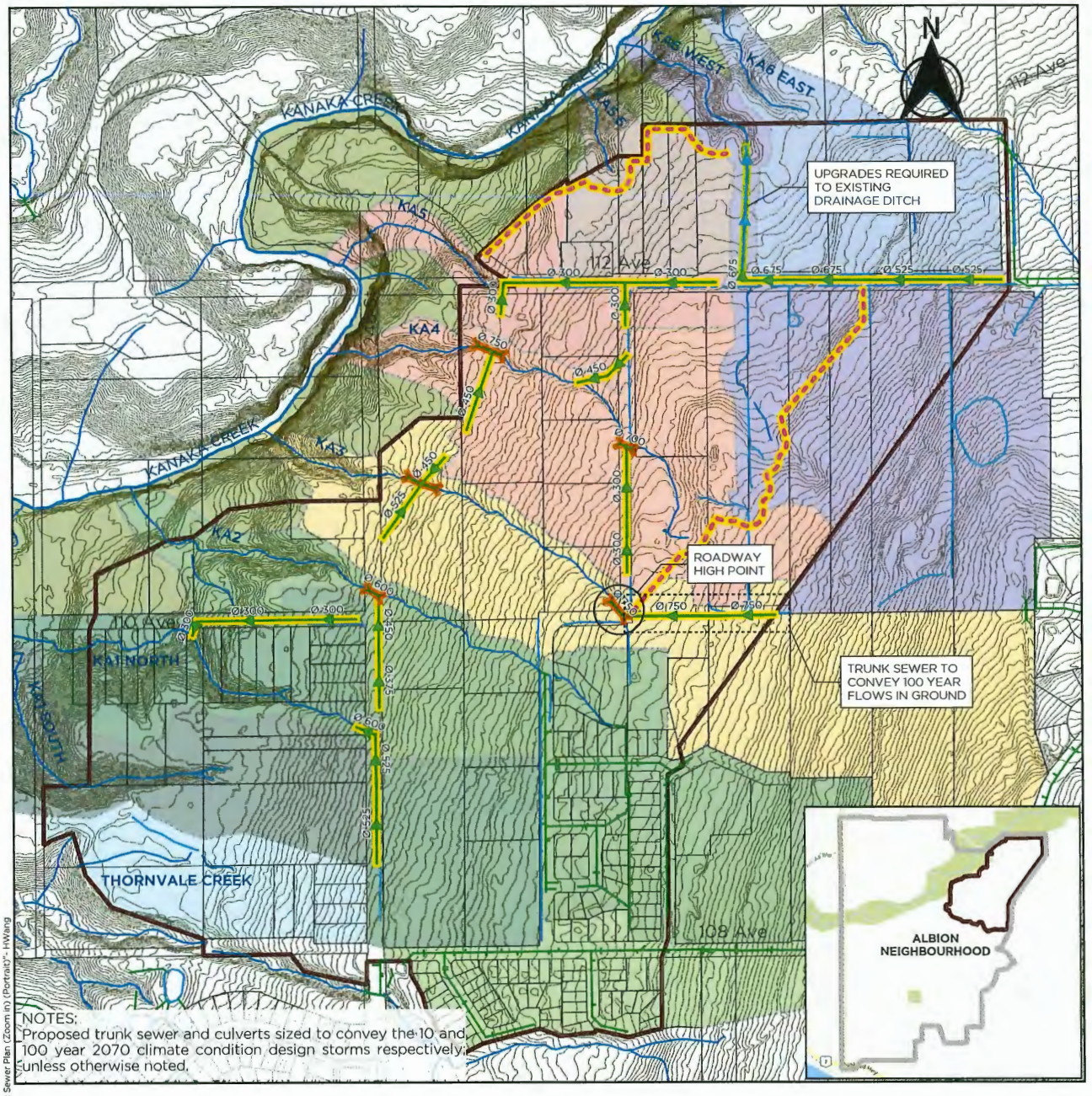
APLIN MARTIN

18-1022A - 403

Surficial Geology Information Source: Soils of the Langley - Vancouver Map Area - British Columbia Soil Survey (Luttmerding, 1981); FGDB published 2016-06-23 by British Columbia - Data Catalogue

M:\2018\18-1022A\GIS\Map\ - Figures-CY.aprx "18-1022A - 403 - Soil Map (Portrait)" - HWang

Drawing 403 – Soil Map



Legend

- North-East Albion
- Contour (1m Interval)
- Existing Storm Main
- Existing Storm Culvert
- Watercourse
- Ditches/ Unconfirmed Streams
- Proposed Trunk Main
- Proposed Trunk Culvert
- Proposed Ditch Upgrades
- Proposed Regional Stormwater Management Features

Stormwater Catchments

- KA1 South Catchment
- KA1 North Catchment
- KA2 Catchment
- KA3 Catchment
- KA4 Catchment
- KA5 Catchment
- KA5.5 Catchment
- KA6 West Catchment
- Thornvale Creek North
- KA6 East Catchment
- 248 St and 108 Ave Detention Pond
- Direct Runoff to Kanaka Creek

100 0 100 200 300 m

Scale 1:5,000

NE Albion
Preliminary Stormwater Master Plan

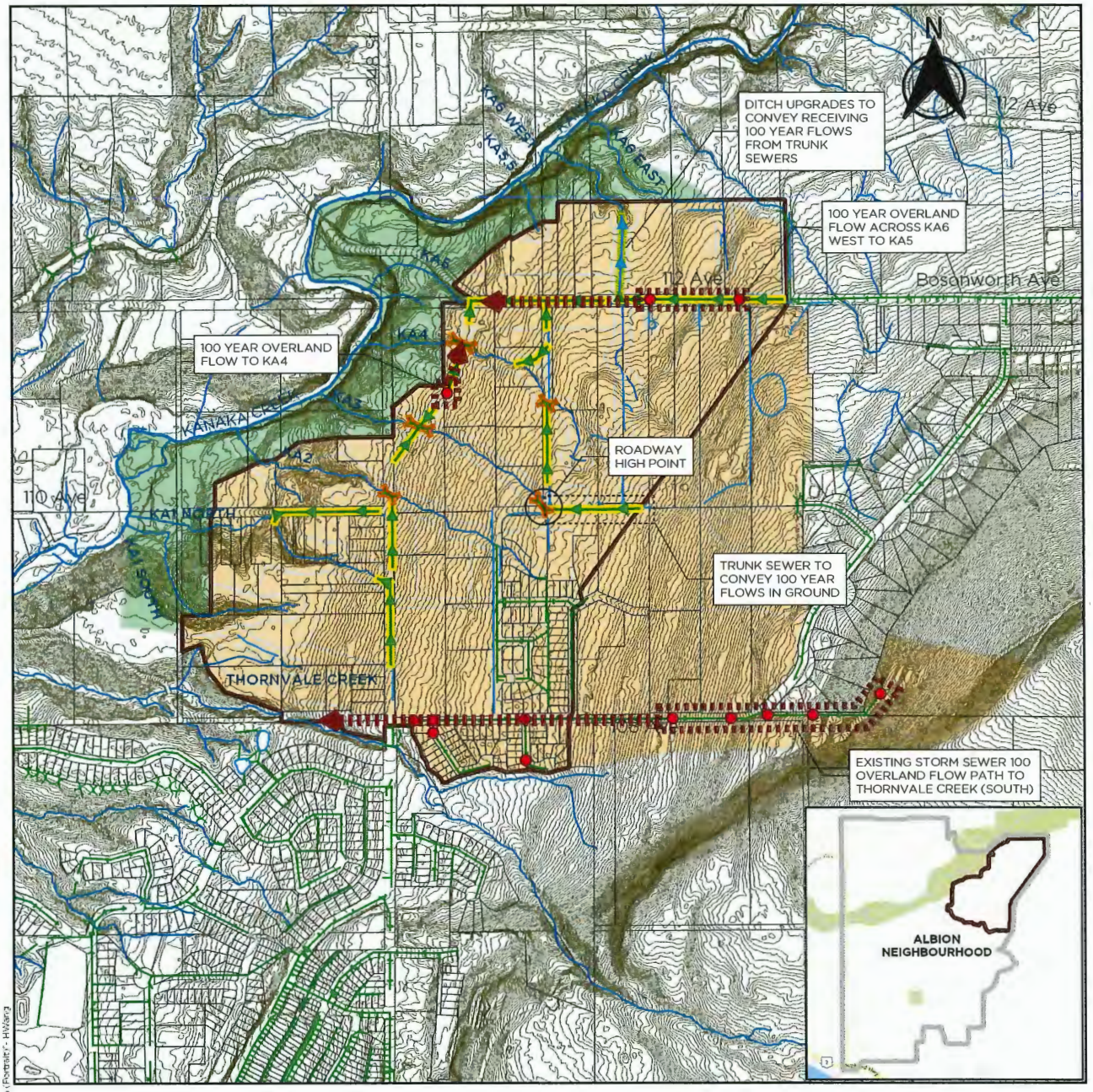
Project #: 18-1022A
Author: HW
Checked: WXY
Status: Draft
Revision: A
Date: 2019/09/19

APLIN MARTIN

18-1022A - 404

M:\2018\18-1022A\GIS\Map\ - Figures-CYC.qgz "18-1022A - 404 - Preliminary Trunk Sewer Plan (Zoom in) (Portrait)" - HWang

Drawing 404 – Stormwater Master Plan



Legend

- North-East Albion
- Contour (1m Interval)
- Watercourse
- Ditches/ Unconfirmed Streams
- Existing Storm Main
- Existing Storm Culvert
- Proposed Trunk Main
- Proposed Trunk Culvert
- Proposed Ditch Upgrades
- Flooded Manhole under 100-year conditions
- Overland Flow Path

150 0 150 300 450 m

Scale 1:8,000

NE Albion
100 Year Flow Paths

Project #: 18-1022A
Author: HW
Checked: WXY
Status: Draft
Revision: A
Date: 2019/09/19

APLIN MARTIN

18-1022A - 405

M:\2018\18-1022A\GIS\Map1 - Figures-CY\Cogz "19-1022A - 405 -100 Year Flow Path (Portrait)" - HWang

Drawing 405 – 100 Year Flow Paths

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	July 19, 2022
		FILE NO:	2022-220-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **Removal of Gross Floor Area Requirement for Secondary Suites**
Removal of Minimum Gross Floor Area Requirement for Detached Garden Suites
First and Second Reading
Zone Amending Bylaw No. 7857-2022

EXECUTIVE SUMMARY:

At the April 26, 2022 Council Workshop meeting, staff presented accessory dwelling unit regulatory options that would positively impact current and future residents by creating additional secondary suite and detached garden suite units in the community. At this meeting, Council directed staff to proceed with ten of the eleven recommendations, noting that while some of the options would require further study and/or consultation, a zone amending bylaw could be brought back to Council quickly to:

1) remove the maximum and minimum gross floor area requirement for secondary suites,
2) remove the minimum gross floor area requirement for detached garden suites.

This report outlines current secondary suite and detached garden suite regulations as well as the proposed changes to the City of Maple Ridge Zoning Bylaw. The Zoning Bylaw amendments are proposed in *Zone Amending Bylaw No. 7857-2022* (Appendix A) to remove the maximum and minimum gross floor area requirement for secondary suites and remove the minimum gross floor area requirement for detached garden suites. The recommendation also includes language to waive Public Hearing. For amendments to the City of Maple Ridge Zoning Bylaw, a Public Hearing is required unless Council passes a resolution to waive the requirement.

This report also includes an alternative recommendation to forward *Zone Amending Bylaw No. 7866-2022* to a future Council meeting for consideration of first and second reading instead of *Zone Amending Bylaw No. 7857-2022*. This alternative Zone Amending Bylaw proposes to increase the maximum gross floor area of detached garden suites from 90m^2 to 140m^2 or 15% of the lot area, whichever is less, at the same time as removing the maximum and minimum gross floor area requirement for secondary suites and removing the minimum gross floor area requirement for detached garden suites. This alternative recommendation has been included to reflect the community's support for larger detached garden suites as heard through the accessory dwelling unit consultation in 2017 and the detached garden suite pilot project consultation in 2019. Additional information regarding the alternative recommendation, which also includes language to waive Public Hearing, can found in Section 9.0.

This report also discusses the City's housing policies in relation to "rent-to-own" programs in Section 4.0. At the May 24, 2022 Regular Council meeting, Council directed staff to review the City's housing policies to determine if existing policies would prohibit rent-to-own proposals. Ultimately, there are no Maple Ridge policies that would prohibit an applicant proposing a "rent-to-own" program within new development in the City.

RECOMMENDATION:

1. **That *Zone Amending Bylaw No. 7857-2022* be given first and second reading; and**
2. **That a Public Hearing be waived in accordance with the *Local Government Act* Section 464(2).**

ALTERNATIVE RECOMMENDATION:

1. **That *Zone Amending Bylaw No. 7866-2022* be given first and second reading, and**
2. **That a Public Hearing be waived in accordance with the *Local Government Act* Section 464(2).**

1.0 BACKGROUND:

a) Work Through Housing Action Plan

With the Council endorsement of the Housing Action Plan in 2014 and the subsequent endorsement of the Plan's implementation framework in 2015, Council directed in 2016 that the regulations for secondary suites (SS) and detached garden suites (DGS) be reviewed for expansion. In the Fall of 2017, a public consultation process took place to gather feedback from the community on expanding the detached garden suites and secondary suites program.

Summary of Consultation Results

The consultation outcomes on the secondary suite and detached garden suite programs were presented at the February 6, 2018 Council Workshop meeting. Out of 193 questionnaire responses, the majority of respondents indicated support for smaller and larger detached garden suites, for this form to be permitted on all single-detached residential lots, as well as permitting secondary suites and detached garden suites on the same lot.

At Council Workshop on May 1, 2018, Council directed staff to undertake the Detached Garden Suite Pilot Project to explore permitting a detached garden suite size up to 140m^2 (1500 ft^2) or 15% of the lot area, whichever is less. As part of the Detached Garden Suite Pilot Project, a survey was conducted, which generated 96 responses. When asked if respondents support allowing detached garden suite units to be up to 140m^2 (1,500 ft^2) or 15% of the Lot Area, whichever is less in gross floor area, 94% of respondents indicated yes to supporting units up to this size. The Detached Garden Suite Pilot project was completed through the outcomes report presented to Council at the April 14, 2020 Workshop.

Recent Work

Recently, at the April 26, 2022 Council Workshop, staff presented eleven regulatory options that were explored during the public consultation and review of accessory dwelling unit regulations (2017-2021). At this April Workshop, Council directed staff to bring forward a report that provides detailed information and description of the amendments for the removal of the maximum and minimum gross floor area requirement for secondary suites, removal of the minimum gross floor area requirement for detached garden suites and increase of the maximum gross floor area of requirement for detached garden suites. Council also gave direction for staff to bring back a report regarding:

- Development of 'Alternate Compliance Methods for Alterations to Existing Buildings to Add a Secondary Suite' in the BC Building Code;
- Permitting secondary suites in all single-detached residential zones;

- Permitting secondary suites in ground-orientated duplexes and townhouses;
- Permitting secondary suites and detached garden suites on the same lot in the Agricultural Land Reserve;
- Allowing flexible siting of a detached garden suite on a lot;
- Permitting secondary suites and detached garden suites on the same lot in all residential zones; and
- Development of program, for council consideration, that would create "pre-approved" building plan templates for detached garden suites.

Council also directed that the current bylaw enforcement related to the issue of unregistered secondary suites be held in abeyance while the work to expand the secondary suites and detached garden suites program is underway. At this workshop meeting, Council directed staff to not bring forward a report with potential amendments to permit lock-off suites in apartments and stacked townhouses.

b) Official Community Plan Policy Alignment

Maple Ridge's Official Community Plan (OCP) reflects the community's long-term vision to become more vibrant and prosperous, offering residents a strong local economy, stable and special neighbourhoods, thoughtful development, a diversity of agriculture, and respect for the built and natural environment. Through the OCP housing policies, the need to provide a mix of housing types densities, and affordable options is recognized. In order to meet the diverse residential needs of local residents, the OCP housing policies are intended to help:

- Accommodate growth through infill by promoting housing types and tenures to support diverse needs, lifestyles, and preferences (Policy 3-1), by considering disparities in age, income, and mobility;
- Support the provision of rental accommodation and encourage the construction of rental units that vary in size and number of bedrooms (Policy 3-31); and
- Encourage housing that incorporates "age-in-place" concepts and seniors housing designed to accommodate special needs (Policy 3-33).

c) Housing Action Plan Alignment

Council endorsed the Housing Action Plan on September 30, 2014 and the Implementation Framework on September 14, 2015. The development and endorsement of the Housing Action Plan provides the opportunity to implement the strategies and actions to enhance the Official Community Plan policy direction for affordable, rental, and special needs housing. The Implementation Framework contains actions that are based on the Housing Action Plan's strategies. The endorsed strategies of the Housing Action Plan are summarized below:

- Create new rental housing opportunities;
- Continue to monitor secondary suites policies & bylaws;
- Expand the garden suites program; and
- Minimize the loss of existing rental housing.

d) Agricultural Land Commission Regulations

As of January 2022, the Agricultural Land Commission Act changed to increase residential flexibility. Currently, the Agricultural Land Commission (ALC) now permits:

- a detached garden suite, up to 90m^2 (968ft^2) if the total floor area of the principal residence is 500m^2 (5,382ft^2) or less and on a parcel less than 40 ha (99 acres); and
- a secondary suite and detached garden suite on the same lot.

e) Current Zoning Bylaw Regulations - Secondary Suites and Detached Garden Suites

The *Maple Ridge Zoning Bylaw No. 7600-2019* regulates where secondary suites and detached garden suites can be located in the city, the size of the suite, and the number of required parking spaces. For detached garden suites, the Zoning Bylaw also regulates where the suite can be situated on the lot. Table 1 below summarizes the City's requirements for secondary suites and detached garden suites.

Table 1: Current Regulations for Secondary Suites and Detached Garden Suites

Regulatory Requirement	Secondary Suites	Detached Garden Suites
Permitted Location	All Single Detached zones, except R-3 & R-1	Single Detached zones that have a minimum lot size of 557m²
Minimum Floor Area	37m²	37m²
Maximum Floor Area	90m², not to exceed 40% of the total floor area of the building	90m² or 10% of the lot area (whichever is less)
# Permitted Per Lot	One	One
Primary Dwelling Relationship	Must locate in primary dwelling	In rear yard
Parking Requirement	One per unit	One per unit
Strata Title	Not permitted	Not permitted
Floodplain Requirement	Suite must be above Flood Construction Level	Suite must be above Flood Construction Level
Septic Site Requirement	Must notify Fraser Health Authority if Lot is not serviced by Community Sanitary Sewer System	Must notify Fraser Health Authority if Lot is not serviced by Community Sanitary Sewer System

Under current Zoning Bylaw requirements, a detached garden suite and secondary suite are not permitted on the same lot. Additionally, neither a detached garden suite or secondary suite are permitted where there is already a: Bed and Breakfast, Boarding, Caretaker Residential, Temporary Residential or Two-Unit Residential Use (i.e. duplex) on the Lot.

2.0 DISCUSSION:

2.1 Municipal Scan - Secondary Suites

Secondary suites support affordable housing options by expanding the rental stock in a community where infrastructure and amenities, such as schools, parks, and shopping/services, already exist. The BC Building Code (BCBC) historically limited the size of secondary suites, however, on December 12, 2019, the BCBC was amended to remove size restrictions for secondary suites. With this BCBC change, a number of municipalities are adjusting their secondary suite programs. Table 2 shows secondary suite size requirements for various municipalities in the Lower Mainland.

Table 2: Secondary Suite Size Requirements

Municipality	Minimum Size	Maximum Size
City of Maple Ridge	37m²	40% of the floor area of building, up to 90m²
City of Abbotsford	N/A	100m²
City of Chilliwack	N/A	40% of the floor area of building, up to 90m²
City of Coquitlam	N/A	40% of buildings floor area
Township of Langley	N/A	120m²
City of Mission	N/A	40% of the floor area of building, up to 90m²
City of Pitt Meadows	33m²	40% of the floor area of building, up to 90m²
City of Port Coquitlam	N/A	40% of the floor area of building, up to 90m²
City of Port Moody	Removed maximum and minimum requirements	
City of Surrey	N/A	40% of the floor area of building, up to 90m²

It should also be noted there is no maximum or minimum gross floor area requirement for Temporary Residential Units (TRU); however, a TRU cannot exceed 40% of the floor area of the principal building. The City of Maple Ridge permits TRU's, which are similar to secondary suites, but have different building code requirements because they are temporary spaces to accommodate relatives.

As a step towards assisting property owners with housing affordability, the proposed amending bylaw would remove the maximum and minimum gross floor area requirement for secondary suites to align with the BC Building Code, but retain the 40% of the gross building floor area maximum size requirement to differentiate between a single-detached dwelling with a secondary suite unit and a duplex.

2.2 Municipal Scan - Detached Garden Suites

When conducting the scan of nearby municipalities from Table 2, it became clear that every municipality has their own regulations for permitting detached garden suites (sometimes referred to as coach houses and garden suites or cottages). However, out of all the municipalities, shown in Table 3 below, Maple Ridge is one of only two municipalities that have a minimum size requirement for detached garden suites.

Table 3: Detached Garden Suite Size Requirements

Municipality	Minimum Size	Maximum Size
City of Maple Ridge	37m²	90m² (968 ft²) or 10% of the lot area, whichever is less
City of Abbotsford	N/A	90m² or 40% of the net floor area of the Single Detached Dwelling to which it is accessory, whichever is less
City of Chilliwack	N/A	Up to 150m² (specific to zone)
City of Coquitlam	N/A	Size calculated by zone's density and lot coverage
Township of Langley	N/A	Size calculated by zone's density and lot coverage
City of Mission	N/A	75m² to 110m² (specific to zone)
City of Pitt Meadows	33m²	90m² (968 ft²) or 10% of the lot area, whichever is less
City of Port Coquitlam	N/A	70m² (753 ft²)
City of Port Moody	N/A	90m² (968 ft²)
City of Surrey	N/A	Size calculated by zone's floor space ratio

Removing the minimum size requirement for detached garden suites, provides property owners with the option to construct smaller units that may become affordable rental spaces for low-income singles, seniors, or post-secondary students.

3.0 PROPOSED ZONE AMENDING BYLAW NO. 7857-2022

At the April 26, 2022 Council Workshop, staff presented eleven accessory dwelling unit regulatory options that would assist with creating additional secondary suite and detached garden suite units in the community. At this meeting, Council directed staff to proceed with ten of the eleven of the recommendations, noting that some of the options would require further study and/or consultation. The proposed Zone Amending Bylaw will implement two of the ten recommendations that Council directed staff to move forward with.

The *Zone Amending Bylaw No. 7857-2022* in Appendix A proposes:

- Removal of the maximum and minimum gross floor area requirement for secondary suites;
- Retaining the requirement that a secondary suite shall not exceed 40% of the total Gross Floor Area of the Building in which it is located; and
- Removal of the minimum size requirement for detached garden suites.

The changes are identified by strikethrough on the *Zone Amending Bylaw No. 7857-2022* (Appendix A) and align with the existing Temporary Residential Units (TRU) requirements. Similar to a TRU, this allows the property owner flexibility on how much square footage of their home can be converted into a secondary suite, and potentially increase the number of bedrooms provided.

Should Council move *Zone Amending Bylaw No. 7857-2022*, Council can also choose to waive the Public Hearing requirement. When a Zoning Bylaw is consistent with the Official Community Plan, the City may waive the requirement to hold a Public Hearing. When a Public Hearing is waived under Section 464(2), the City must give notice in accordance with Section 467 of the *Local Government Act* which requires that the notice states in purpose of the Zoning Bylaw; the lands that are subject to the Bylaw; the place, times and dates where the Bylaw may be inspected; and is published in a newspaper the same as for a Public Hearing.

4.0 RENT-TO-OWN HOUSING PROGRAMS

At the May 24, 2022 Regular Council meeting, Council directed staff to review the City's housing policies to determine if existing policies would prohibit rent-to-own proposals. A "Rent-to-Own" approach is when an individual or household rents a home for a certain period of time with the goal of buying the property at the end of a lease term. The difference between a typical rental and a "rent-to-own" approach is the way the rent payments are used, which is typically outlined in a rental contract/agreement between the tenant and the landlord. These programs are typically established through a lending institution and applied by a developer/property owner and act as a pathway to homeownership for eligible first-time homebuyers.

4.1 Official Community Plan Policies

Chapter 3 of the Official Community Plan (OCP), entitled "Neighbourhoods and Housing", outlines housing objectives for Maple Ridge through identifying key issues and principals, and providing policies to guide future work in this area, including development proposals. Specifically, Principle 29 provides a foundation for the Housing policies in the Official Community Plan in relation to a "rent-to-own" program.

> **Principle 29** *The community values a wide range of housing choices that provide variety mix of housing type, density, lot size, character, tenure, and affordability.*

There are also several policies, including Policy 3-31 and 3-32 below, that would support a "rent-to-own" proposal:

> ***Policy 3-31*** *Maple Ridge supports the provisions of rental accommodation and encourages the construction of rental units that vary in size and number of bedrooms. Maple Ridge may also limit the demolition or strata conversion of existing rental units, unless District-wide vacancy rates are within a healthy range as defined by the Canada Mortgage and Housing Corporation.*
>
> ***Policy 3-32*** *Maple Ridge supports the provisions of affordable, rental and special needs housing throughout the City. Where appropriate, the provision of affordable, rental, and special needs housing will be a component of area plans.*

Staff have reviewed the City's housing policies and currently there are no policies that would prohibit a development application proposing a "rent-to-own" program. Additionally, staff have reviewed the Zoning Bylaw. Currently, the Zoning Bylaw does not limit the form of tenure, such as rental vs ownership, unless there is a site-specific CD zone.

4.2 Housing Action Plan

In addition to the Official Community Plan policies, the Housing Action Plan (2014) and its Implementation Framework (2015) provide strong direction to guide decision-making related to housing in Maple Ridge. The Housing Action Plan's vision towards housing is: "Access to safe, affordable, and appropriate housing that meets the diverse and changing needs of the community is a priority" with one of the implementation strategies being "Support the development of a mix of housing forms".

The Plan's Implementation Framework (2015) supports "the development of a mix of housing forms", which includes different ownership models, such as rent-to-own, life leases, and community land trusts, and includes "Encourage the development of alternative ownership models" as one of the associated actions for the City under this strategy.

Staff have reviewed the Housing Action Plan and have not identified a vision, goal, or strategy, that would prohibit a development application proposing a "rent-to-own" program.

5.0 NEXT STEPS

The next steps for expanding accessory dwelling unit regulatory options to positively impact current and future residents are proposed as follows:

- *Zone Amending Bylaw No. 7857-2022* <u>or</u> *Zone Amending Bylaw No 7866-2022* will proceed through the bylaw adoption process, upon Council input and direction.
- Staff will undertake research and prepare potential Zoning Bylaw amendments for the following options and these will be brought forward to a future Committee of the Whole meeting:
    - Permitting secondary suites in ground-orientated duplexes and townhouses;
    - Permitting secondary suites and detached garden suites on the same lot in the Agricultural Land Reserve;
    - Allowing flexible siting of a detached garden suite on a lot;
    - Permitting larger detached garden suites in specific residential zones; and
    - Permitting secondary suites and detached garden suites on the same lot in all residential zones.

- Staff will bring forward a report regarding:
    - Development of 'Alternate Compliance Methods for Alterations to Existing Buildings to Add a Secondary Suite' in the BC Building Code; and
    - Development of program, for council consideration, that would create "pre-approved" building plan templates for detached garden suites.
- Further to the Council direction provided at the April 26, 2022 Council Workshop meeting, staff will bring forward a scoping report for public consultation regarding potential options for permitting secondary suites in R2 and R3 zones, which would permit secondary suites in all single-detached residential zones. A report is anticipated in Fall 2022.

6.0 STRATEGIC ALIGNMENT

Achieving long term sustainability through thoughtful planning and policy work is a Council priority, as established under the Growth pillar of the 2019-2022 City of Maple Ridge Strategic Plan.

7.0 POLICY IMPLICATIONS

The proposed work is consistent with the Official Community Plan housing and neighbourhood policies and the Housing Action Plan. The removal of the minimum and maximum floor area size for secondary suites and removal of the minimum floor area size for detached garden suites stems from the Housing Action Plan's strategies and action items in the Implementation Plan.

8.0 INTERDEPARTMENTAL IMPLICATIONS:

Staff will continue to work with various departments, including Engineering Department, Bylaw & Licensing Services, and Building Department to bring forward reports to Council that will assist with creating more options in housing variety and affordability.

9.0 ALTERNATIVE RECOMMENDATION:

A second bylaw has been included in this report for consideration (see Zone Amending Bylaw No. 7866-2022, attached as Appendix B) as an alternative recommendation that reflects the community feedback from accessory dwelling unit consultation undertaken in 2017 and the detached garden suite pilot project consultation in 2019. From the 2017 public consultation process, presented at the February 6, 2018 Council Workshop meeting, the majority of respondents indicated support for permitting larger detached garden suites. This support was reaffirmed through the Detached Garden Suite Pilot Project, where 94% of survey respondents indicated "yes" to supporting units up to this size. It should be noted that the 140m^2 unit size was identified in 2017 through discussions on "livable space needs" with Detached Garden Suite property owners and property owners who were considering a future DGS (and intending to downsize from a larger home into the unit, or construct the unit for their adult children with young families)

9.1 Alternative Recommendation for Zone Amending Bylaw No. 2866-2022

Zone Amending Bylaw No. 7866-2022 proposes to:

1. Increase the maximum gross floor area for a detached garden suite from 90m^2 (968 ft^2) to 140m^2 (1,500 ft^2), or 15% of the lot area, whichever is less.
    - Note that 15% of the lot area is what was proposed in 2017 through to 2022 (the minimum lot size that would be permitted to have a 140m^2 detached garden suite is 935m^2/10,064ft^2
    - Also note, that the gross floor area cannot exceed 90.0m^2 on Lots within the Agricultural Land Reserve and this requirement must remain as is;

2. Remove the maximum and minimum gross floor area requirement for secondary suites and retain the requirement that a secondary suite shall not exceed 40% of the total Gross Floor Area of the Building in which it is located; and
3. Remove the minimum gross floor area requirement for detached garden suites.

CONCLUSION:

Pursuant with Council direction, the proposed *Zone Amending Bylaw No. 7857-2022* (Appendix A) removes the maximum and minimum gross floor area requirement for secondary suites and removes the minimum gross floor area requirement for detached garden suites. The proposed amendments to the secondary suite and detached garden suite regulations are two of the recommendations from the April 26, 2022 Council Workshop that Council directed staff to bring forward with amendments to the Zoning Bylaw.

By removing the maximum and minimum gross floor area requirement for secondary suite it would allow the property owner more flexibility on how much square footage of their home can be converted into a secondary suite and the number of bedrooms provided. Additionally, by removing the minimum gross floor area requirement for detached garden suites it encourages property owners to build detached habitable spaces that create the option of being a rental unit.

This report also includes an alternative recommendation to forward *Zone Amending Bylaw No. 7866-2022* to a future Council meeting for consideration of first and second reading instead of *Zone Amending Bylaw No. 7857-2022*. This alternative recommendation has been included to reflect the community's support for larger detached garden suites as heard through the accessory dwelling unit consultation in 2017 and the detached garden suite pilot project consultation in 2019. Should Council wish to also increase the maximum gross floor area requirement at the same time as removing the maximum and minimum gross floor area requirement for secondary suites and removing the minimum gross floor area requirement for detached garden suites, Council can choose to move *Zone Amending Bylaw No. 7866-2022* forward.

In addition to the proposed Zoning Bylaw amendments, this report also responds to Council's inquiry regarding planning policies in support of potential development applications proposing a rent-to-own housing model, which is discussed in Section 4.0 and confirms that there are OCP policies and Housing Action Plan vision, goals, and intent that support a range of housing forms and tenures, including a rent-to-own proposal.

"Original signed by Krista Gowan"

Prepared by: **Krista Gowan, MA**
Planner 1

"Original signed by Charles R. Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

'Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Zone Amending Bylaw No. 7857-2022
Appendix B – Zone Amending Bylaw No. 7866-2022 (Alternative Recommendation)

APPENDIX A

CITY OF MAPLE RIDGE
BYLAW NO. 7857-2022

A Bylaw to amend the text forming part of Zoning Bylaw No. 7600 - 2019 as amended

---

WHEREAS, it is deemed desirable to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7857-2022".

2. That PART 4 GENERAL REGULATIONS, Section 402.11 (3a) (i) be amended by removing the text identified by strikethrough:

   (i) ~~not less than 37.0 square metres, and~~ not more than 90.0 square metres or 10% of the Lot Area, whichever is less; except

3. That PART 4 GENERAL REGULATIONS, Section 402.24 (1d) be amended by removing the text identified by strikethrough:

   (d) shall ~~have a minimum Gross Floor Area of 37.0 square metres, a maximum Gross Floor Area of 90.0 square metres, and~~ not exceed 40% of the total Gross Floor Area of the Building in which it is located;

4. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER **CORPORATE OFFICER**

CITY OF MAPLE RIDGE
BYLAW NO. 7866-2022

A Bylaw to amend the text forming part of Zoning Bylaw No. 7600 - 2019 as amended

---

WHEREAS, it is deemed desirable to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7866-2022".

2. That PART 4 GENERAL REGULATIONS, Section 402.11 (3a) (i) be amended by removing the section entirely and replacing with:

   (i) not more than 140.0 square metres or 15% of the Lot Area, whichever is less; except;
   (ii) not more than 90.0 square metres or 15% of the Lot Area, whichever is less, for Lots within the Agricultural Land Reserve and that are subject to the Agricultural Land Commission Act and its Regulations;

3. That PART 4 GENERAL REGULATIONS, Section 402.11 (3a) (ii) be amended by removing the section entirely.

4. That PART 4 GENERAL REGULATIONS, Section 402.24 (1d) be amended by removing the text identified by strikethrough:

   (d) shall ~~have a minimum Gross Floor Area of 37.0 square metres, a maximum Gross Floor Area of 90.0 square metres, and~~ not exceed 40% of the total Gross Floor Area of the Building in which it is located;

5. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER **CORPORATE OFFICER**

ALTERNATIVE RECOMMENDATION

MAPLE RIDGE
British Columbia

mapleridge.ca City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	July 19, 2022
		FILE NO:	2022-126-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First and Second Reading**
Zone Amending Bylaw No. 7862-2022
Unit A - 20757 Lougheed Highway

EXECUTIVE SUMMARY:

On February 22, 2022, Council deferred a report from the Bylaw & Licensing Services Department regarding a proposed non-medical cannabis retail store, identified as 'The Chronic Cannabis Co.' at Unit A - 20757 Lougheed Highway, and directed the applicant to apply for a zoning bylaw text amendment. It was acknowledged that the proposed store is within 1,000 m (3,280 ft.) of one other existing cannabis retail store.

An application has been received for a site-specific text amendment to *Zoning Bylaw No. 7600-2019* to reduce the 1,000 m (3,280 ft.) separation distance between Cannabis Retail Uses, to allow such a use to be located on the subject property at Unit A - 20757 Lougheed Highway. The proposed reduction is from 1,000 m (3,281 ft.) to 580.1 m (1,903 ft). This is the distance from the property located at 510 – 20395 Lougheed Highway.

Being a text amending application, there are no terms and conditions and the Community Amenity Contribution policy does not apply. Therefore, this application may be considered for first and second reading and proceed to Public Hearing.

RECOMMENDATIONS:

That *Zone Amending Bylaw No. 7862-2022* be given first and second reading and forwarded to Public Hearing.

DISCUSSION:

1. Background Context:

Applicant:	Tory Feuer
Legal Description:	Lot 16 District Lot 250 Group 1 New Westminster District Plan 8735
OCP:	
Existing:	Commercial
Proposed:	Commercial

Within Urban Area Boundary:	Yes
Area Plan:	Lougheed Corridor
OCP Major Corridor:	Yes

Zoning:

Existing:	CS-1 (Service Commercial)
Proposed:	CS-1 (Service Commercial)

Surrounding Uses:

North:	Use:	Retail, Childcare and Multi-Family Residential
	Zone:	C-2 (Community Commercial) and RM-5 (Low Density Apartment Residential)
	Designation:	Commercial
South:	Use:	Retail
	Zone:	C-2 (Community Commercial)
	Designation:	Commercial
East:	Use:	Retail, Craft U-Brewery and Winemaking
	Zone	CS-1 (Service Commercial)
	Designation:	Commercial
West:	Use:	Dentist Office
	Zone:	CS-1 (Service Commercial)
	Designation:	Commercial

Existing Use of Property:	Vacant (Unit A) and Restaurant (Unit B)
Proposed Use of Property:	Cannabis Retail and Restaurant
Site Area:	991 m^2 (10,667 ft^2)
Access:	Lougheed Highway and 119 Avenue
Servicing:	Urban
Flood Plain:	No
Fraser Sewer Area:	Yes
Previous OR Companion Applications:	Bylaw File No. 09-4560-20

2. Project Description:

The proposed Cannabis Retail Use is located on the north side of Lougheed Highway, east of 207 Street, and is surrounded by other service commercial uses along this portion of Lougheed Highway. Meadowridge Shopping Centre is located to the north of the subject property, along with 119 Avenue, as well as an existing multi-family townhouse development to the northeast (see Appendices A and B). It is also noted that a childcare centre is located to the north of the subject property, within the Meadowridge Shopping Centre. The proposed building has two units, with Paliotti's Westside restaurant currently occupying the adjacent Unit B.

As identified in the previous Bylaw and Licensing Department's report to Council, dated February 15, 2022, the same owners had previously applied for a non-medical cannabis retail use at a different location. That application was denied by Council. It is noted that this previous application also did not meet the 1,000 m (3,281 ft.) separation distance requirement from another existing cannabis retail use (see Appendix F).

3. Planning Analysis:

To allow this business to be established on the subject property, a site-specific text amendment is required to Zoning Bylaw General Regulation Section 401.3 (1) (g) (ii). The amendment requested by the applicant is to reduce the current separation distance from 1,000 m (3,281 ft.) to 580.1 m (1,903 ft.), which is the distance to an approved Cannabis Retail Use, located at 510 – 20395 Lougheed Highway.

Council recently denied a separation distance site-specific text amendment application located 131 m (430 ft.) south west of the subject property, located at 20690 Lougheed Highway (see Appendix E). It is further noted that another approved cannabis retail store is located outside the 1,000 m (3,281 ft.) separation distance, at 20110 Lougheed Highway, approximately 1,198 m (3,930 ft.) west of the subject application. On June 28, 2022 Council denied a second application for a non-medical cannabis retail store by Team Cannabis, located at #6 – 21768 Lougheed Highway.

A review of the *Cannabis Retail Store Processing & Evaluation Criteria*, *Policy 6.33*, was introduced by Council through a Notice of Motion. Under this Notice of Motion, any new applications for a Cannabis Retail Use would be held, pending the review and adoption of Policy 6.33. As the subject application was instream when the resolution occurred, it is not impacted by the Policy review.

On June 14, 2022 Council was presented with a staff report "Cannabis Evaluation Criteria Policy 6.33" providing options to review the Policy. After consideration of the options, Council decided to keep Policy 6.33 as is, with the 1,000 m separation requirement, but also to add a provision to allow existing stores to relocate within the distance provision if necessary to accommodate changes in their leases. The Policy 6.33 amendments are being considered at the July 19, 2022 Committee of the Whole meeting and expected to be adopted at the July 26, 2022 Council meeting.

Given that there are no terms and conditions to be fulfilled, third reading and final adoption of this bylaw may follow the Public Hearing. Following possible adoption of this text amending bylaw, the Bylaw & Licensing Services Department will bring forward the previously deferred report regarding the referral from the Liquor and Cannabis Regulation Branch, to Council for consideration.

CONCLUSION:

This Zoning Bylaw text amending application will allow for a cannabis retail store, The Chronic Cannabis Co., to be located at Unit A - 20757 Lougheed Highway, which would be 580.1 m (1,903 ft.) from another cannabis retail store located at 510 – 20395 Lougheed Highway.

It is recommended that Council grant first and second reading and advance *Zone Amending Bylaw No. 7862-2022* to Public Hearing.

"Original signed by Mark McMullen for"

Prepared by: **Adam Rieu**
Planner 1

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

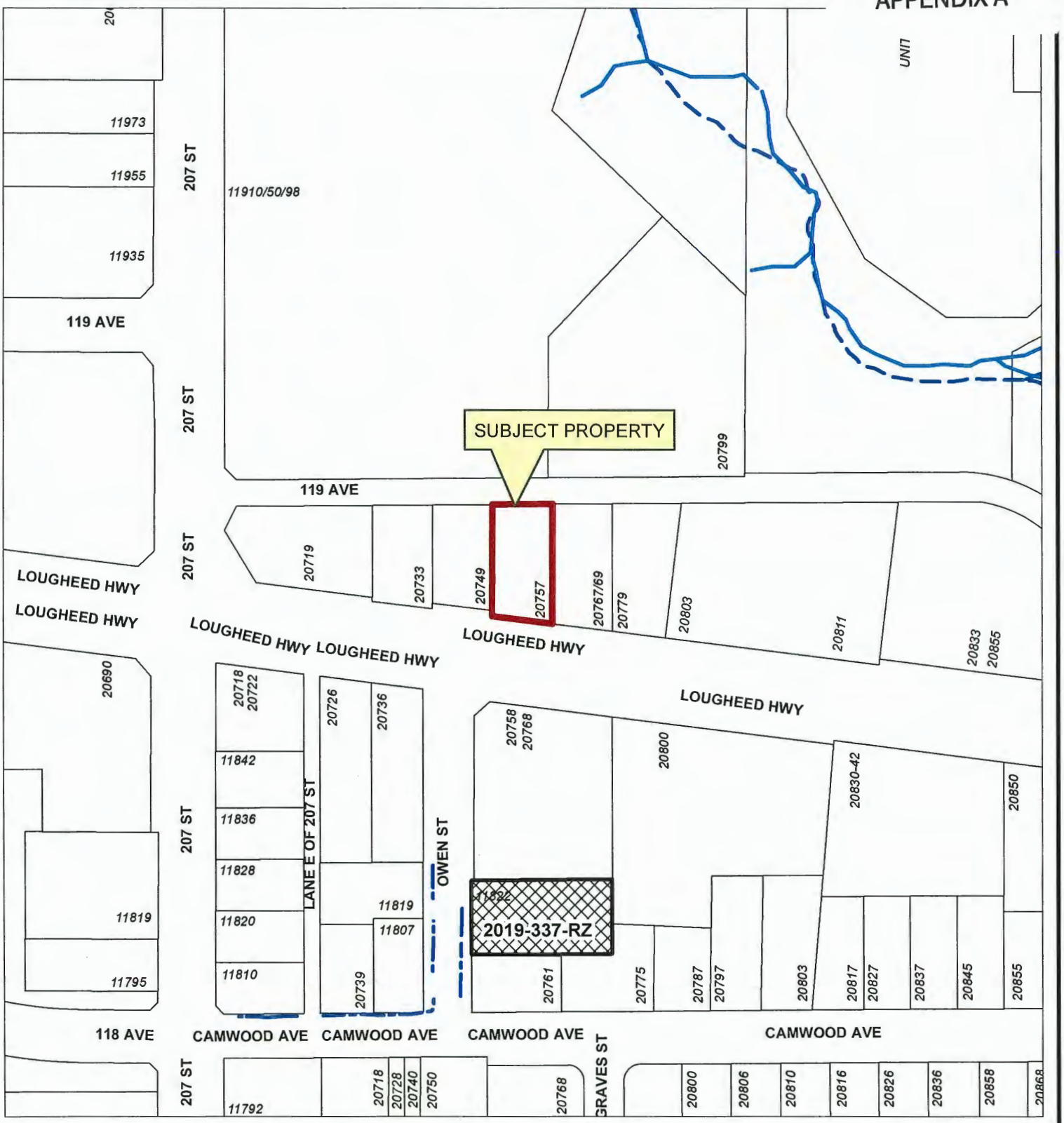
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7862-2022
Appendix D – Information Package from Applicant
Appendix E – Separation Distance Map
Appendix F – Council Report from Bylaw and Licensing Services (09-0560-20) dated February 15, 2022

APPENDIX A



N

Scale: 1:2,000

Legend

Active Applications (RZ/SD/DP/VP)

20757 LOUGHEED HWY - UNIT 'A'
PID: 011-349-204

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2022-126-RZ
DATE: Apr 5, 2022

BY: PC

APPENDIX B

N

Scale: 1:2,000

20757 LOUGHEED HWY - UNIT 'A'
PID: 011-349-204

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: 2022-126-RZ
DATE: Apr 5, 2022

BY: PC

CITY OF MAPLE RIDGE
BYLAW NO. 7862-2022

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7862-2022".

2. That Part 4 Section 401.3 (1) (g) (ii) be amended as follows:

   a. By adding the following clause immediately following in correct alphabetical order:

   (d) 580.1 metres from any other Cannabis Retail Use specific to the following Lot:

   i) Lot 16 District Lot 250 Group 1 New Westminster District Plan 8735. PID 031-186-254. Unit A – 20757 Lougheed Highway.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

APPENDIX D

2022

The Chronic Cannabis Co.

REPORT ON APPLICATION FOR CANNABIS PRIMARY RETAIL

SUBMITTED TO: MAPLE RIDGE BY-LAW AND LICENSING SERIVCES

BRAND OVERVIEW

The Chronic Cannabis Co. is focus on local. Local cannabis products and local community. Founders Tory Feuer and Charles Colvin are passionate about both. The ethos of the brand is a focus on BC grown, sustainable craft cannabis. The Chronic Cannabis Co. will be curating a selection of the highest quality cannabis with a focus on variety and quality first.

The founders believe that this locally focused supply model will be a benefit to the citizens of Maple Ridge by providing a curated selection of BC products sold by highly knowledgeable product guides. The Chronic Cannabis Co. are excited to create quality employment opportunities in Maple Ridge and eager to support its citizens via charitable partnerships and monetary contributions to organizations like the Friends in Need Foodbank.

FOUNDERS AND ADVISORY BOARD

Charles Colvin – Co-founder

Charles brings a deep passion of category management and product selection. He brings over 10 years retail experience to the team. He loves to help connect people with the right cannabis products and is excited to bring that love to the citizens of Maple Ridge.

Tory Feuer – Co-founder

Born, raised and still a proud resident of Maple Ridge, Tory has built and managed several businesses in the last 15 years in trades and real estate. Tory is deeply invested in his community and looks forward to serving the City in a knowledgeable and welcoming space catered to people that love the cannabis plant.

Sat Mann – Advisor

Sat Mann, Co-Owner of the Medicine Shoppe Pharmacy in Maple Ridge and is the Landlord for the Medical Clinic and Pharmacy, is a member of the Advisory Board for Chronic Cannabis. He has over 20 years experience as a Pharmacist and is a co-owner of 8 pharmacies across Metro Vancouver.

TJ Singh – Advisor

TJ Singh, CPA also serves on the Chronic Cannabis Co. Advisory Board. He brings over 20 years of accounting, tax and business advisory experience working with small to medium sized enterprises in Metro Vancouver.

Mr. Mann and Mr. Singh are both landowners in Maple Ridge and involved in real estate development projects with solid ties to the local business community.

OPERATIONAL DETAILS

The hours of operation for the shop are 7 days a week, 9am to 11pm.

The Chronic Cannabis Co. intends to employ 8 part time and 4 full time staff at our proposed Maple Ridge retail location.

The windows will be tastefully frosted, and classic branding will be featured in elegant black script.

The site is at ground level in a detached building which ensures accessibility to any patrons with mobility challenges.

The proposed location has ample parking onsite including 5 dedicated spaces.

The proposed location is centrally located with good proximity to Haney Place Mall. With the proposed redevelopment of Haney Place to mixed used commercial and residential. Our location will be well located to serve a densifying city center.

BUSINESS DESCRIPTION

The Chronic Cannabis Co. will be creating a curated environment for their customers focused on the sale of locally grown, small scale craft cannabis.

It is the intent of the team at The Chronic Cannabis Co. to apply their collective product knowledge and unique retail experience to the legal cannabis sector. A fresh take on an old favorite, Chronic Cannabis Co. understands how to craft an experience that will ensure they set themselves apart for the pack.

The Chronic Cannabis Co. believes the key to creating a unique experience starts with a welcoming exterior and beautiful interior space.

Proposed Storefront Rendering

INTERIOR INSPIRATION

The Chronic Cannabis Co. intends to create an interior that bring a welcoming and luxurious atmosphere for customers. By incorporating dark wood and tasteful accents with spacious floorplan. The interior draws inspiration from vintage modern styling and organic West Coast materials.

Interior Inspiration for proposed location

COMMUNITY BENEFIT

The Chronic Cannabis Co. was born in Maple Ridge. Its founders, Tory Feuer and Charles Colvin love this community. Mr. Feuer is a resident and a homeowner in Maple Ridge and he understands the challenges facing residents in his home town. In addition to creating local jobs during an economic downturn caused by the global pandemic, supporting the community is a top priority for the team at The Chronic Cannabis Co.

CHARITABLE GIVING TOWARDS COMMUNITY PRIORITIES

To that end, The Chronic Cannabis Co. commits to make a minimum financial contribution towards an appropriate charitable initiative in each of the first three years of operation. After the third year, this contribution will increase to $10,000.

Year of Operation	Minimum Contribution
Year 1	$2,500
Year 2	$5,000
Year 3	$7,500
Year 4 thereafter	$10,000

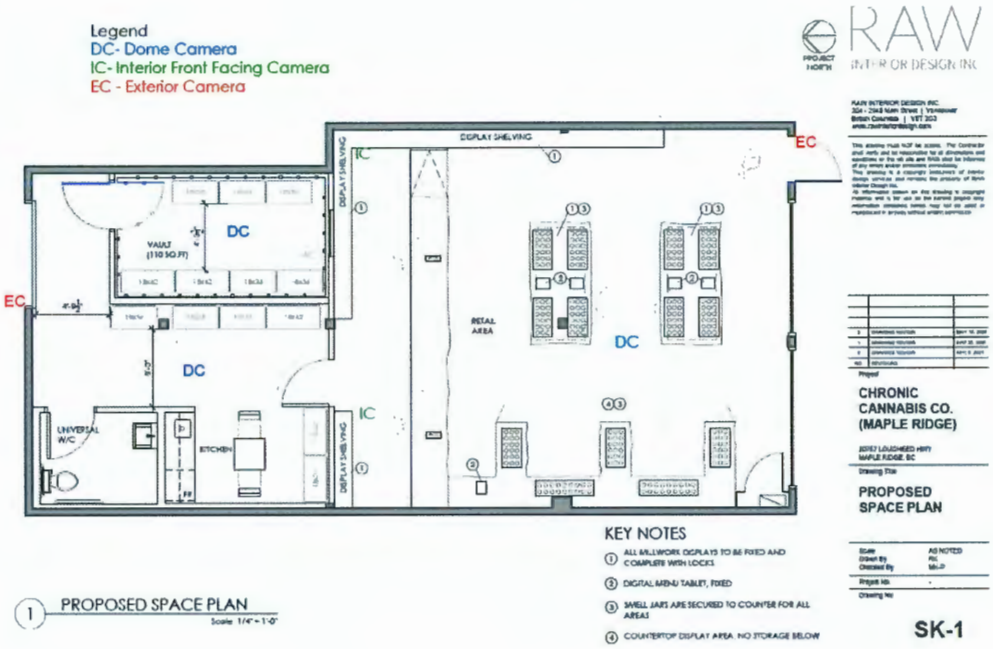
The Chronic Cannabis Co. has identified *the Friends in Needs Food Bank* as the primary recipient of our intended support. The ongoing pandemic has made food security more pressing than ever for many families in the community.

The Chronic Cannabis Co. believes that legal cannabis has shown to be a net positive in the communities that welcome legal retail. We are committed to ensuring that positive impact is felt through Maple Ridge by supporting food security for its residents.

DETAILS OF MITIGATION PLAN TO MINIMIZE COMMUNITY IMPACT

The Applicant has developed security related standard operating procedures and plans related to the specific needs of the proposed site and the surrounding neighbourhood. These operational processes include the following measures of deterring youth access and preventing nuisance behavior:

- Onsite security presence to discourage potential nuisance behavior by patrons and to ensure that all those entering the store are of legal age.
- Requirement of two pieces of ID from all patrons.
- Maintaining a formal record of events and incidences of attempted unauthorized entry into the store.
- All risk management processes are in place to protect staff and patrons including internal and external security cameras, locking cabinets, and secured, alarmed storage. See Image: *Proposed Floorplan with Security Features* below
- Refusing service to patrons that appear already intoxicated.
- Customers will be advised (via both signage and verbal information) that all consumption of cannabis products is forbidden in the immediate vicinity of the shop, and can only be consumed in locations as permitted by local laws.



Proposed Floorplan with Security Features

STAFF SALES TRAINING AND SAFE SALES PROTOCOL

All Chronic Cannabis Co. employees will be trained in the Government of BC's "Selling It Right" Program. This programcovers a number of topics, including:

- Recognizing signs of intoxication
- Reducing risks associated with cannabis use
- What and how products can be sold
- Preventing the sale of cannabis to minors
- Assessing patrons and refusing sales when necessary
- Creating incident reports

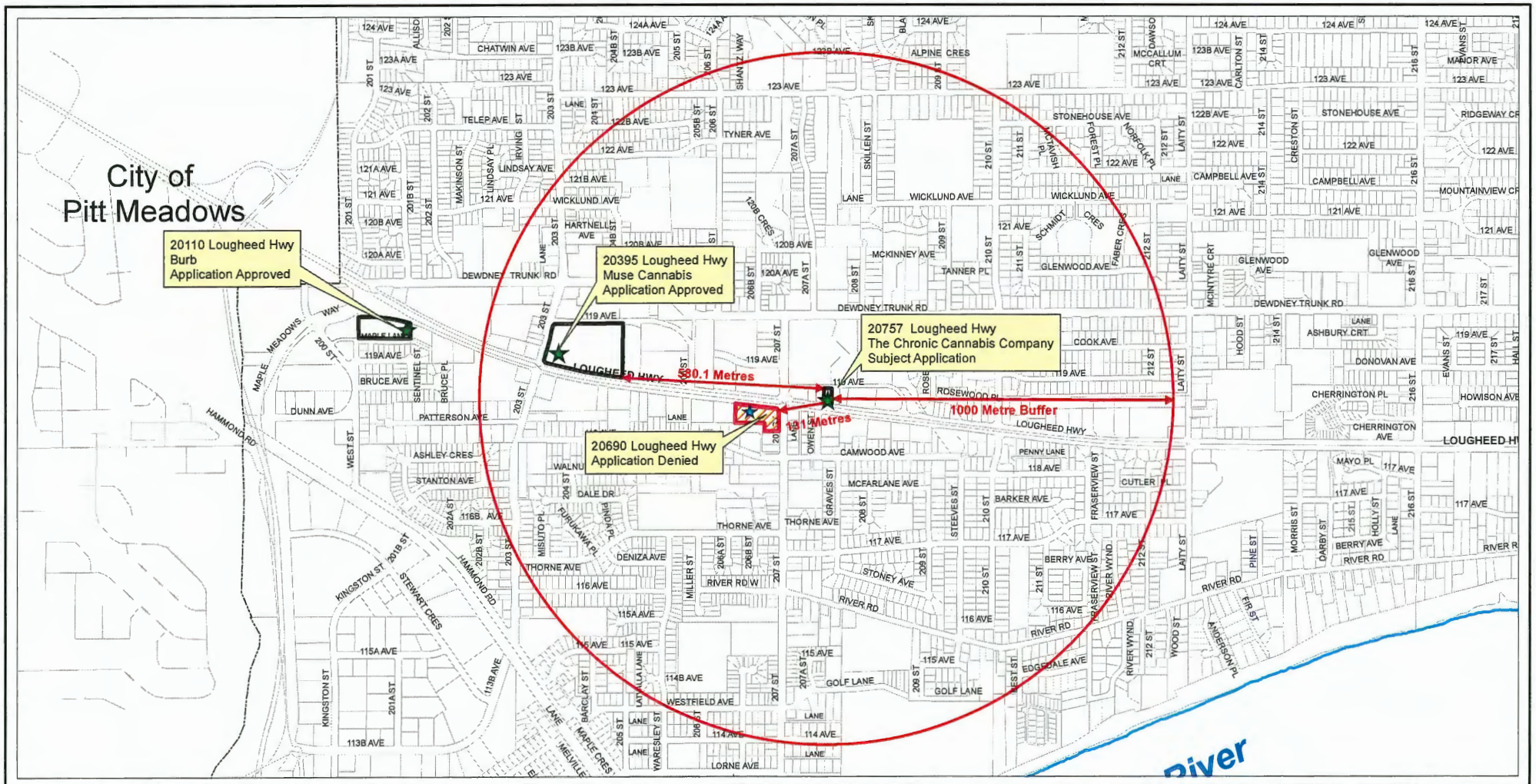
This **mandatory** training will be required of all staff before they vend cannabis to the public.

The staff at The Chronic Cannabis Co. will also have the benefit of product training from Cannareps, Canada's premier cannabis vendor training. This will ensure a best in class experience for our future customers.

In Store Informational Signage

Signage will be clearly featured in the shop as required by provincial regulations that outlines some of the potential risks associated with cannabis.

The signage will be updated as required by provincial regulations.



N

Scale: 1:10,500

Legend

- Private Retail
- Government Retail
- Application Denied

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.

1000m Buffer of
20757 Lougheed Hwy

LICENCES, PERMITS & BYLAWS DEPT.

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: CannabisLocations12
DATE: Jun 10, 2022
BY: DT

APPENDIX E

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	February 15, 2022
		FILE NO:	09-4560-20
FROM:	Chief Administrative Officer	**MEETING:**	**COW**
SUBJECT:	Proposed New Cannabis Retail Store at Unit A 20757 Lougheed Highway		

EXECUTIVE SUMMARY:

On November 27, 2018, Council adopted Council policy 6.33 Cannabis Retail Store Processing and Evaluation Criteria. This policy determines how approvals for cannabis retail are to be processed at the municipal level. This policy was reviewed, updated and approved by Council on May 12, 2020.

After the LCRB completed their integrity checks and security screenings they forwarded an application to the City for a non medical retail cannabis store known as Chronic Cannabis to be located at Unit A 20757 Lougheed Highway.

One of the considerations utilized by the LCRB in reviewing an application is a resolution from the local government. A number of regulatory criteria must be addressed in the Council resolution as well as comments pertaining to the views expressed by area residents.

Given that this application is within 1000 metres of another cannabis retail store, the application is not compliant with Council Policy 6.33 and the Zoning Bylaw.

Council may choose to support the application, not support the application or indicate they do not wish to comment.

RECOMMENDATION(S):

That the application for a non medical cannabis retail store by Chronic Cannabis, located at Unit A-20757 Lougheed Highway, Maple Ridge not be supported based on the information contained in the Council report dated February 15, 2022; and

That a copy of the resolution be forwarded to the Liquor and Cannabis Regulation Branch in accordance with the legislative requirements.

DISCUSSION:

a) Background Context:

On November 27, 2018, Council adopted Council policy 6.33 Cannabis Retail Store Processing and Evaluation Criteria. The Policy determines how approvals for cannabis retail are to be processed at the municipal level. This Policy was amended on May 12, 2020 to reflect current updates. Subsequently, at the request of Council, a report was presented with the intent to amend the Zoning Bylaw to eliminate the 1000 metre restriction regarding the distance between stores and leave it only in the Policy. Council chose not to go ahead with this option.

The following is a synopsis of applications for cannabis retail stores since the adoption of the Council Policy:

- Seventeen (17) applications have been referred by the Province since 2019;
- One (1) is currently before Council;
- Four (4) applications were approved by Council with a Business Licence issued;
- Two (2) applications were approved by Council. One is currently rezoning the other has not applied yet;
- One (1) Notice of Intent has been received by the Liquor and Cannabis Regulation Branch;
- Three (3) applications were denied by Council; and
- Six (6) referrals from the Province have not moved forward or were terminated.

An overview map of retail cannabis locations is attached as Appendix IV.

Regarding this particular application, the LCRB completed their financial integrity checks and security screenings for 1185443 BC Ltd. and they forwarded the application for a non-medical retail cannabis store, known as Chronic Cannabis, to be located at Unit A 20757 Lougheed Highway, to the City. A consultant for Chronic Cannabis contacted city staff to provide a copy of their business plan (Appendix II).

Staff reviewed this application to ensure that it met all requirements contained in the Policy including the Application Review Criteria. It is not in compliance with Policy A in that it is within 1000 metres of another approved cannabis retail store. It is also not compliant with section 401.3 of the Zoning Bylaw which also requires a 1000 metre separation between cannabis retail stores.

A map of the surrounding area has been included in this report as Appendix I.

This same company applied for a retail cannabis licence at Unit A 11771 225 St in 2019 and the report was brought forward after receiving the fit and proper assessment from the Province on May 13, 2020. The report was brought to COW on October 10, 2020 and Council denied the application on October 13, 2020 because the proposed location did not meet the 1000 metre separation between cannabis retail stores.

The LCRB guidelines request a specific Council resolution commenting on the application in terms of community impacts which may occur as a result of the proposed retail cannabis store at this particular location. Part of the process requires Council to gather views of the residents who may be affected by the establishment of a cannabis retail store in their neighbourhood.

In following the public input requirement, the City mailed 490 letters to owners and occupants of property within 200 metres of the subject site. By the response deadline, 5 responses were received opposed to the application and none were received in favour (Appendix III).

The Maple Ridge RCMP Detachment was asked for their input on this matter and they have confirmed they do not have any operational issues with this application.

b) Intergovernmental Issues:

Both local government and the provincial government have an interest in ensuring that cannabis regulations are followed and that licensed establishments listen to the needs of the community.

c) Citizen/Customer Implications:

The review of this application has taken into consideration the potential for concerns from surrounding properties in terms of parking, traffic and noise generation as well as the proximity of schools and similar establishments and concerns have been identified that pertain to the number of cannabis stores in the community as well as the close proximity to a daycare.

d) Interdepartmental Implications:

The Licences & Bylaws Department has coordinated in the review process and solicited input from the public, other municipal departments as well as the RCMP.

e) Alternatives:

Should Council wish to support this application then Council could direct the applicant to submit a zoning bylaw text amendment to amend the 1000 metre separation requirement. It is noted that this rezoning process would be considered on its own merits and Council would have the authority to approve or deny the application. The following motion would support this alternative:

1. That the non medical cannabis retail application for Unit A - 20757 Lougheed Highway be deferred and;

2. That the applicant be directed to apply for a zoning bylaw text amendment.

CONCLUSIONS:

That Council make the necessary resolution regarding the application from Chronic Cannabis based upon the staff findings set out in this report.

Prepared by: **R. MacNair**
Senior Advisor, Bylaw & Licensing Services

Co-Prepared by: **Michelle Orsetti**
Director: Bylaw & Licensing Services

Approved by: **Christine Carter, M.Pl., MCIP, RPP**
General Manager: Planning and Development Services

Concurrence: **Scott Hartman**
Chief Administrative Officer

RM/jd

Attachments:

Appendix I: Map of surrounding area
Appendix II: Chronic Cannabis Business Plan
Appendix III: Responses from area mail out
Appendix IV: Retail cannabis locations overview map

APPENDIX I

City of Pitt Meadows

Unit A - 20757 Lougheed Hwy

1198.3 Metres

580.1 Metres

1000 Metre Buffer

LOUGHEED HWY

DEWDNEY TRUNK RD

River

N

Scale: 1:10,522

Legend

★ Private Retail

★ Government Retail

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.

1000m Buffer of
Unit A - 20757 Lougheed Hwy

LICENCES, PERMITS & BYLAWS DEPT.

MAPLE RIDGE

mapleridge.ca

FILE: CannabisLocations11.mxd
DATE: Nov 25, 2021 BY: DT

APPENDIX II

2021

The Chronic Cannabis Co.

REPORT ON APPLICATION FOR CANNABIS PRIMARY RETAIL

SUBMITTED TO: MAPLE RIDGE BY-LAW AND LICENSING SERIVCES

BRAND OVERVIEW

The Chronic Cannabis Co. is focus on local. Local cannabis products and local community. Founders Tory Feuer and Charles Colvin are passionate about both. The ethos of the brand is a focus on BC grown, sustainable craft cannabis. The Chronic Cannabis Co. will be curating a selection of the highest quality cannabis with a focus on variety and quality first.

The founders believe that this locally focused supply model will be a benefit to the citizens of Maple Ridge by providing a curated selection of BC products sold by highly knowledgeable product guides. The Chronic Cannabis Co. are excited to create quality employment opportunities in Maple Ridge and eager to support its citizens via charitable partnerships and monetary contributions to organizations like the Friends in Need Foodbank.

FOUNDERS AND ADVISORY BOARD

Charles Colvin – Co-founder

Charles brings a deep passion of category management and product selection. He brings over 10 years retail experience to the team. He loves to help connect people with the right cannabis products and is excited to bring that love to the citizens of Maple Ridge.

Tory Feuer – Co-founder

Born, raised and still a proud resident of Maple Ridge, Tory has built and managed several businesses in the last 15 years in trades, cannabis and real estate. Tory is deeply invested in his community and looks forward to serving the City in a knowledgeable and welcoming space catered to people that love the cannabis plant.

Sat Mann – Advisor

Sat Mann, Co-Owner of the Medicine Shoppe Pharmacy in Maple Ridge and is the Landlord for the Medical Clinic and Pharmacy, is a member of the Advisory Board for Chronic Cannabis. He has over 20 years experience as a Pharmacist and is a co-owner of 8 pharmacies across Metro Vancouver.

TJ Singh – Advisor

TJ Singh, CPA also serves on the Chronic Cannabis Co. Advisory Board. He brings over 20 years of accounting, tax and business advisory experience working with small to medium sized enterprises in Metro Vancouver.

Mr. Mann and Mr. Singh are both landowners in Maple Ridge and involved in real estate development projects with solid ties to the local business community.

OPERATIONAL DETAILS

The hours of operation for the shop are 7 days a week, 9am to 11pm.

The Chronic Cannabis Co. intends to employ 8 part time and 4 full time staff at our proposed Maple Ridge retail location.

The windows will be tastefully frosted, and classic branding will be featured in elegant black script.

The site is at ground level in a detached building which ensures accessibility to any patrons with mobility challenges.

The proposed location has ample parking onsite including 5 dedicated spaces.

The proposed location is centrally located with good proximity to Haney Place Mall. With the proposed redevelopment of Haney Place to mixed used commercial and residential. Our location will be well located to serve a densifying city center.

BUSINESS DESCRIPTION

The Chronic Cannabis Co. will be creating a curated environment for their customers focused on the sale of locally grown, small scale craft cannabis.

It is the intent of the team at The Chronic Cannabis Co. to apply their collective product knowledge and unique retail experience to the legal cannabis sector. A fresh take on an old favorite, Chronic Cannabis Co. understands how to craft an experience that will ensure they set themselves apart for the pack.

The Chronic Cannabis Co. believes the key to creating a unique experience starts with a welcoming exterior and beautiful interior space.

Proposed Storefront Rendering

INTERIOR INSPIRATION

The Chronic Cannabis Co. intends to create an interior that bring a welcoming and luxurious atmosphere for customers. By incorporating dark wood and tasteful accents with spacious floorplan. The interior draws inspiration from vintage modern styling and organic West Coast materials.

Interior Inspiration for proposed location

COMMUNITY BENEFIT

The Chronic Cannabis Co. was born in Maple Ridge. Its founders, Tory Feuer and Charles Colvin love this community. Mr. Feuer is a resident and a homeowner in Maple Ridge and he understands the challenges facing residents in his home town. In addition to creating local jobs during an economic downturn caused by the global pandemic, supporting the community is a top priority for the team at The Chronic Cannabis Co.

CHARITABLE GIVING TOWARDS COMMUNITY PRIORITIES

To that end, The Chronic Cannabis Co. commits to make financial contribution towards an appropriate charitable initiative of increasing value year over year for the each of the first three years of operation and then a fixed amount thereafter.

Year of Operation	Minimum Contribution
Year 1	$2,500
Year 2	$5,000
Year 3	$7,500
Year 4 thereafter	$10,000

The Chronic Cannabis Co. has identified *the Friends in Needs Food Bank* as the primary recipient of our intendedsupport. The ongoing pandemic has made food security more pressing than ever for many families in the community.

The Chronic Cannabis Co. believes that legal cannabis has shown to be a net positive in the communities that welcome legal retail. We are committed to ensuring that positive impact is felt through Maple Ridge by supporting food security for its residents.

DETAILS OF MITIGATION PLAN TO MINIMIZE COMMUNITY IMPACT

The Applicant has developed security related standard operating procedures and plans related to the specific needs of the proposed site and the surrounding neighbourhood. These operational processes include the following measures of deterring youth access and preventing nuisance behavior:

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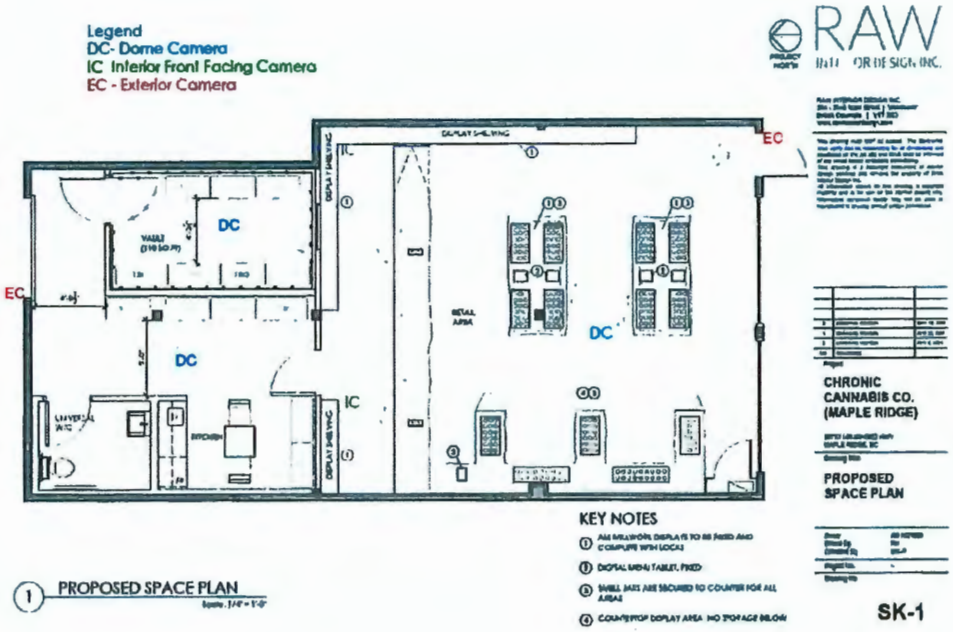

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In Store Informational Signage

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The signage will be updated as required by provincial regulations.

APPENDIX III

[redacted]
Maple Ridge, B.C. V2X 9S7

January 4,2022

RECEIVED
JAN 04 2022
MAPLE RIDGE
LICENSES, PERMITS & BYLAWS

City of Maple Ridge
Attention: Jaci Diachuk, Administrative Assistant
11995 Haney Place
Maple Ridge, B. C. V2X 6A9

Dear: Jaci Diachuk

Freedom of Information and
Protection of Privacy Act
Section 21 (1)

Re: Application 1185443 BC Ltd.
Chronic Cannabis

We are against having a Cannabis establishment in our neighborhood, as we feel that there are already two of these establishment in town, there is no need for another.

Also, believe that that there is a by-law on the provincial books prohibiting this kind of establishment to be with a one to three block radius of a daycare or school. If so then then they would in violation of said by-law, as there is a daycare within one block of said location.

Yours truly,

[redacted]

[redacted]

Jaci Diachuk

From: [redacted]
Sent: Wednesday, December 15, 2021 8:02 AM
To: Jaci Diachuk
Subject: Public Notice re Poposed Non Medical Cannabis Retail Store
Attachments: Public Notice re Proposed Non Medical Cannabis Retail Store.pdf

EXTERNAL EMAIL: Don't click on links or open attachments you don't trust.
COURRIEL EXTERNE: Ne cliquez pas sur les liens et n'ouvrez pas les pièces jointes suspects.

December 15 2021

Re: Proposed Non Medical Cannabis Retail Store (Chronic Cannabis) Unit A- 20757 Lougheed Highway Maple Ridge
Attention: Jaci Diachuk : Admistrative Assistant

Dear Jaci:

We are writing with concerns to the proposed opening of a Retail Cannabis Store at the above location

1. We feel that the image and optics of a cannabis store is not beneficial for young children.
   We are a family dental practice often seeing many young children.
   As well there is a large daycare situated directly behind the proposed location serving many young children.
   As such we are not in favor of a cannabis store opening at that location.

2. We feel that the increased traffic this will bring to the area will cause issues in regards to parking and safety concerns as well with the increased traffic.

We respectfully submit the above. Thank you for your considerations.

Sincerely

[redacted]

Freedom of Information and
Protection of Privacy Act
Section 21 (1)

Jaci Diachuk

From: [redacted]
Sent: Sunday, January 2, 2022 6:46 PM
To: Jaci Diachuk

EXTERNAL EMAIL: Don't click on links or open attachments you don't trust.
COURRIEL EXTERNE: Ne cliquez pas sur les liens et n'ouvrez pas les pièces jointes suspects.

[redacted]
Maple Ridge BC
[redacted]

Applicant: 1185443 BC Ltd

Proposed Establishment Name: Chronic Canabis

Establishment Location: Unit A-20757 Lougheed Highway, Maple Ridge.

Our answer No, absolutely No.

Freedom of Information and Protection of Privacy Act Section 21 (1)

[redacted]

January 2, 2022.

Jaci Diachuk

From: [redacted]
Sent: Sunday, January 2, 2022 6:58 PM
To: Jaci Diachuk
Subject: 12-20799 119 ave

EXTERNAL EMAIL: Don't click on links or open attachments you don't trust.
COURRIEL EXTERNE: Ne cliquez pas sur les liens et n'ouvrez pas les pièces jointes suspects.

Maple Ridge BC[redacted]

Applicant: 118544 BC

Proposed Establishment Name: Chronic Cannabis

Establishment Location:Unit A-20757 Logheed Highway, Maple Ridge

Our answer No, absolutely No

Freedom of Information and Protection of Privacy Act Section 21 (1)

[redacted]
January 2, 2022.

Jaci Diachuk

From: [redacted]
Sent: Tuesday, January 4, 2022 8:55 PM
To: Jaci Diachuk
Subject: Proposed Non Medical Cannabis Retail Store

EXTERNAL EMAIL: Don't click on links or open attachments you don't trust.
COURRIEL EXTERNE: Ne cliquez pas sur les liens et n'ouvrez pas les pièces jointes suspects.

Hi Jaci,

I write to you to oppose the recent application for Chronic Cannabis @ Unit A - 20757 Lougheed Hwy. by applicant 1185443 BC Ltd.

I have several concerns, the primary concern being the proximity to 2 other Cannabis retail stores and from my understanding a third location has been proposed at 207 & Lougheed which is supposed to be a BC Cannabis store(Government Store).

As well if this is approved we will have equivalent cannabis stores as liquor stores serving this corridor. My understanding of the Cannabis Retail Store Processing & Evaluation Criteria Policy No. 6.33 that applications would not be considered if under 1000 m apart. The proposed location is only 800 m away from an active retail cannabis store located in the Westgate Mall and if the BC Cannabis store is approved that would only be 250m away. The third location is 1300 m away but in my opinion is way too close and feels like an overpopulation of this type of establishment for this area. For comparison the 3 liquor stores in this area are 600m and 1300 m apart.

This location is also located on a busy corridor and has limited access,and could see a huge safety concern. This location also has minimal parking and it would share a parking lot with a popular restaurant at the same address.

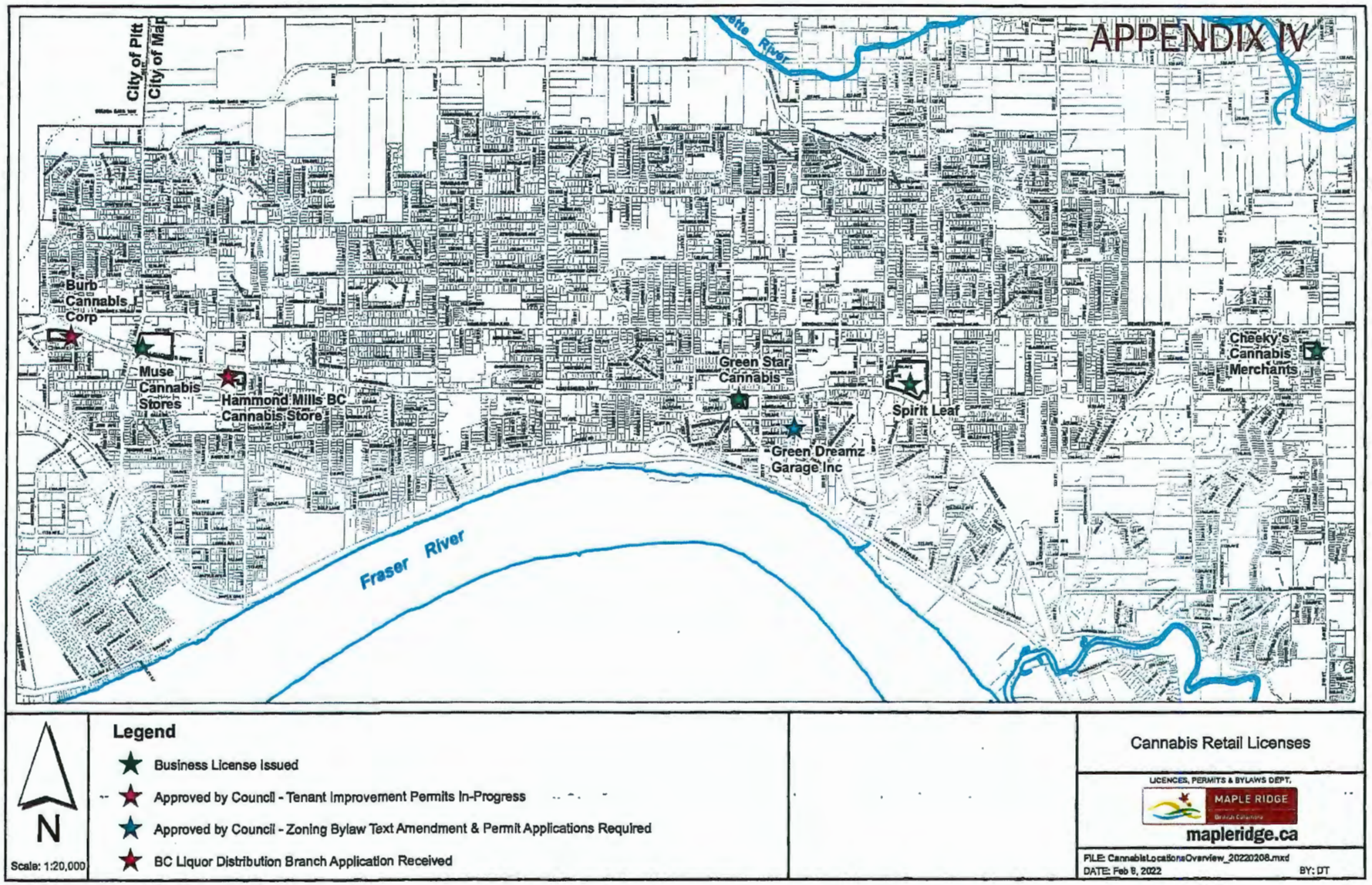
I hope the council opposes this application at this time.

Thanks in advance,

[redacted]
Maple Ridge, B.C

Freedom of Information and Protection of Privacy Act
Section 21 (1)

APPENDIX IV


City of Pitt
City of Map
Burb Cannabis Corp
Muse Cannabis Stores
Hammond Mills BC Cannabis Store
Green Star Cannabis
Green Dreamz Garage Inc
Spirit Leaf
Cheeky's Cannabis Merchants
Fraser River
N
Scale: 1:20,000
Legend
Business License Issued
Approved by Council - Tenant Improvement Permits In-Progress
Approved by Council - Zoning Bylaw Text Amendment & Permit Applications Required
BC Liquor Distribution Branch Application Received
Cannabis Retail Licenses
LICENCES, PERMITS & BYLAWS DEPT.
MAPLE RIDGE
mapleridge.ca
FILE: CannabisLocationsOverview_20220208.mxd
DATE: Feb 8, 2022
BY: DT