

CITY OF MAPLE RIDGE

PUBLIC HEARING AGENDA

July 19, 2022

7:00 pm

Virtual Online Meeting including Council Chambers

*The purpose of the Public Hearing is to allow all persons who deem themselves affected by any of these bylaws a reasonable opportunity to be heard before Council on the matters contained in the bylaws. Persons wishing to speak for or against a bylaw will be given opportunities. You will be asked to give your name and address. Please note that all written submissions provided in response to this consultation including names and addresses will become part of the public record which includes the submissions being made available for public inspection. Further consideration of bylaws on this agenda will be at the next regular Council meeting. The meeting is recorded by the City of Maple Ridge.*

*For virtual public participation register by going to <https://www.mapleridge.ca/640/Council-Meetings> and clicking on the meeting date.*

*For in-person public participation register by emailing the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) no later than 4:00 p.m. Tuesday, July 19, 2022 (please provide your name, address and phone number as well as the item you would like to speak to. Attendance by the public in Council Chambers will be limited to 33 members, on a first-come-first-serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing.*

*This Agenda is also posted on the City's Website at: [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter)*

- 1) **2021-061-RZ, 21783 Lougheed Highway**  
Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031

The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 675m<sup>2</sup> of ground-floor commercial space and approximately 124 rental apartment units.

1a) **Maple Ridge Zone Amending Bylaw No. 7721-2021**

First Reading: March 30, 2021

Second Reading as amended: June 28, 2022

Purpose: To introduce the C-7 (Lougheed Transit Corridor Mixed-Use) Zone.

1b) **Maple Ridge Zone Amending Bylaw No. 7719-2021**

First Reading: March 30, 2021

Second Reading: June 28, 2022

Purpose: To re-designate the subject property from C-2 (Community Commercial) to C-7 (Lougheed Transit High Density Mixed-Use).

**2) 2019-426-RZ, 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue**

Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

**The subject application is to permit the rezoning to allow the future construction of approximately 165 townhouse units.**

**2a) Official Community Plan Amending Bylaw No. 7607-2020**

First Reading: June 28, 2022

Second Reading: June 28, 2022

Purpose: To re-designate the subject properties from *Low/Medium Density Residential* to *Townhouse and Conservation*.

**2b) Maple Ridge Zone Amending Bylaw No. 7608-2020**

First Reading: March 10, 2020

Second Reading as amended: June 28, 2022

Purpose: To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential); amend required Setbacks for an Accessory Structure for an Indoor Amenity Area; and amend the maximum Building Height for Accessory Buildings and Accessory Structures for an Indoor Amenity Area.

**3) 2019-055-RZ, 11839 and 11795 267 Street**

Lot 2 Section 18 Township 15 New Westminster District Plan 7439; and  
Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15 New Westminster District Plan 5612

**The subject application is to permit the rezoning and future subdivision of approximately 15 single-family lots.**

**3a) Maple Ridge Official Community Plan Amending Bylaw No. 7834-2022**

First Reading: June 14, 2022

Second Reading: June 14, 2022

Purpose: To re-designate a portion of the subject properties from *Suburban Residential* to *Park*.

**3b) Maple Ridge Zone Amending Bylaw No. 7539-2019**

First Reading: April 9, 2019

Second Reading as amended: June 14, 2022

Purpose: To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential).

- 4) **2020-413-RZ, 10366 240 Street**  
Lot A Section 3 Township 12 Plan NWP13554

**The subject application is to permit the rezoning to allow the future construction of approximately 30 townhouse units.**

**4a) Maple Ridge Zone Amending Bylaw No. 7699-2021**

First Reading: January 26, 2021

Second Reading: June 14, 2022

Purpose: To rezone the subject property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential).

- 5) **2018-349-RZ, 21745 River Road**  
Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510

**The subject application is to permit the rezoning to allow the future subdivision of two lots.**

**5a) Maple Ridge Zone Amending Bylaw No. 7503-2018**

First Reading: November 27, 2018

Second Reading as amended: June 28, 2022

Purpose: To rezone the subject property from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential).

- 6) **2019-392-RZ, 22904, 22910 and 22922 Dewdney Trunk Road**  
Lot 220 Section 17 Township 12 New Westminster District Plan 57165;  
Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and  
Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel "A"  
(Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178

**The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 180m<sup>2</sup> of commercial space and approximately 127 apartment units.**

**6a) Official Community Plan Amending Bylaw No. 7759-2021**

First Reading: June 22, 2021

Second Reading: June 22, 2021

Purpose: To re-designate the subject properties from *Urban Residential* to *Commercial*.

**6b) Maple Ridge Zone Amending Bylaw No. 7760-2021**

First Reading: June 22, 2021

Second Reading: June 22, 2021

Purpose: To introduce Comprehensive Development Zone CD-2-20.

**6c) Maple Ridge Zone Amending Bylaw No. 7627-2020**

First Reading: March 31, 2020

Second Reading as amended: June 22, 2021

Purpose: To rezone the subject properties from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development).

CITY OF MAPLE RIDGE

NOTICE OF VIRTUAL ONLINE PUBLIC HEARING INCLUDING COUNCIL CHAMBERS

**TAKE NOTICE THAT A PUBLIC HEARING** is scheduled for Tuesday, July 19, 2022 at 7:00 p.m. This meeting is an online virtual meeting to be hosted in Council Chambers at City Hall, 11995 Haney Place, Maple Ridge.

For virtual online participation, access the link at: [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and click on the meeting date to register.

For attendance in person, please pre-register with the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) by 4:00 p.m. Tuesday, July 19, 2022.

For viewing only, access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the July 19, 2022 Public Hearing presentation video:

The Public Agenda and full reports are posted on the City's website at [www.mapleridge.ca/AgendaCenter](http://www.mapleridge.ca/AgendaCenter) (see: Public Hearing).

This Public Hearing is held in order to consider the following bylaws:

**1) 2021-061-RZ, 21783 Lougheed Highway**

Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031

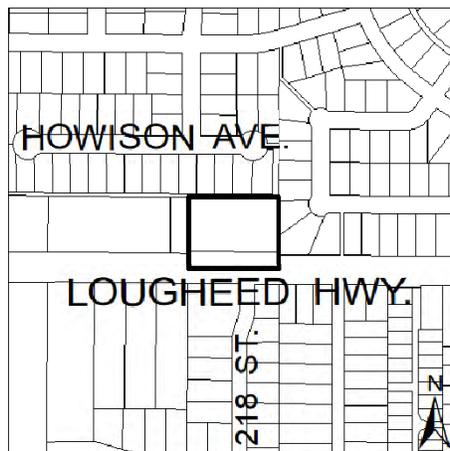
The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 675m<sup>2</sup> of ground-floor commercial space and approximately 124 rental apartment units.

**1a) Maple Ridge Zone Amending Bylaw No. 7721-2021**

To introduce the C-7 (Lougheed Transit Corridor Mixed-Use) Zone.

**1b) Maple Ridge Zone Amending Bylaw No. 7719-2021**

To re-designate the subject property from C-2 (Community Commercial) to C-7 (Lougheed Transit High Density Mixed-Use).



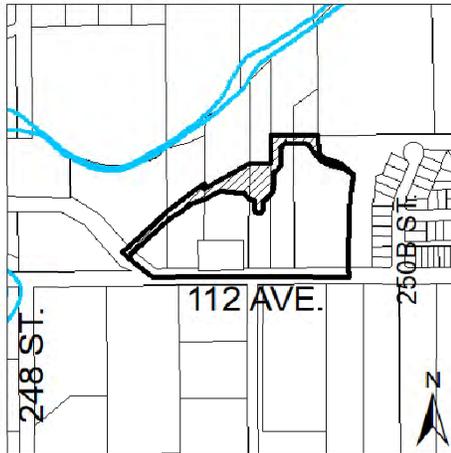
Map No. 1874

- 2) **2019-426-RZ, 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue**  
 Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
 Lot A Section 14 Township 12 New Westminster District Plan 72158;  
 Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
 Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
 Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
 Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
 Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

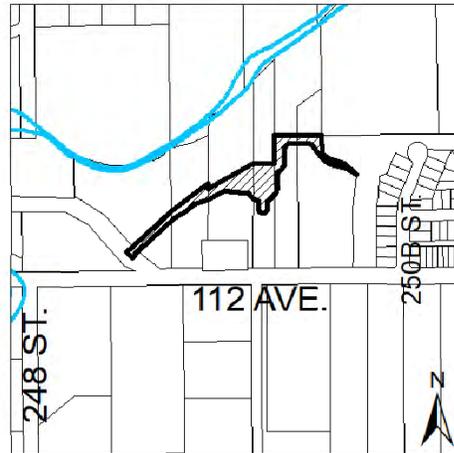
The subject application is to permit the rezoning to allow the future construction of approximately 165 townhouse units.

**2a) Official Community Plan Amending Bylaw No. 7607-2020**

To re-designate the subject properties from *Low/Medium Density Residential* to  
*Townhouse*  and *Conservation* .



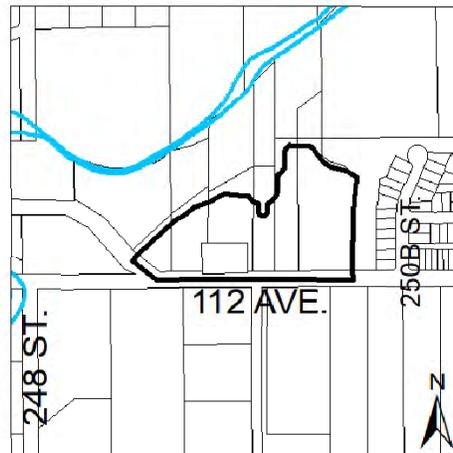
Map No. 1014



Map No. 1015

**2b) Maple Ridge Zone Amending Bylaw No. 7608-2020**

To rezone portions of the subject properties from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential); amend required Setbacks for an Accessory Structure for an Indoor Amenity Area; and amend the maximum Building Height for Accessory Buildings and Accessory Structures for an Indoor Amenity Area.



Map No. 1823

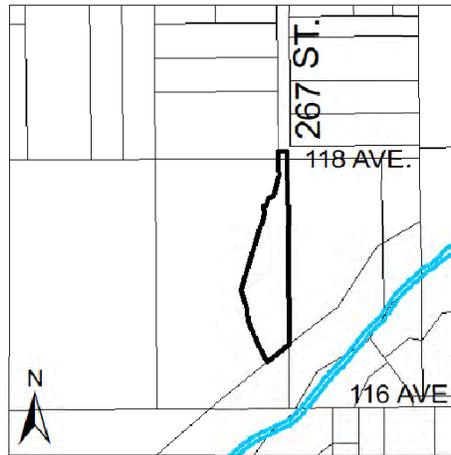
**3) 2019-055-RZ, 11839 and 11795 267 Street**

Lot 2 Section 18 Township 15 New Westminster District Plan 7439; and  
Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15 New  
Westminster District Plan 5612

The subject application is to permit the rezoning and future subdivision of approximately 15  
single-family lots.

**3a) Maple Ridge Official Community Plan Amending Bylaw No. 7834-2022**

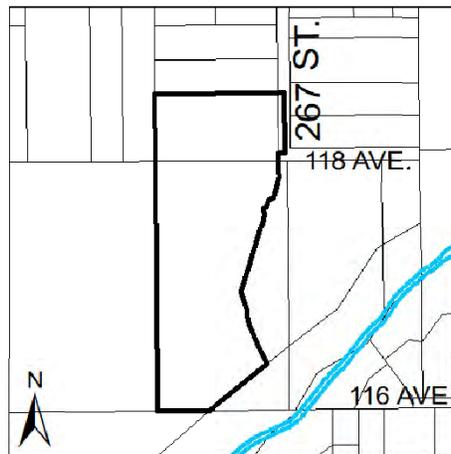
To re-designate a portion of the subject properties from *Suburban Residential* to *Park*.



**Map No. 1055**

**3b) Maple Ridge Zone Amending Bylaw No. 7539-2019**

To rezone portions of the subject properties from RS-3 (Single Detached Rural  
Residential) to RS-2 (Single Detached Suburban Residential).



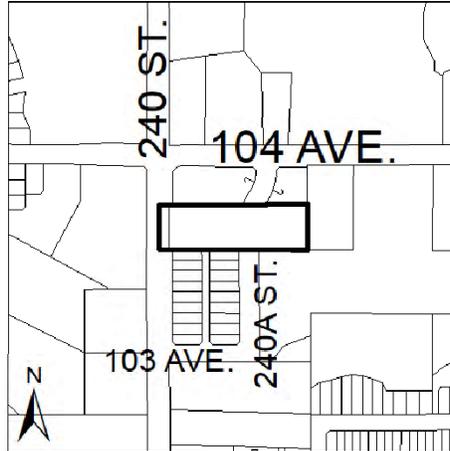
**Map No. 1793**

- 4) **2020-413-RZ, 10366 240 Street**  
Lot A Section 3 Township 12 Plan NWP13554

The subject application is to permit the rezoning to allow the future construction of approximately 30 townhouse units.

- 4a) **Maple Ridge Zone Amending Bylaw No. 7699-2021**

To rezone the subject property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential).



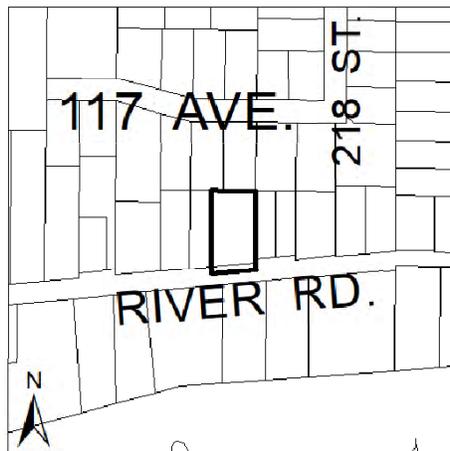
Map No. 1859

- 5) **2018-349-RZ, 21745 River Road**  
Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510

The subject application is to permit the rezoning to allow the future subdivision of two lots.

- 5a) **Maple Ridge Zone Amending Bylaw No. 7503-2018**

To rezone the subject property from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential).



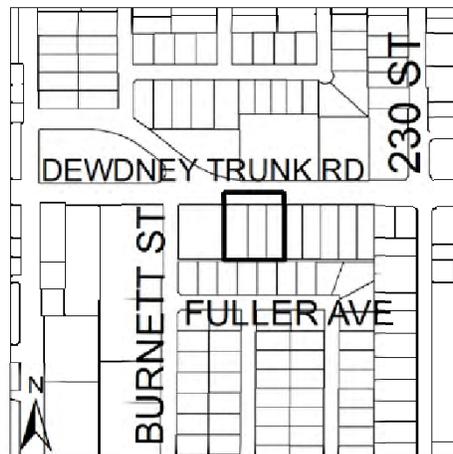
Map No. 1778



- 6) **2019-392-RZ, 22904, 22910 and 22922 Dewdney Trunk Road**  
Lot 220 Section 17 Township 12 New Westminster District Plan 57165;  
Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and  
Parcel “One” (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel “A”  
(Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178

The subject application is to permit the rezoning to allow the future construction of a six-storey mixed use building with 180m<sup>2</sup> of commercial space and approximately 127 apartment units.

- 6a) **Official Community Plan Amending Bylaw No. 7759-2021**  
To re-designate the subject properties from Urban Residential to Commercial.
- 6b) **Maple Ridge Zone Amending Bylaw No. 7760-2021**  
To introduce Comprehensive Development Zone CD-2-20.
- 6c) **Maple Ridge Zone Amending Bylaw No. 7627-2020**  
To rezone the subject properties from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development).



Map No. 1043

**AND FURTHER TAKE NOTICE** that a copy of the aforesaid bylaws and copies of staff reports and other information considered by Council to be relevant to the matters contained in the bylaws are available for viewing on the City’s Land Development Viewer site at:

<https://gis.mapleridge.ca/LandDevelopmentViewer/LandDevelopmentViewer.html>.

It is important to ensure that our democratic processes continue to function and that the work of the City remains transparent for all citizens while mitigating risks posed by COVID-19. For further information on how to participate, we encourage checking our website for updates at <https://www.mapleridge.ca/2408/Covid-19-Information>. If you wish to participate virtually, please use the links below.

**ALL PERSONS** who believe themselves affected by the above-mentioned bylaws shall be afforded a reasonable opportunity to be heard at the Public Hearing before Council on the matters contained in the bylaws. Please note that all written submissions provided in response to this notice will become part of the public record which includes the submissions being made available for public inspection.

These are the following ways to participate:

- **Virtually, by going to:** [www.mapleridge.ca/640/Council-Meetings](http://www.mapleridge.ca/640/Council-Meetings) and clicking on the meeting date to register. When registering you will be asked to give your name and address, to give Council your proximity to the land that is the subject of the application. We ask that you have your camera on during the Public Hearing;
- **For viewing only,** access the link at <http://media.mapleridge.ca/Mediasite/Showcase> and click on the July 19, 2022 Public Hearing presentation video;
- **Attendance in person by pre-registering** with the Corporate Officer at [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) **by 4:00 p.m. Tuesday, July 19, 2022.** Please provide your name, address, and phone number as well as the item you wish to speak to. In-person attendance will be limited, and up to 33 members will be allowed physical access to Council Chambers on a first come, first serve basis, therefore members of the public are encouraged to pre-register with the Corporate Officer if they wish to speak at the Public Hearing;
- **To submit correspondence** prior to the Public Hearing, provide written submissions to the Corporate Officer by 12:00 Noon, Tuesday, July 19, 2022 (quoting file number) via drop-box at City Hall or by mail to 11995 Haney Place, Maple Ridge, V2X 6A9; or
- **To email correspondence,** forward written submissions to [clerks@mapleridge.ca](mailto:clerks@mapleridge.ca) to the attention of the Corporate Officer, by 12:00 Noon, Tuesday, July 19, 2022 (quoting file number).

Dated this 6<sup>th</sup> day of July, 2022.

Patrick Hlavac-Winsor  
Corporate Officer



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **Second Reading**  
**Zone Amending Bylaw No. 7719-2021**  
**Zone Amending Bylaw No. 7721-2021**  
**First, Second and Third Reading**  
**Off-Street Parking and Loading Amending Bylaw No. 7860-2022**  
**21783 Lougheed Highway**

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2021-061-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 21783 Lougheed Highway, from C-2 (Community Commercial) to C-7 (Lougheed Transit Corridor Mixed-Use), to permit the future construction of a six-storey, purpose-built rental apartment building. Council granted first reading to *Zone Amending Bylaw No. 7719-2021* and *Zone Amending Bylaw No. 7721-2021* on March 30, 2021. *Off-Street Parking and Loading Amending Bylaw No. 7860-2022* is also being brought forward in order to establish a parking requirement for the new C-7 (Lougheed Transit Corridor Mixed-Use) zone.

The building will contain approximately 675m<sup>2</sup> of commercial space on the ground floor and 124 rental apartment units from the ground floor to the sixth storey. The proposed development is within the concept plan for the Lougheed Transit Corridor area, which identifies a future land use of *Commercial Mixed-Use* that has been endorsed by Council. *Zone Amending Bylaw No. 7721-2021* creates the new C-7 zone, while *Zone Amending Bylaw No. 7719-2021* rezones the site from the C-2 to the C-7 zone.

This application is in compliance with the Official Community Plan.

The subject application is exempt from paying the Community Amenity Contribution outlined in Council Policy 6.31, as the applicant is proposing 100% of the units as rental to be secured through a Housing Agreement. To proceed further with this application additional information is required as outlined below.

**RECOMMENDATIONS:**

1. That *Zone Amending Bylaw No. 7719-2021* be given second reading and forwarded to Public Hearing;
2. That *Zone Amending Bylaw No. 7721-2021* be given second reading as amended, and forwarded to Public Hearing;
3. That *Off-Street Parking and Loading Amending Bylaw No. 7860-2022* be given first, second and third reading; and further

4. That the following terms and conditions be met prior to final reading:

- i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
- ii) Approval from the Ministry of Transportation and Infrastructure;
- iii) Road dedication on Lougheed Highway as required;
- iv) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
- v) Registration of a Statutory Right-of-Way plan and agreement for walkway on the east side of the property;
- vi) Registration of a Restrictive Covenant to prohibit a pharmacy at this location;
- vii) Registration of a Restrictive Covenant for Stormwater Management;
- viii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
- ix) Registration of a Housing Agreement in accordance with Section 483 of the *Local Government Act* and a Restrictive Covenant stating that the apartments in the C-7 (Lougheed Transit Corridor Mixed-Use) Zone will be restricted to residential rental units;
- x) Removal of existing buildings; and
- xi) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

**DISCUSSION:**

1. **Background Context:**

Applicant:	WestUrban Developments Ltd.
Legal Description:	Parcel A District Lot 247 Group 1 New Westminster District Plan EPP73031
OCP:	
Existing:	Commercial
Proposed:	Commercial
Within Urban Area Boundary:	Yes
Area Plan:	Lougheed Transit Corridor (endorsed concept plan)
OCP Major Corridor:	Yes

Zoning:  
 Existing: C-2 (Community Commercial)  
 Proposed: C-7 (Lougheed Transit Corridor Mixed-Use)

Surrounding Uses:

North:	Use:	Single Family Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Urban Residential
South:	Use:	Commercial and Residential
	Zone:	CS-1 (Service Commercial) and RS-1 (One Family Urban Residential)
	Designation:	Commercial and Urban Residential
East:	Use:	Single Family Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Urban Residential
West:	Use:	Commercial
	Zone:	CS-1 (Service Commercial)
	Designation:	Commercial

Existing Use of Property:	Vacant Lot
Proposed Use of Property:	Mixed Use (Commercial and Residential)
Site Area:	0.51 ha (1.3 acres)
Access:	Lougheed Highway
Servicing:	Urban Standard
Flood Plain:	Yes
Fraser Sewer Area:	Yes
Previous OR Companion Applications:	2015-309-RZ and 2019-260-RZ

**2. Background:**

The subject property, located at 21783 Lougheed Highway, is approximately 0.51 ha (1.3 acres) in area and is currently vacant (see Appendices A and B). The subject property is relatively flat with low-lying vegetation located throughout the site and trees along the eastern property boundary.

**3. Project Description:**

This application seeks to rezone the property from C-2 (Community Commercial) to C-7 (Lougheed Transit Corridor Mixed-Use), to permit the construction of a six-storey rental apartment building (see Appendices C and D). The proposed building will feature approximately 686 m<sup>2</sup> (7,384 ft<sup>2</sup>) of commercial space on the ground floor and 124 rental apartment units from the ground floor to the sixth floor.

The design intends to have the bulk of the six storey building fronting Lougheed Highway, with a smaller portion on the east side continuing north (see Appendix E). The northern portion of the building is stepped back on the fifth and sixth floors in order to reduce the massing towards the single family houses to the north. A 7.5 metre (25 ft) setback along the majority of the northern lot line, to act as a buffer between the site and the adjacent residential lots, has been incorporated into the design. Along the east property line a 3.0 metre public walkway has been incorporated to

provide pedestrian connection from Lougheed Highway to the neighbourhood to the north. This public walkway will be located in a Statutory Right-of-Way (SRW). The building is setback an additional 3.0 metre from this walkway to provide a 6.0 metre separation from the eastern property line. To the west the building is setback from the property line by 14.3 metres (see Appendices F and G).

Council had expressed concern during the Committee of the Whole meeting on March 23, 2021, about the proliferation of Pharmacies within the City of Maple Ridge. As a result of these concerns, the Planning Department has requested and the applicant has agreed to register a covenant on Title that would prohibit the operation of the pharmacy within the commercial component of the newly proposed building.

Lougheed Highway at this location is a controlled access highway, therefore, the Ministry of Transportation and Infrastructure (MOTI) approval is required before the rezoning can be adopted.

The City has initially asked that the applicant provide 1.5 metres of road dedication along Lougheed Highway, however, MOTI has not yet confirmed their required amount of road dedication. Once MOTI responds with their preliminary approval and their road dedication requirements along Lougheed Highway, the applicant will be required to update their drawings to reflect this amount.

#### **4. Planning Analysis:**

##### **i) Official Community Plan (OCP) Policies**

The following OCP policies apply to this project:

*3-31 Maple Ridge supports the provision of rental accommodation and encourages the construction of rental units that vary in size and number of bedrooms. Maple Ridge may also limit the demolition or strata conversion of existing rental units, unless District-wide vacancy rates are within a healthy range as defined by the Canadian Mortgage and Housing Corporation, and,*

*3-32 Maple Ridge supports the provision of affordable, rental and special needs housing throughout the District...*

This project will add up to 124 new purpose built market rental housing units to the Lougheed Corridor. It currently proposes 6 studio, 88 one-bedroom, and 27 two-bedroom units.

##### **ii) Lougheed Transit Corridor Area Policies**

The subject property is currently designated *Commercial* and is within the Lougheed Transit Corridor area, which is subject to a Council endorsed Concept Plan. The designation supports the proposed development under the C-7 (Lougheed Transit Corridor Mixed-Use) zone.

The land use identified in the Lougheed Transit Corridor Concept Plan is *Commercial Mixed Use*, which aligns with a mixed-use form of development with ground floor commercial and residential above at transit nodes and along 'high streets'. A minimum height of four storeys is required with no building height maximum. Development proposed adjacent to existing single detached dwelling or townhouse uses will be encouraged to design buildings in a sensitive manner to the existing development, such as stepping down building faces at interface points.

The endorsed Concept Plan identifies the creation of a new C-7 (Lougheed Transit Corridor Mixed-Use). Second reading of the Lougheed Transit Corridor Area Plan is scheduled for Q2 – 2022. The subject site is located within the Lougheed Transit Corridor Area Plan and designated as *Commercial Mixed-Use*. The *Commercial Mixed-Use* designation permits a mixed-use form of development with ground floor commercial and residential apartments above. Office use is also permitted above ground level.

The *Commercial Mixed-Use* designation is supported by the following policies:

**4-10** Maple Ridge will support a minimum of four storeys.

*The proposed building is six storeys, therefore meeting the four storey minimum.*

**4-12** Maple Ridge will create a new commercial mixed-use zone for specific applications in the Lougheed Transit Corridor.

*With the proposed rezoning of this site, a site-specific text amendment is also included in order to introduce the C7 (Lougheed Transit Corridor Mixed-Use) Zone.*

**4-13** Maple Ridge will permit commercial mixed-use buildings at Transit Nodes and along Complete Streets with ground floor commercial.

*The proposal features one ground floor commercial unit fronting Lougheed Highway.*

**4-14** Compact neighbourhoods are desired and encouraged through high density development, wherein a variety of land uses are located such that residents and workers are within walking distance of many destinations.

*The proposal features a compact form of development that will place the buildings residents within walking distance of different services and destinations.*

**4-15** Commercial uses in mixed-use buildings should serve the basic, everyday needs of residents, such as grocery, convenience and personal services, as well as destinations for residents within a five minute walking distance or 400m radius, such as retail and restaurants.

*The ground floor commercial unit could feature a restaurant or other retail destinations that can be utilized by future residents of the building and by other residents in the surrounding neighbourhood.*

**4-18** Ground-floor commercial is required at Transit Nodes and along Complete Streets for the Commercial Mixed-Use land use designation.

*The building features one unit of ground floor commercial.*

### iii) Housing Action Plan

The Housing Action Plan (HAP), which was endorsed by Council in September 2014, identifies rental housing as a priority. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September 2015.

**iv) Housing Agreement**

In exchange for the elimination of Community Amenity Contributions for this project, the applicant is willing to enter into a registered Housing Agreement at final reading. The full details of this agreement will be provided to Council after third reading as a separate Housing Agreement report and bylaw.

The Housing Agreement will contain the following provisions:

- i. Set the total rental unit number at 124;
- ii. All units shall be market rental units in perpetuity;
- iii. The fixed term of rental shall be only month to month or under a residential tenancy agreement of a fixed term NOT exceeding 3 years; and
- iv. The lands shall not be subdivided, except by means of a strata plan that included all of the residential units with a single strata lot.

The Housing Agreement shall be registered on Title of the land and act as a 219 covenant and Housing Agreement that bind all future owners.

As a market rental project, this development is exempt from the payment of Community Amenity Contributions.

**v) Zoning Bylaw**

The current project is proposing a density of 1.55 FSR, which is within the permitted FSR in the newly proposed C-7 (Lougheed Transit Corridor Mixed-Use) Zone. The applicant is using the density bonus provisions of the new C-7 Zone, which permits an additional FSR of 0.25 for each additional storey above the third (3) storey. All of the setbacks in the underlying zone are also being met as part of this proposal.

**vi) Off-Street Parking and Loading Bylaw**

The proposed C-7 (Lougheed Transit Corridor Mixed-Use) zone has a parking requirement of 1.0 stalls per unit and 0.2 stalls per unit for visitor parking (see Appendix H). The ground floor commercial component of the development has a parking requirement of 1.0 stalls per 30 m<sup>2</sup> of space. A total of 173 parking spaces are required by the *Off-Street Parking and Loading Bylaw No. 4350-1990* and the application is proposing a total of 174 spaces in this development. The application is seeking to vary the *Off-Street Parking and Loading Bylaw No. 4350-1990* to permit 23 small car parking spaces, which would equal 13.2% of all spaces, over the 10% permitted in the Bylaw.

**vii) Proposed Variances**

A Development Variance Permit application will be required to provide for the following relaxations:

The following provisions in *Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 - 1990*, are requested to be varied:

- to increase the maximum number of small car spaces from 10% to 13% for a total of 23 spaces.

These requested variances will be the subject of a future report to Council.

viii) **Development Permits**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is required to address the current proposal's compatibility with adjacent development, and to enhance the unique character of the community.

ix) **Advisory Design Panel**

The application was reviewed by the ADP at a meeting held on March 23, 2022, and again on May 18, 2022, and their comments and the applicant's responses can be seen in Appendix I.

A detailed description of the projects form and character will be included in a future development permit report to Council.

x) **Development Information Meeting (Public Comment Opportunity):**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between April 4 and April 14, 2022. The process involved 120 letters mailed out to adjacent property owners and also included newspaper advertisements on the March 25 and April 1, 2022 editions of the *Maple Ridge Pitt-Meadows News*. The developer receives correspondence from 18 residents. A summary of the Public Comment Opportunity is attached to this report (see Appendix J).

**5. Traffic Impact:**

As the subject property is located within 800 metres of the Lougheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure.

Ministry approval of *Zone Amending Bylaw No. 7719-2021* will be required as a condition of final reading. At this time, the Ministry has yet to grant preliminary approval of this application. Once preliminary approval is granted and the Ministry provides their road dedication requirements, the applicant will be updating their site plan to reflect the required dedication.

**6. Interdepartmental Implications:**

i) **Engineering Department:**

The Engineering Department requires the following items be addressed:

- a) Road dedication as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Bylaw No. 4800-1993*.
- c) Frontage upgrades to the applicable road standard.

ii) **Fire Department:**

The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

**7. School District No. 42 Comments:**

A referral was sent to School District No. 42 and their response on how this development would affect student population for the catchment area is attached to this report (see Appendix K).

**CONCLUSION:**

It is recommended that first, second and third reading be given to *Off-Street Parking and Loading Amending Bylaw No. 7860-2022*, that second reading be given to *Zone Amending Bylaw No. 7719-2021* and *Zone Amending Bylaw No. 7721-2021* as amended, and that application 2021-061-RZ be forwarded to Public Hearing.

“Original signed by Mark McMullen” for

---

Prepared by: **Rene Tardif, BA, M.PL**  
**Planner 1**

“Original signed by Charles Goddard”

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

“Original signed by Scott Hartman”

---

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7719-2021
- Appendix D – Zone Amending Bylaw No. 7721-2021
- Appendix E – Site Plan
- Appendix F – Building Elevation Plans
- Appendix G – Landscape Plan
- Appendix H – Off-Street Parking and Loading Amending Bylaw No. 7860-2022
- Appendix I – ADP Design Comments
- Appendix J – Public Comment Opportunity Summary Comments
- Appendix K – School District No. 42 Comments



**SUBJECT PROPERTY**

2020-301-RZ

2018-349-RZ : 2018-444-RZ



Scale: 1:3,000

**Legend**

 Active Applications (RZ/SD/DP/VP)

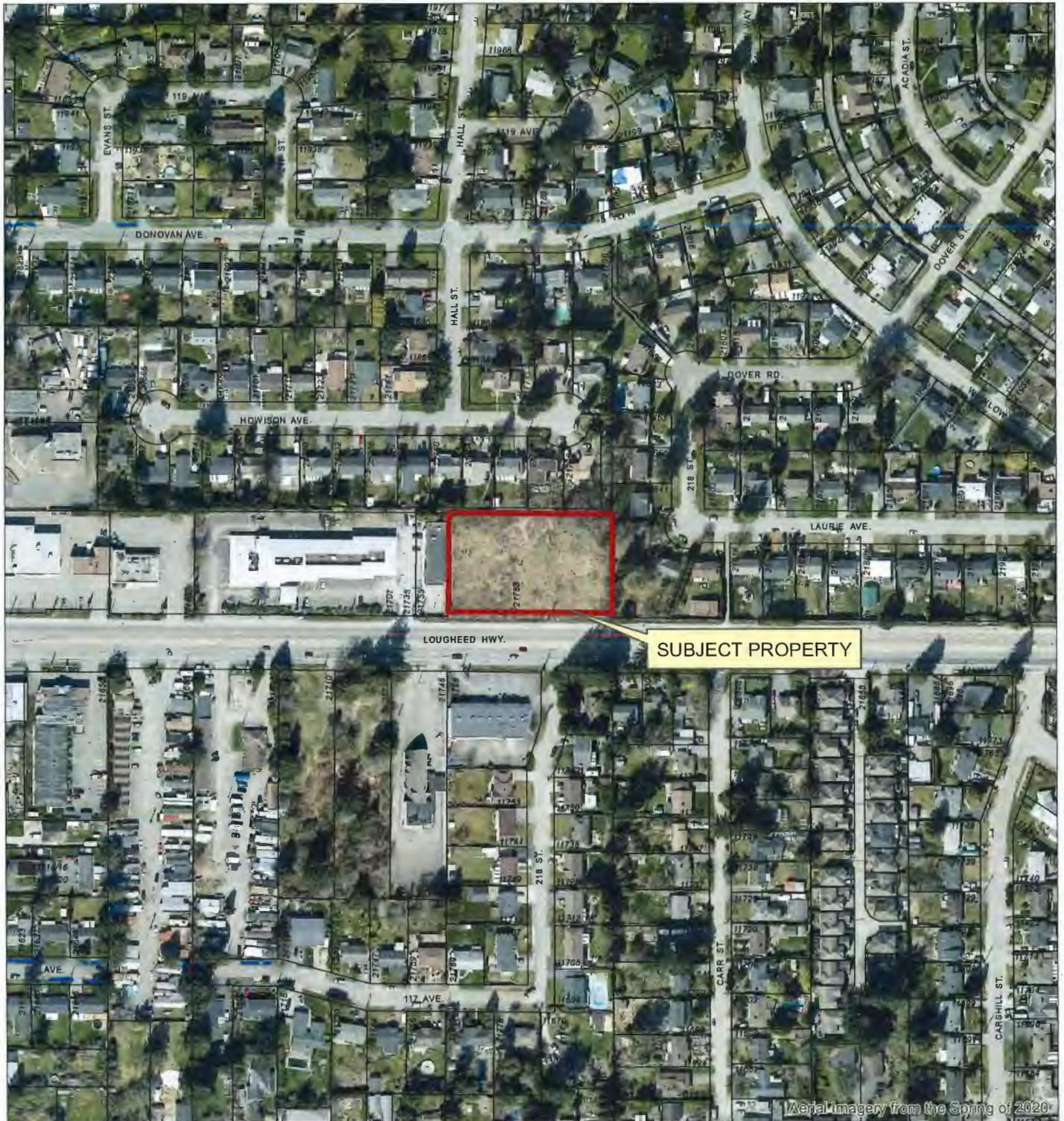
21783 LOUGHEED HIGHWAY  
030-610-371



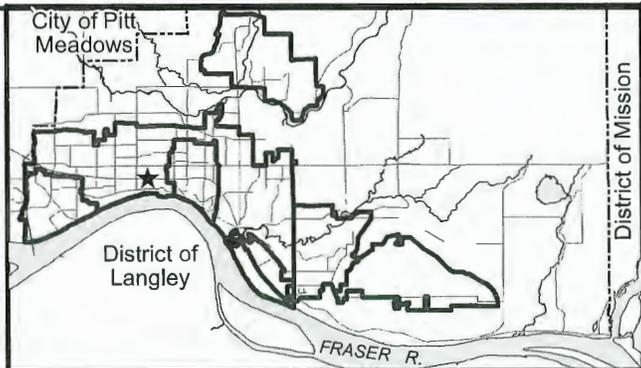
**mapleridge.ca**

FILE: 2021-061-DP  
DATE: Jun 7, 2021

BY: BD



Aerial imagery from the Spring of 2020



21783 LOUGHEED HIGHWAY  
030-610-371

PLANNING DEPARTMENT

**mapleridge.ca**

FILE: 2021-061-DP  
DATE: Jun 7, 2021

BY: BD





**CITY OF MAPLE RIDGE  
BYLAW NO. 7721-2021**

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as “Maple Ridge Zone Amending Bylaw No. 7721-2021”.
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended by inserting the following zone after C-6 Community Gaming Facility and re-ordering all subsequent numbering in sequential order:

**707 ZONE: C-7 LOUGHEED TRANSIT CORRIDOR MIXED-USE**

**707.1 PURPOSE**

1. This Zone provides for a range of Commercial, service and Residential Uses in the Lougheed Transit Corridor Area.

**701.2 PRINCIPAL USES**

2. The following Principal Uses shall be permitted in this Zone:
  - a. Assembly;
  - b. Business Services;
  - c. Cannabis Retail;
  - d. Convenience Store;
  - e. Financial Services;
  - f. Indoor Commercial Recreation;
  - g. Licensee Retail Store;
  - h. Liquor Primary Establishment;
  - i. Personal Repair Services;
  - j. Personal Services;
  - k. Place of Worship;
  - l. Private Hospital;
  - m. Professional Services;
  - n. Restaurant;
  - o. Retail, excluding Highway Commercial; and
  - p. Tourist Accommodation.

### 707.3 ACCESSORY USES

3. The following *shall* be permitted as *Accessory Uses* to one of the permitted *Principal Uses* in this *Zone*:
  - a. *Apartment Residential*;
  - b. *Home Occupation*.
  - c. one or two *Dwelling Units*; and
  - d. *Outdoor Display* or sales area.
4. Refer to Section 402 of this Bylaw for additional information.

### 707.4 LOT AREA and DIMENSIONS

5. Minimum *Lot Area* and dimensions *shall* be not less than:
  - a. in *Lot Area* 1,672.00 square metres
  - b. in *Lot Width* 36.0 metres
  - c. in *Lot Depth* 27.0 metres.
6. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum *Building Envelope* dimensions.

### 707.5 DENSITY

7. The *Residential Floor Space Ratio shall* not exceed a base *Density* of 1.0 times the *Lot Area* (Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw);
8. Additional *Density* may be added to the *Residential Floor Space Ratio*, up to a maximum of 4.0 times the *Lot Area*, with the following provisions:
  - a. an amount equal to 0.25 times the *Lot Area* may be added for providing a minimum of 90% of the required *Residential* parking spaces in an *Underground Structure* or *Concealed Parking*;
  - b. an additional amount equal to 0.25 times the *Lot Area* may be added for providing all parking spaces, excluding visitor parking spaces, in an *Underground Structure* or *Concealed Parking*;
  - c. an amount equal to 0.25 times the *Lot Area* may be added for each *Storey* above the third (3) *Storey*, but in no case *shall* this amount exceed 2.0 times the *Lot Area*;
  - d. for *Lots Designated* as "Major Corridor Residential" in the *Maple Ridge Official Community Plan Bylaw No. 7060-2014* (as identified in Chapter 3 and Figure 4 of the *Maple Ridge Official Community Plan Bylaw No. 7060-2014*), an amount not to exceed 0.5 times the *Lot Area* may be added to the *Residential Floor Space Ratio* for providing a cash contribution at a rate of \$161.46 per square metres (\$15.00 per square foot) as a *Density Bonus*. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
9. The *Residential Floor Space Ratio shall* not exceed a total *Density* of 4.0 times the *Lot Area* (Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw)
10. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for *Gross Floor Area* requirements.

## 707.6 LOT COVERAGE

11. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed a Lot Coverage of 90% except:
  - a. the Lot Coverage may be 100% where all the required parking is provided in accordance with Part 3 (Off-Street Parking Requirements) of the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.

## 707.7 SETBACKS

12. Minimum Setbacks for all Buildings and Structures shall be not less than:
  - a. from a Front Lot Line 3.0 metres
  - b. from a Rear Lot Line 6.0 metres, except this may be reduced to 0.0 metres provided that:
    - (i) a Structure occupying the rear 6.0 metres shall be only used for Accessory Off-Street Parking;
    - (ii) the Off-Street Parking Structure shall be the only Structure on that portion of the Lot; and
    - (iii) a Residential Use shall be provided above the Off-Street Parking Structure;
  - c. from an Interior Side Lot Line 6.0 metres
  - d. from an Exterior Side Lot Line 6.0 metres.
13. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

## 707.8 HEIGHT

14. Building Height for Principal Buildings and Principal Structures shall be not less than 15.0 metres.
15. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.
16. Refer to Section 403 (Building Height) of this Bylaw.

## 707.9 LANDSCAPING and SCREENING

17. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw of this Bylaw.

## 707.10 PARKING and LOADING

18. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
19. An Off-Street Parking Use shall be sited to the rear of a Building, concealed within a Building or located in an Underground Structure for parking.

## 707.11 OTHER REQUIREMENTS

20. A Residential Use shall:
  - a. provide a separate and independent access from the ground floor front elevation if located together in a Building or Structure with other Uses, except that on a corner Lot access may be from the ground floor exterior side elevation.

- b. be permitted only where all parking for such Use is Concealed Parking;
  - c. provide Common Open Area(s) on the Lot for Apartment Residential Use at a minimum of 5.0% of the Lot Area and which may be provided as balconies, terraces, patios, Rear Yards, courtyards or roof decks;
  - d. provide Indoor Amenity Area(s) based on the following ratio:
    - (i) 1.0 square metres per apartment Dwelling Unit; and
  - e. provide Private Outdoor Area(s) for each Dwelling Unit at a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater.
21. An Off-Street Parking Structure occupying the rear 6.0 metres of the Lot shall be entirely covered by a Landscape recreation or amenity deck.
22. Every Use, except Outdoor Display or sales area and Commercial Off-Street Parking and Off-Street Loading Uses shall be located and undertaken wholly within an enclosed Building.

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended is hereby amended accordingly.

READ a first time the 30<sup>th</sup> day of March, 2021.

READ a second time as amended, the            day of            , 20

READ a third time the            day of            , 20

ADOPTED, the            day of            , 20

---

PRESIDING MEMBER

---

CORPORATE OFFICER

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.  
 COPYRIGHT RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE STUDIO. TO BE USED SOLELY FOR THE PROJECT SHOWN. UNAUTHORIZED REPRODUCTION OR USE, IN ANY MANNER IS NOT PERMISSIBLE.



**THUJA**  
 architecturo + design

Tania Frame Architect AIBC LEED AP  
 PO Box 1236 Cumberland BC V0R 1S0  
 T: 250.650.7901 E:Info@thujaarchitecture.ca

ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 19 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 03 2022
REISSUED FOR REZONE/DP	MAR 01 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

**PROJECT DATA**

LEGAL ADDRESS:  
 DL 247; HWY; PL EPP73031  
 CIVIC ADDRESS:  
 2173 LOUGHEED HWY, MAPLE RIDGE, BC  
 ZONING:  
 D-7 PROPOSED  
 LOT SIZE  
 8 800 SQ.M. (54788 SQ.FT.)  
 BUILDING AREA:  
 PROPOSED FOOTPRINT 1732 SQ.M. (18,654 SQ.FT.)  
 FLOOR AREA:  
 PARKADE 4972 SQ.M.  
 COMMERCIAL (MAIN) 872 SQ.M.  
 MAIN 548 SQ.M.  
 SECOND 1371 SQ.M.  
 THIRD 1371 SQ.M.  
 FOURTH 1371 SQ.M.  
 FIFTH 1287 SQ.M.  
 SIXTH 782 SQ.M.  
 TOTAL (NET) 7880 SQ.M., EXCLUDING PARKADE  
 COMMON (MAIN) 287 SQ.M.  
 COMMON (SECOND) 276 SQ.M.  
 COMMON (THIRD) 276 SQ.M.  
 COMMON (FOURTH) 276 SQ.M.  
 COMMON (FIFTH) 263 SQ.M.  
 COMMON (SIXTH) 263 SQ.M.  
 TOTAL (NET) 1624 SQ.M., EXCLUDING PARKADE  
 TOTAL (GROSS) 9,514 SQ.M., EXCLUDING PARKADE

FLOOR AREA RATIO:  
 ALLOWED: 1.75  
 PROPOSED: 1.55 (7880/5099)  
 DENSITY:  
 PROPOSED: 121 UNITS  
 COMMERCIAL SPACE

LOT COVERAGE:  
 34% PROPOSED (OPEN DECKS INCLUDED)  
 COMMON OPEN AREA:  
 REQUIRED: 5% OF LOT = 255 SQ.M.  
 PROVIDED: 348 SQ.M. AT REAR YARD

COMMON AMENITY:  
 REQUIRED: 1 SQ.M. PER UNIT \* 121 SQ.M.  
 PROVIDED: 2 AMENITY ROOMS \* 143 SQ.M.

PRIVATE OUTDOOR AREA:  
 REQUIRED: 4.8 SQ.M. PER UNIT  
 PROVIDED: 6.2 SQ.M. AT DECKS

BUILDING HEIGHT:  
 NO RESTRICTION

UNIT COUNT:	MAIN	2-4 FL.	5-8 FL.	TOTAL
STUDIO	1	1 (2)	1 (2)	6
ONE BEDROOM	7	17 (3)	19 (3)	88
TWO BEDROOM	2	5 (3)	5 (2)	27
TOTAL	10	89	42	121

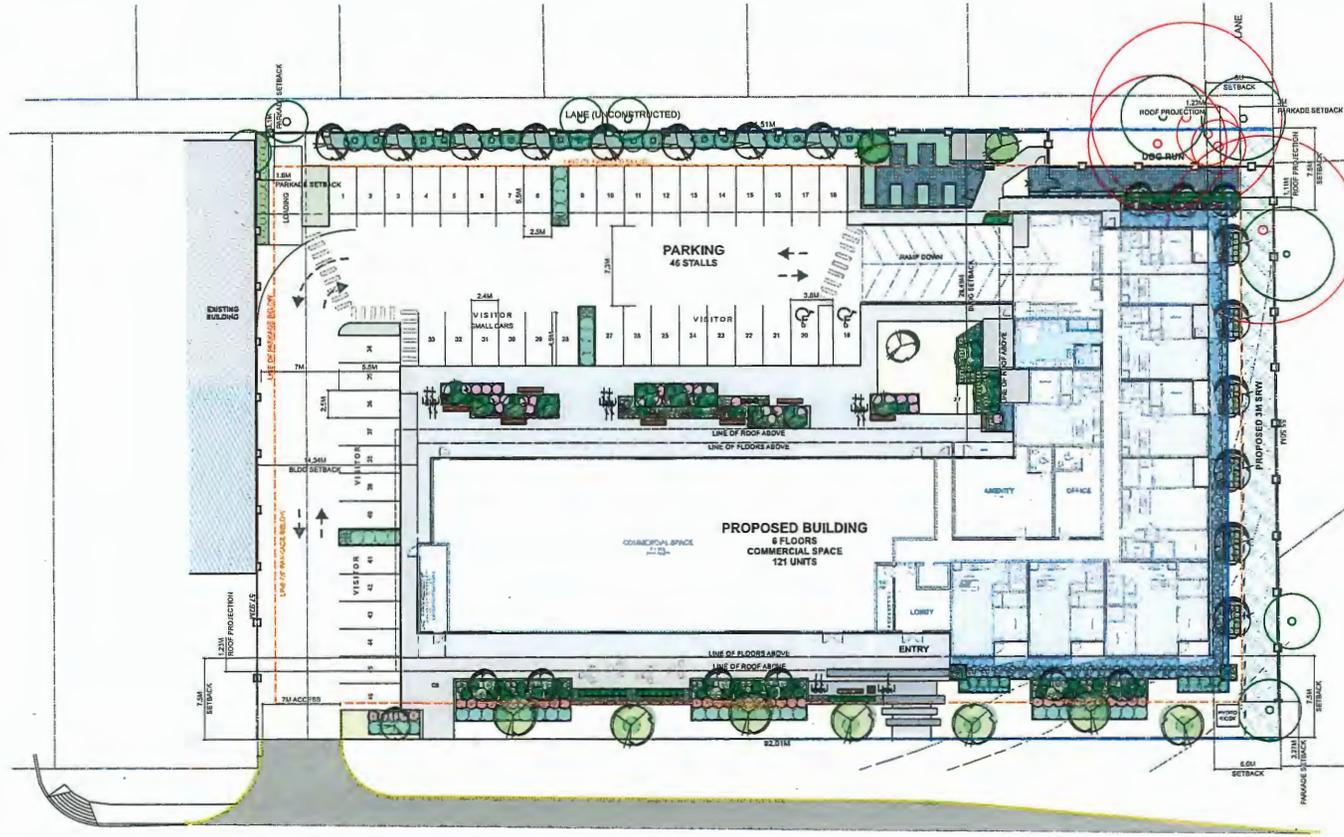
SETRACKS  
 FRONT 7.5M ALLOWABLE / PROPOSED 7.5M  
 REAR 7.5M ALLOWABLE / PROPOSED 7.5M (N.E. LEG) 28.5 (MAIN)  
 SIDE (E) 9.4M ALLOWABLE / PROPOSED 9.4  
 SIDE (W) 4.5M ALLOWABLE / PROPOSED 14.3M

PARKING:  
 REQUIRED: RESIDENTIAL 1.25 PER UNIT 151  
 REQUIRED: COMMERCIAL 1 per 20 SQ.M. of FA 33  
 0.2 PER VISITOR ALLOCATED 22  
 TOTAL 174

PROVIDED: STANDARD: 147  
 HANDICAP STALLS (D REQ): 4  
 SMALL CAR (D/N 1:7.5): 23 (VARIANCE OF 6)  
 TOTAL 174

BICYCLE PARKING  
 REQUIRED: 1 PER 4 UNITS LONG TERM 31  
 6 PER 20 UNITS SHORT TERM 37

PROVIDED >31 LONG TERM IN BIKE STORAGE ROOM  
 SHORT TERM TO BE PROVIDED WITHIN LANDSCAPE



LOUGHEED HWY.



REFER TO LANDSCAPE PLAN BY LAZZARINI SVISDAHL  
 LANDSCAPE ARCHITECTS FOR MORE DETAILS ON LANDSCAPING

LOUGHEED HWY MULTIFAMILY

DATE: 11/20/2022

SHEET	
NO.	DATE
1	11/20/2022

PF

APPENDIX E

CONTRACTOR TO VERIFY ALL LINES, LEVELS, DIMENSIONS, AND LOCATION OF ALL SERVICES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND ALL LOCAL BUILDING DEPARTMENTS. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE + DESIGN AND SHALL BE USED ONLY FOR THE PROJECT SHOWN. ANY REUSE OR REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THUJA ARCHITECTURE + DESIGN IS STRICTLY PROHIBITED.



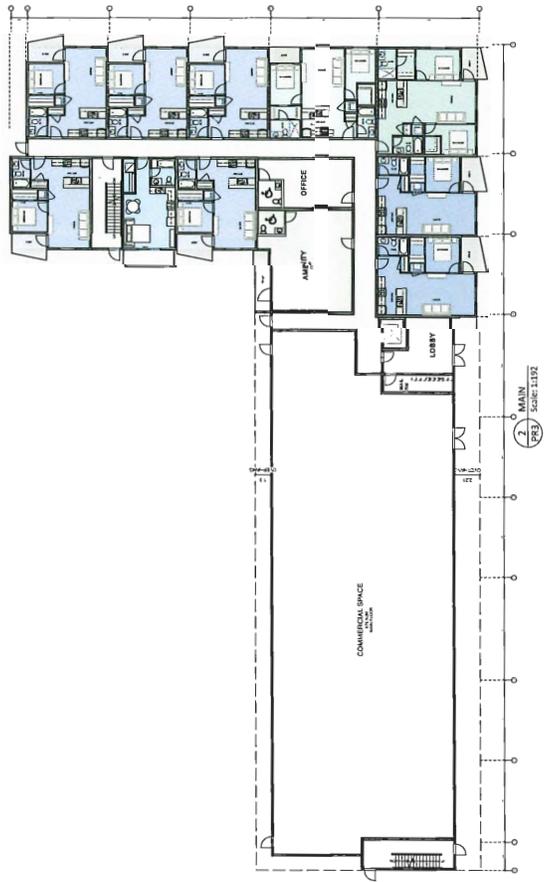
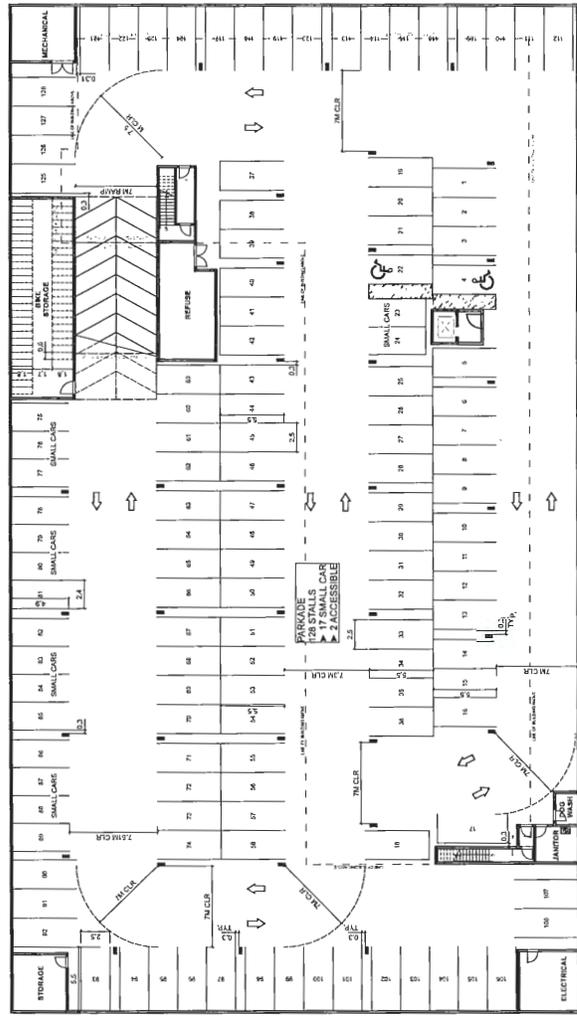
**THUJA**  
 architecture + design  
 10000 Wilshire Blvd, Suite 1000  
 Los Angeles, CA 90024  
 T: 310.460.7901 E: info@thujaarch.com

ISSUED FOR REVIEW: DEC 15, 2020  
 ISSUED FOR REVIEW: JAN 15, 2021  
 ISSUED FOR REVIEW: MAY 18, 2021  
 ISSUED FOR REVIEW: JUN 15, 2021  
 REISSUED FOR REZONE/DP: FEB 01, 2022  
 REISSUED FOR REZONE/DP: MAR 01, 2022  
 REISSUED FOR REZONE/DP: APR 27, 2022  
 REISSUED FOR REZONE/DP: JUNE 03, 2022

APPENDIX F

PROJECT: LOUGHEED HWY MU  
 DRAWING: PARKADE & MAIN PLAN  
 SHEET: AS NOTED  
 DATE: MAR 01, 2022  
 SCALE: 1/8" = 1'-0"

P



1. PARKADE (RS) SHEET 1132

2. MAIN (RS) SHEET 1132

CONTRACTOR TO VERIFY ALL LINES, LEVELS, HEIGHTS, AND LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE I.C. BUILDING CODE, IBC, AND ALL LOCAL BUILDING DEPARTMENTS. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE + DESIGN. NO PART OF THESE PLANS SHALL BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THUJA ARCHITECTURE + DESIGN.



- MATERIAL LEGEND**
- 1 FIBRE CEMENT LAP - HICKORY WOOD
  - 2 FIBRE CEMENT LAP - SMOKE SUGI BAM
  - 3 METAL BRASS PANELS IN BLACK
  - 4 SOFFIT - ALUMINUM - CEDAR SOLUTIONS - TAMBURINE
  - 5 FACIA - FIBRE CEMENT BLACK
  - 6 DICKS SOFFIT - AFRICAN PERFORATED ALUMINUM BLACK
  - 7 STEEL COLUMNS
  - 8 ROOFING - SBS 3 PLY MEMBRANE - BLACK
  - 9 VINYL WINDOWS - BLACK
  - 10 VINYL DOORS - BLACK
  - 11 STONEFRONT GAZING

- LIGHTING LEGEND**
- 1 RECESSED POT LIGHTS - SOFFIT MOUNTED OVER DICKS
  - 2 WALL MOUNTED RECESSED - AT MAIN FLOOR LEVEL (SEE ELEVATIONS)
  - 3 DOWN (RIGHT SIDE)



**THUJA**  
architecture + design

Tara Tanya | Architecture | 1000 15th St  
Calgary, Alberta | T2M 0P2  
403.243.7901 | E: tara@thujaarchitecture.ca

ISSUED FOR REVIEW | DEC 18 2020  
ISSUED FOR PERMITS | MAY 18 2021  
ISSUED FOR REZONE | MAY 18 2021  
AREA UPDATE | NOV 23 2021  
REVISIONS FOR REZONE/DP | MAR 01 2022  
REVISIONS FOR REZONE/DP | MAR 01 2022  
REVISIONS FOR REZONE/DP | APR 17 2022  
REVISIONS FOR REZONE/DP | APR 17 2022  
REVISIONS FOR REZONE/DP | JUNE 03 2022

PROJECT | LOUGHEED HWY MULTIFAMILY

DATE | AS NOTED  
PROJECT NO | 20-  
DATE | MAR 01 2022  
DRAWN BY | TS/JG/SJW

**PR5**

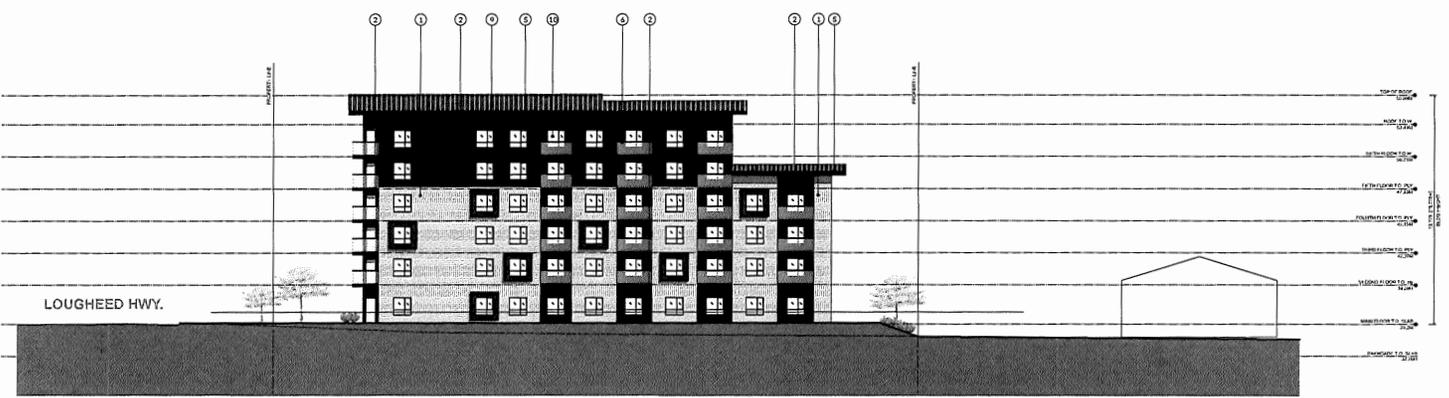
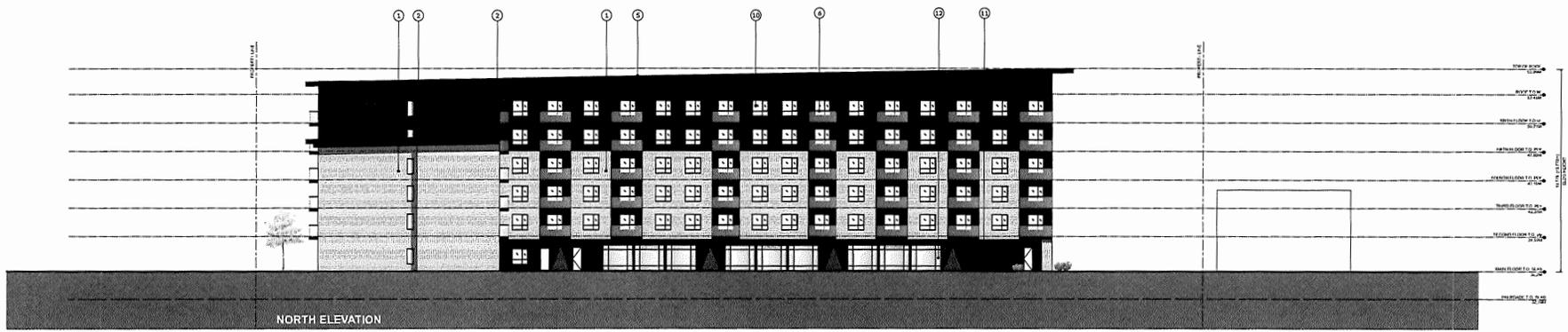
**LIGHTING LEGEND**

- Ⓐ RECESSED POT LIGHTS - SOFFIT MOUNTED OVER DECKS  
- SOFFIT MOUNTED AT ROOF OVER AT MAIN ENTRY/COMMERCIAL
- Ⓑ WALL MOUNTED FIXTURE - AT MAIN FLOOR LEVEL (SEE ELEVATIONS)  
(DOWN LIGHT ONLY)

**MATERIAL LEGEND**

- ① FIBRE CEMENT LAP - WEATHERED WOOD
- ② FIBRE CEMENT LAP - SHOU SUGI BAN
- ③ METAL SIDING PANELS IN BLACK
- ④ SOFFIT - ALUMINUM - CEDAR SOLUTIONS - TIMBERLINE
- ⑤ FASCIA - FIBRE CEMENT BLACK
- ⑥ RAILINGS - BLACK ALUMINUM
- ⑦ DECK SOFFIT - KAYCAN PERFORATED ALUMINUM BLACK
- ⑧ STEEL COLUMNS
- ⑨ ROOFING - SBS 2 PLY MEMBRACE - BLACK
- ⑩ VINYL WINDOWS - BLACK
- ⑪ FACE BRICK W/ TRAFIC HANDMOLD\*
- ⑫ STOREFRONT GLAZING

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.  
COPYRIGHT RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE STUDIO. TO BE USED SOLELY FOR THE PROJECT SHOWN. UNAUTHORIZED REPRODUCTION OR USE IN ANY MANNER IS NOT PERMISSIBLE.



**THUJA**  
architecture + design

Tank Frame Architect ABC LEED AP  
PO Box 1336 Cumberland BC V0R 1S0  
T: 250.660.7901 E: info@thujaarchitecture.ca

NO	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 01 2022
RESUB FOR REVIEW	APRIL 14 2022
RESUB FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
**LOUGHEED HWY MULTIFAMILY**

DRAWING  
**ELEVATIONS EAST & WEST**

SCALE	AS NOTED	PROJECT NO.	20-
DATE	MAR 01, 2022	DRAWN BY	TS / JS / SW

SHEET  
**PR6**





METAL SIDING PANELS



FACE BRICK  
"PACIFIC HANDMOLD"



ROOF SOFFIT  
CEDAR RENDITIONS  
"TIMBERLINE"



FIBRE CEMENT STAINED  
WOOD LOOK PANEL  
HARDIE "WEATHERED WOOD"



FIBRE CEMENT STAINED  
WOOD LOOK PANEL  
HARDIE "SHOU SUGI BAN"



HANDRAILS + FASCIAS  
BLACK ALUMINIUM

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

COPYRIGHT RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE STUDIO. TO BE USED SOLELY FOR THE PROJECT SHOWN. UNAUTHORIZED REPRODUCTION OR USE IN ANY MANNER IS NOT PERMISSIBLE.



**THUJA**  
architecture + design

Torik Frame Architect AIBC LEED AP  
PO Box 1336 Cumberland BC V0R 1S0  
T: 250.650.7901 E: info@thujaarchitecture.ca

NO	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 01 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

DRAWING  
MATERIAL BOARD

SCALE	AS NOTED	PROJECT NO.	20-
DATE	MAR 01, 2022	DRAWN BY	TS /JS /SW
SHEET			

**PR9**



CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

COPYRIGHT RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE. TO BE USED SOLELY FOR THE PROJECT SHOWN. UNAUTHORIZED REPRODUCTION OR USE IN ANY MANNER IS NOT PERMISSIBLE.



**THUJA**  
architecture + design

Tania Frame Architect AIBC LEED AP  
PO Box 1326 Cumberland BC V0R 1S0  
T: 250.660.7901 E: info@thujaarchitecture.ca

NO	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 02 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
**LOUGHEED HWY MULTIFAMILY**

DRAWING  
**RENDERINGS**

SCALE	AS NOTED	PROJECT NO.	20
DATE	MAR 01, 2022	DRAWING	TS / JS / SW

**PR10**

CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS, LOCATION OF BUILDING ON SITE AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE B.C. BUILDING CODE, CURRENT EDITION AND ALL LOCAL BUILDING BYLAWS.

COPYRIGHT RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE STUDIO. TO BE USED SOLELY FOR THE PROJECT SHOWN. UNAUTHORIZED REPRODUCTION OR USE IN ANY MANNER IS NOT PERMISSIBLE.



MARCH 21 - 9:00



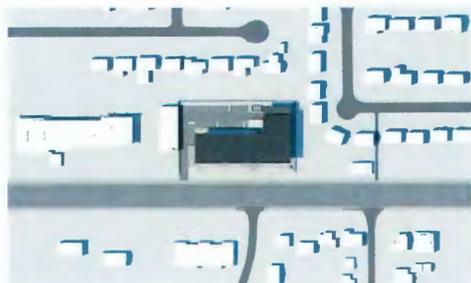
MARCH 21 - 12:00



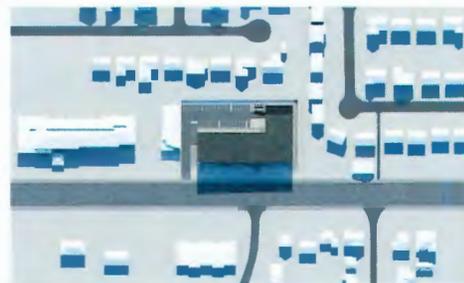
MARCH 21 - 17:00



JUNE 21 - 9:00



JUNE 21 - 12:00



JUNE 21 - 17:00



DECEMBER 21 - 9:00



DECEMBER 21 - 12:00



DECEMBER 21 - 17:00

**THUJA**  
architecture + design

Tania Frame Architect AIBC LEED AP  
PO Box 1326 Camberland BC V0R 1S0  
T: 250.650.7901 E: info@thujarchitecture.com

NO	DATE
ISSUED FOR REVIEW	DEC 18 2020
ISSUED FOR REZONE	MAY 10 2021
ISSUED FOR REZONE	MAY 18 2021
AREA UPDATE	NOV 22 2021
REISSUED FOR REZONE/DP	FEB 01 2022
REISSUED FOR REZONE/DP	MAR 01 2022
REISSUED FOR REVIEW	APRIL 14 2022
REISSUED FOR ADP	APRIL 27 2022
REISSUED FOR REZONE/DP	JUNE 03 2022

PROJECT  
LOUGHEED HWY MULTIFAMILY

DRAWING  
SHADOW STUDY

REVISION	DATE	BY	APP
AS NOTED			
	MAR 01, 2022	TS	J/S /S/W

SHEET  
**PR11**

CONTRACTOR TO VERIFY ALL LINES, LEVELS, DIMENSIONS, LOCATIONS AND ELEVATIONS TO CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION AND ALL LOCAL BUILDING CODES. RESERVED. THESE PLANS ARE THE PROPERTY OF THUJA ARCHITECTURE STUDIO. NO UNAUTHORIZED REPRODUCTION OR USE IN ANY MANNER IS NOT PERMITTED.



LOUGHEED HIGHWAY STREETSCAPE

**THUJA**  
architecture + design  
Tom Frame Architects/ABC LEED AP  
17300 Old Katy Road, Suite 100  
Houston, TX 77058  
713.265.0370 | [thujadesign.com](http://thujadesign.com)

DATE  
ISSUED FOR REVIEW DEC 18 2020  
ISSUED FOR REVIEW JAN 14 2021  
ISSUED FOR REVIEW MAY 18 2021  
AREA UPDATE NOV 23 2021  
REVISIONS FOR REZONE/DP MAR 03 2022  
REVISIONS FOR REZONE/DP APRIL 27 2022  
REVISIONS FOR REZONE/DP JUNE 03 2022



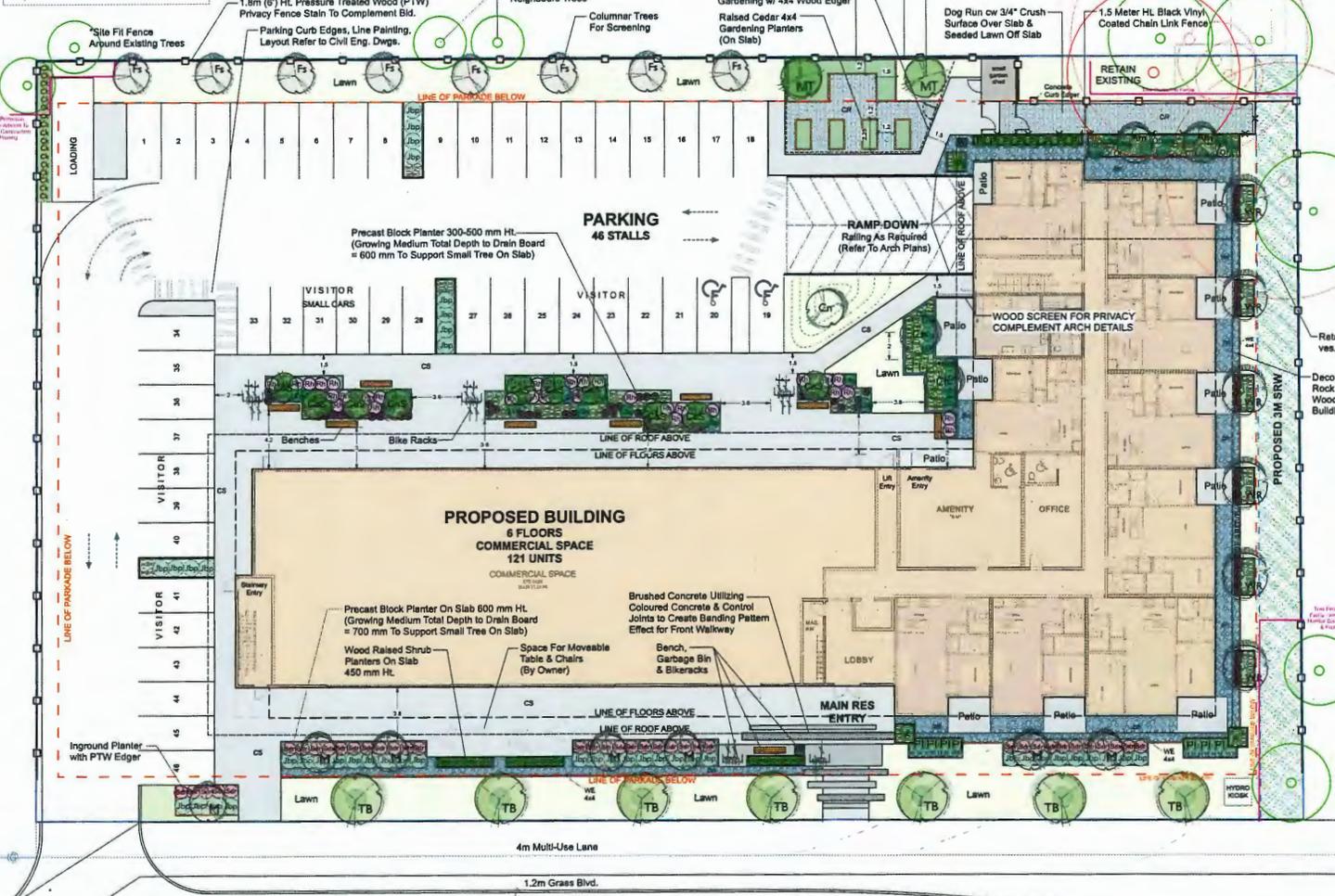
LOUGHEED HIGHWAY ELEVATION

PROJECT  
LOUGHEED HWY MULTIFAMILY

PHASES  
LOUGHEED STREETSCAPES

DATE AS NOTED PROJECT NO. 20-  
DATE DRAWN BY TS/JA/JW

**PR12**



### LEGEND

- PROPERTY LINES
- UNDERGROUND PARKADE
- BRUSH FRESH CONCRETE WALKWAYS
- 3/4" WASHED CRUSH ROCK MIN TO MAX DEPTH
- DECORATIVE COBBLE DRAIN ROCK 100 MM DEPTH 1" - 2" DIA WASHED COBBLE ROCK ON FILTER FABRIC ON P7 4# WOOD EDGER
- 1" #4 WOOD EDGER TO SEPARATE PLANTING FROM LAWN
- GRASS - SEED IN BLDG AND 800 ON SITE ON 15MM MIN DEPTH APPROVED GROWING MEDIUM
- PLANTING BEDS ON SLAB OF 8MM MULCH OR WASHED ROCK ON APPROVED FILTER FABRIC ON APPROVED CHOKING MEDIUM 400 MM MIN DEPTH FOR SPRINGS 700 MM MIN FOR TREES
- RETAIN CRIBBING GRASS BRUSH IN ROW
- MULCHED BASED PLANTERS ON SLAB - VARIOUS CONSTRUCTION TYPES
- PTW STYLED CONSTRUCTION
- CONCRETE PRECAST BLOCK CONSTRUCTION
- MULCH RING
- BENCH SECURED TO CONCRETE WALKWAY
- EXPO BENCHES BIVE BACK BY CORA BLACK COLOUR (ON APPROVED BSL) SECURED TO CONCRETE WALKWAY
- 1.8 METER HT. PRESSURE TREATED WOOD PRIVACY FENCE, FINISH TO MATCH BUILDING
- 1.5 METER HT. BLACK VINYL COATED CHAIN LINK FENCE
- EXISTING TREES TO BE REMOVED REFER TO ARBORIST REPORT
- EXISTING TREES TO BE RETAINED REFER TO ARBORIST REPORT



### PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	COUNT	SIZE
01	Tree			
02	Tree canopy	Amer Maple, Mt. Ash, Black Alder, Elm	6	800 CM
03	Tree canopy	Honey Locust	1	800 CM
04	Columnar tree	Redwood	10	100 CM
05	Columnar tree	Black Locust	10	100 CM
06	Columnar tree	Black Locust	10	100 CM
07	Columnar tree	Black Locust	10	100 CM
08	Columnar tree	Black Locust	10	100 CM
09	Columnar tree	Black Locust	10	100 CM
10	Columnar tree	Black Locust	10	100 CM
11	Columnar tree	Black Locust	10	100 CM
12	Columnar tree	Black Locust	10	100 CM
13	Columnar tree	Black Locust	10	100 CM
14	Columnar tree	Black Locust	10	100 CM
15	Columnar tree	Black Locust	10	100 CM
16	Columnar tree	Black Locust	10	100 CM
17	Columnar tree	Black Locust	10	100 CM
18	Columnar tree	Black Locust	10	100 CM
19	Columnar tree	Black Locust	10	100 CM
20	Columnar tree	Black Locust	10	100 CM
21	Columnar tree	Black Locust	10	100 CM
22	Columnar tree	Black Locust	10	100 CM
23	Columnar tree	Black Locust	10	100 CM
24	Columnar tree	Black Locust	10	100 CM
25	Columnar tree	Black Locust	10	100 CM
26	Columnar tree	Black Locust	10	100 CM
27	Columnar tree	Black Locust	10	100 CM
28	Columnar tree	Black Locust	10	100 CM
29	Columnar tree	Black Locust	10	100 CM
30	Columnar tree	Black Locust	10	100 CM
31	Columnar tree	Black Locust	10	100 CM
32	Columnar tree	Black Locust	10	100 CM
33	Columnar tree	Black Locust	10	100 CM
34	Columnar tree	Black Locust	10	100 CM
35	Columnar tree	Black Locust	10	100 CM
36	Columnar tree	Black Locust	10	100 CM
37	Columnar tree	Black Locust	10	100 CM
38	Columnar tree	Black Locust	10	100 CM
39	Columnar tree	Black Locust	10	100 CM
40	Columnar tree	Black Locust	10	100 CM
41	Columnar tree	Black Locust	10	100 CM
42	Columnar tree	Black Locust	10	100 CM
43	Columnar tree	Black Locust	10	100 CM
44	Columnar tree	Black Locust	10	100 CM
45	Columnar tree	Black Locust	10	100 CM
46	Columnar tree	Black Locust	10	100 CM
47	Columnar tree	Black Locust	10	100 CM
48	Columnar tree	Black Locust	10	100 CM
49	Columnar tree	Black Locust	10	100 CM
50	Columnar tree	Black Locust	10	100 CM
51	Columnar tree	Black Locust	10	100 CM
52	Columnar tree	Black Locust	10	100 CM
53	Columnar tree	Black Locust	10	100 CM
54	Columnar tree	Black Locust	10	100 CM
55	Columnar tree	Black Locust	10	100 CM
56	Columnar tree	Black Locust	10	100 CM
57	Columnar tree	Black Locust	10	100 CM
58	Columnar tree	Black Locust	10	100 CM
59	Columnar tree	Black Locust	10	100 CM
60	Columnar tree	Black Locust	10	100 CM
61	Columnar tree	Black Locust	10	100 CM
62	Columnar tree	Black Locust	10	100 CM
63	Columnar tree	Black Locust	10	100 CM
64	Columnar tree	Black Locust	10	100 CM
65	Columnar tree	Black Locust	10	100 CM
66	Columnar tree	Black Locust	10	100 CM
67	Columnar tree	Black Locust	10	100 CM
68	Columnar tree	Black Locust	10	100 CM
69	Columnar tree	Black Locust	10	100 CM
70	Columnar tree	Black Locust	10	100 CM
71	Columnar tree	Black Locust	10	100 CM
72	Columnar tree	Black Locust	10	100 CM
73	Columnar tree	Black Locust	10	100 CM
74	Columnar tree	Black Locust	10	100 CM
75	Columnar tree	Black Locust	10	100 CM
76	Columnar tree	Black Locust	10	100 CM
77	Columnar tree	Black Locust	10	100 CM
78	Columnar tree	Black Locust	10	100 CM
79	Columnar tree	Black Locust	10	100 CM
80	Columnar tree	Black Locust	10	100 CM
81	Columnar tree	Black Locust	10	100 CM
82	Columnar tree	Black Locust	10	100 CM
83	Columnar tree	Black Locust	10	100 CM
84	Columnar tree	Black Locust	10	100 CM
85	Columnar tree	Black Locust	10	100 CM
86	Columnar tree	Black Locust	10	100 CM
87	Columnar tree	Black Locust	10	100 CM
88	Columnar tree	Black Locust	10	100 CM
89	Columnar tree	Black Locust	10	100 CM
90	Columnar tree	Black Locust	10	100 CM
91	Columnar tree	Black Locust	10	100 CM
92	Columnar tree	Black Locust	10	100 CM
93	Columnar tree	Black Locust	10	100 CM
94	Columnar tree	Black Locust	10	100 CM
95	Columnar tree	Black Locust	10	100 CM
96	Columnar tree	Black Locust	10	100 CM
97	Columnar tree	Black Locust	10	100 CM
98	Columnar tree	Black Locust	10	100 CM
99	Columnar tree	Black Locust	10	100 CM
100	Columnar tree	Black Locust	10	100 CM

Date	Revisions	By
04.06.2021	DRAFT FOR REVIEW	ADLS
19.09.2021	Issue for DP	LS
12.03.2021	Update For Construction Review	ESLS
12.09.2021	Update For Construction Review	SDLS
03.01.2022	DP Re-submission	LS
04.20.2022	Landscape Revision for Review	LS
04.18.2022	Re-issue for Development Panel	LS
04.27.2022	Re-issue for Development Panel	LS

**LAZZARIN SVISDAHL**  
LANDSCAPE ARCHITECTS  
200-1800 1st Avenue, Prince George B.C. V2L 2Y2  
250-563-6158 www.la-lan-arch.com

Project  
**LOUGHEED HWY MULTIFAMILY**  
21783 LOUGHEED HWY  
MAPLE RIDGE, BC

Sheet Title  
**Landscape Planting Plan**

Date July 29, 2019  
Scale 1:150 METERS  
Drawn By LS/SD  
Project No.

Copyright reserved. This drawing and the design, and all at times remain the exclusive property of Lazzarin Svisdahl Landscape and cannot be used without the Land Architect's written consent.

Drawing No.

L1

APPENDIX G



1. PLANT MATERIAL AND CONSTRUCTION METHODS WORK AND MATERIALS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS.
2. ALL PLANTING BEDS SHALL BE WATERED BY AUTOMATIC IRRIGATION SYSTEM
3. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED AND SHALL BE TOLERANT OF DROUGHT CONDITIONS, A MINIMUM OF 150 MM DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS.
4. REFER TO CIVIL ENG. DWGS FOR SITE GRADING AND DRAINAGE AND ENSURE THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.
5. SLAB DRAINS REFER TO MECHANICAL ENG. DWGS.

REFER TO CIVIL ENG. FOR OFFSITE DESIGN OF ROADS, CURBS, LETDOWNS, PAINTED LINES ETC.  
REFER TO ELECTRICAL ENG. FOR FINAL DESIGN OF RELOCATED STREETLIGHTS AND UTILITY POLES IN ROW

CITY OF MAPLE RIDGE

BYLAW NO. 7860-2022

A Bylaw to amend the text of  
Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as “Maple Ridge Off-Street Parking and Loading Amending Bylaw No. 7860-2022”.
2. Maple Ridge Off- Street Parking and Loading Bylaw No. 4350-1990 is amended as follows:

**SCHEDULE “A”, OFF-STREET PARKING SPACE REQUIREMENTS, 1.0 Residential Uses, Part c** is amended by adding the following after C-5:

- c) C-7

**SCHEDULE “A”, OFF-STREET PARKING SPACE REQUIREMENTS, 2.0 Commercial Uses, Parts a and I** are amended by adding the following after C-5:

- a) C-7
- l) C-7

**SCHEDULE “F”, 1.0 Electric Vehicle Charging Infrastructure Requirements, Parts b and c** are amended by adding the following after C-5:

- b) C-7
- c) C-7

3. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended is hereby amended accordingly.

**READ** a first time the        day of        , 20

**READ** a second time the        day of        , 20

**READ** a third time the        day of        , 20

**ADOPTED** the        day of        , 20

PRESIDING MEMBER

CORPORATE OFFICER



April 29, 2022

Planning Dept.  
City of Maple Ridge  
11995 Haney Place,  
Maple Ridge, BC V2X 6A9

Dear Rene Tardiff,

RE: ADP Re-Submission for 21783 LOUGHEED HWY

This cover letter is to accompany the ADP Re-Submission package for 21783 Lougheed Hwy, dated April 27 2022.

We have revised our architectural and landscape plans to address the comments received from the Advisory Design Panel for our project presented on March 23 2022.

The comments and responses have been compiled in an attached table.

While we work to address each comment, not all recommendations have been made, either because of management of the building or budgetary constraints. In particular, we did not step the entire upper two storeys but did employ further architectural strategies to address those comments.

We hope you find the revisions and explanations concise and appropriate.

Please do let me know if you have any questions or concerns.

Sincerely,

Tanis Frame, Architect AIBC, LEED AP

<b>2021-061-DP – 21783 Lougheed Highway</b>	
<b>Response to Advisory Design Panel Comments from March 23, 2022</b>	
<b>Comments:</b>	<b>Response:</b>
Ensure that bicycle parking bylaw requirements are met.	We have provided the correct amount.
Ensure that commercial and residential space requirements, separation of and access to garbage refuse are met.	Refuse has been moved to parkade to ensure adequate space for both residential and commercial uses.
Ensure outdoor amenity bylaws are met in terms of size and function.	This has been met (amenity space reconfigured with new site layout)
Ensure access to commercial and entrance lobby is addressed to ensure that it is barrier-free and visible to the public from the streetscape.	Building has been elevated to see commercial from street level. Commercial and residential have varying entry treatment for delineation
Consider additional architectural response to break up massing.	We already have varying colour palette, window boxes and a large upper roof overhang. We have projected the decks beyond the building facade and angled them to create more articulation on the facade and provide more private amenity space.
Consider adding architectural features to blank wall on north end and façade on west end.	West end has been revised to address prominent corner. Added linear window box with contrasting material, signage and more fenestration.
Consider addition of loading stall for commercial area.	This has been added.
Provide loading bay for commercial area according to municipal bylaws	This has been added
Review requirements for number of elevators and ensure number of elevators are adequate for number of units, recommend second elevator to be provided.	Cost and reconfiguration of additional elevator not desired at this time.
Consider reconfiguring amenity room on second floor to add more natural light.	Reconfiguration of units to achieve daylighting is not desired at this time.
Address proximity of refuse to patio space and consider enclosed structure.	Refuse has been relocated to parkade.
The building should address the relationship of the facade to the SRW with	We don't believe this SRW will be activated as a pathway. We have included larger

both daylighting and pedestrian scale, recommend stepping back 5 <sup>th</sup> and 6 <sup>th</sup> floors on SRW side to improve this relationship.	patios for additional space and natural surveillance at the main level. Stepping back the upper floors on this facade is not desired at this time.
Ensure commercial street frontage is differentiated from residential street through uses of storefront glazing, canopies, signage.	We have differentiated by using a single material that is only at the commercial space, added storefront glazing, and signage to windows and/or at soffit as this is inset at commercial space only
Residential lobby should be differentiated from building massing to improve visibility of front doors.	Residential lobby has architectural canopy detailed at a pedestrian scale for way finding.
<b>Landscape Comments:</b>	<b>Response:</b>
Ensure tree protection fencing is shown on landscape plans for retained trees.	Protection Fencing Added in Pink, Arborist shall be onsite to do root pruning if required
Provide vegetative screening on north property line.	Columnar trees and grass along with a 1.8m Ht. Privacy Fence to provide screening
Consider bioswale on north property line at grade planting area.	Lawn swale will be coordinated with Civil Stormwater
Consider vegetative buffer between driveway and west property line.	Area is very narrow between curb and fence will not support space for plant growth
Recommend providing amenity area for residents on roof.	We don't agree that an amenity deck looking down on single family residences is appropriate.
Provide screening for residential patios to ground floor amenity at grade.	Screening with Raised Planters on Slab Provided
Recommend reconfiguring amenity area on ground floor for residential to provide separation between tenant amenity room and exterior associated space.	Green Space Added with Planters and Lawn (on Slab)
Provide separation of public and private amenity space on ground floor.	Planters added to create separation between functions of the spaces
Provide ground floor yard space in relationship to pathway at SRW for residential units on ground floor.	Design of Path in Progress, landscape will need to respond to the path layout
Provide separation of public and private space between lobby entry on Loughheed Highway and first residential unit to east.	Raised Planters adjusted to provide better buffer at front door and private unit
Do not support the use of stacked wood planters on slab, recommend using raised precast planters, not wood.	Larger Planters have been changed to Precast Block, some small wood planters still proposed for some lower shrub beds

Recommend changing decorative washed rock with 4x4 wood edgers and providing yard space for ground floor residential units.	Washed Rock with wood edging for drip perimeter strip under roof overhangs used as a best practice to keep things tidy in areas where vegetation is not recommended (due to roof overhangs) and in areas where we don't want to encourage people going.
Ensure barrier-free entry to lobby doors for residential and commercial.	These entries will be barrier-free
Ensure privacy and noise separation of units facing Lougheed Highway through architectural screening.	Planters added for some visual screening - visual sightlines are recommended to be kept clear for CPTED reasons against ground floor unit doors and windows.
Recommend separating bike parking between commercial and residential.	Tenant Bike Storage is anticipated to be mainly used for residential bikers
Recommend installation of pathway within SRW to provide access to individual yard spaces and small amenity area in northeast corner of site.	Offsite pathway design and potential for unit walkup access TBD

**2021-061-DP – 21783 Lougheed Highway – Response to Advisory Design Panel Comments**

#	Architectural Comments	Response
1	Ensure the refuse access door can accommodate larger bin sizes.	Revised to a 6ft double door
2	Ensure adequate headroom at parking ramp for refuse pickup vehicle.	Pickup will be via a smaller “picker” truck.
3	Consider adding access at the north end of the corridor at ground level for residential outdoor amenity area.	Added access to this area.
#	Landscape Comments	Response
1	The amenity areas proposed need to fulfill the Development Permit guidelines as well as, Zoning Bylaw 2019-7600.	The outdoor COMMON OPEN AREA and outdoor Amenity areas are located so they are easily available for use by all the residents and provide greenery with lawn, trees and shrubs in the form of raised planters - both for four season planting displays and for use in vegetable or therapeutic gardening practices, recreational space suitable for outdoor leisure activities such as gardening, resting, reading outdoors, people watching, and a small dog run is included. We have ensured all Common Open Areas have dimensions which are well over the minimum 1.5 metres. OUTDOOR AMENITY AREA on this site was specifically designed to provide two different common and easily accessible amenity areas for use by all residents. The spaces is design for uses which include but are not limited to: passive relaxation and space to play on a small grass berm and lawn small patio area which is suitable for use for shared outdoor barbecue space for group seating on lawn or adjacent hardscape patio area, small covered patio area overlooking lawn connected to indoor amenity room.
2	The mounded grass area indicated as amenity space for residents with the singular trees should be enhanced for privacy and programmability to ensure that it can be functionally used by the residents of the building.	The two lawn areas and mounded grass feature with tree has been combined into one larger space by relocating the walkway access route to the side creating one larger central green space.
3	The amenity area proposed at the northeast corner has opportunities to include additional programming, for example child play.	Children’s play structure is not a desired use in this area due to proximity to private units facing an already busy commercial plaza - addition of a quiet green space as buffer separation into a zone for passive recreation and outdoor relaxation and

		small gathering zone seating on lawn berm and people watching is the intended function
4	Recommend relocating the commercial door next to the lobby door to on slab amenity space to provide greater separation between public and private space.	The location of the commercial door has been considered and it is believed that it is located in the most appropriate place to balance the function of the commercial space with the separation between public and private space.
5	Recommend rotating planting beds separating commercial amenity and private amenity to ensure more complete separation of space.	With locations of the doors from Commercial to Residential there is no room for effective separation using planting beds and due to CPTED concerns we would not recommend any screen or fencing which might create hiding spaces or concealed blind spots.
6	Ensure proposed sod areas on slab are flush with hard paved walking surfaces.	Yes, the intent that sod is flush to finished grade.
7	Recommend that the chain link fencing enclosing the community garden space be reconsidered with softer material.	Fencing materials have been chosen to allow to maximum visual and sunlight penetration.
8	Consider removing the sod from the community garden area and expanding the community garden plots.	Some unprogrammed space is important around the gardening plots to provide room for both circulation and space to work and so gardeners are not having to walk on top of each other - its a very small space to work with so we want to avoid making it feel too squished. Better it be a space that feels nice and is comfortable to be in than try to maximize density of garden plots, which will only take away from the experience and act of being out in the garden.
9	Consider relocating the garden shed within the community garden fenced area.	Agreed this has been relocated and garden area layout reworked.
10	Confirm construction of retaining wall and garden shed on the community garden area is allowed within setback.	Construction of the retaining wall and the location of the garden shed will be in compliance with all zoning requirements.
11	Provide cross sections for amenity area from neighbouring property to building to identify height of proposed retaining wall and materiality.	Heights of all retaining walls will be in compliance with all bylaws and regulations. The materials used for the retaining walls are shown in the landscape plan.
12	Provide cross sections and details and how grade change will be achieved at tree protection area and all interfaces with adjacent properties.	All grade changes at all interfaces with adjacent properties will be in compliance with applicable bylaws and regulations.

13	Provide details on how the grade changes will transition with the SRW and the single family residential homes located to the north. Ensure landscape grading plan resolves interface with the existing trees. Ensure, if permitted, that the exposed portion of the retaining wall is aesthetically pleasing to the residential use to the north, consider setback and screening.	We will work with civil designs and use retaining walls, planting beds, grass to create appropriate transition from adjacent property and the SRW. WestUrban will work with ISA Arborists to determine extent of root zones and ensure trees are protected and all exposed retaining walls are aesthetically treated.
14	Ensure the storm water on sloped sod landscape at north property line is captured onsite.	Storm water will be capture on site in compliance with all bylaws and regulations.
15	The proposed retaining wall may require a fence, due to a fall height issues.	Yes, as pre-building code fall protection will be included on all retaining walls.
16	The proposed sod along the northern property line may present maintenance issues.	We have added a planting bed along the north property line as requested - note the addition of the planting bed will increase maintenance issues and will not provide any additional screening to neighbours as the proposed fence already screens this area.
17	Ensure stormwater report and plans are provided to Planning Staff with resolution of storm water drainage on north and west property line.	Stormwater reports and plans will be provided in compliance with all bylaws and regulations at the appropriate time during the planning and development process.



# Public Comment Opportunity Summary of Feedback

*21783 Lougheed Highway, Maple Ridge*

## Executive Summary

This report provides a detailed summary of the Public Comment Opportunity (PCO) for the proposed Rezoning & Development Permit application for 21783 Lougheed Highway. The summary is being submitted to the Maple Ridge Planning Department on April 26, 2022. The summary includes completed notes including:

- Number of respondents, any emails or correspondence that have been submitted;
- A summary of the comments;
- A summary on how the issues and concerns identified through the PCO process will be addressed in the project.

This feedback is meant to inform the decision-making process for the Council of Maple Ridge when considering the 2<sup>nd</sup> reading of the zoning bylaw. The highlights of the information gathering process include:

- Number of letters mailed – 120
- Dates of newspaper advertisement – March 25 and April 1, 2022
- Dates of PCO – April 4 to April 14, 2022
- Comments received – 18

Concerns/Risks identified	Developer Mitigation/Solution
Rendering <ul style="list-style-type: none"> <li>• Cyclists side by side on Lougheed Hwy</li> <li>• Trees on multi-use pathway</li> </ul>	<ul style="list-style-type: none"> <li>• Renderings and landscape plans were updated</li> </ul>
Multi-use Path at front of building <ul style="list-style-type: none"> <li>• More details sought</li> <li>• Is Developer paying for construction</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments will provide for a multi-use path for pedestrians to safely access the commercial space &amp; surrounding amenities/transit etc.</li> </ul>
Soundproofing <ul style="list-style-type: none"> <li>• Traffic noise concern</li> </ul>	<ul style="list-style-type: none"> <li>• There is commercial space on the main floor and residential above. This is to help mitigate traffic noise from Lougheed Highway. The development will be built up to the applicable building code standards for construction quality and material.</li> </ul>
ROW to Howison Ave <ul style="list-style-type: none"> <li>• Request for pedestrian/cyclist</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> </ul>

connection for the future West Ridge Greenway	
<p>Project size concerns</p> <ul style="list-style-type: none"> <li>• # of units</li> <li>• # of stories</li> <li>• Shade and privacy</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments is supportive of the City of Maple Ridge’s policy on “Affordable, Rental and Special Needs Housing”</li> <li>• This proposal fulfills the need for the construction of rental units that vary in both size and number of bedrooms</li> <li>• WestUrban Developments has commissioned a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.</li> <li>• The L-shaped building layout and the generous setbacks allow for more privacy</li> </ul>
<p>Existing trail along North side of property</p> <ul style="list-style-type: none"> <li>• What is the plan for this?</li> </ul>	<ul style="list-style-type: none"> <li>• This lane is currently existing and belongs to the City.</li> <li>• There are no plans for WestUrban Developments to develop this lane</li> </ul>
<p>Property Management Services</p> <ul style="list-style-type: none"> <li>• Short term rentals of &lt; 6 months may affect hotel business?</li> <li>• Request for details on the types of commercial uses being considered</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments doesn’t permit short term rentals</li> <li>• The commercial space use will adhere to the permitted use options in the By-Law</li> </ul>
<p>Future laneway from Lougheed to Howison?</p> <ul style="list-style-type: none"> <li>• Concerned about increased vehicle/pedestrian traffic, privacy etc.</li> <li>• Surveyors observed in neighbours yards that have easements around them</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> </ul>
<p>Barrier from Lougheed pedestrian traffic</p> <ul style="list-style-type: none"> <li>• Inquiry into type of barrier and protection being considered for homes adjacent to the development.</li> </ul>	<ul style="list-style-type: none"> <li>• WestUrban Developments has provided the required SOW to the City. It is up to the City on the future development of this space.</li> <li>• The proposed development will be fenced off, within the P/L.</li> <li>• There is no plan for any development outside of the P/L</li> </ul>
Traffic light	<ul style="list-style-type: none"> <li>• WestUrban Developments has proposed a development according to proposed zoning parameters</li> </ul>

<ul style="list-style-type: none"> <li>• A suggestion to add a traffic light at the entrance to the building</li> </ul>	<ul style="list-style-type: none"> <li>• The Traffic Impact Assessment (TIA) demonstrates that no further upgrades are required</li> </ul>
<p>Adjacent Properties</p> <ul style="list-style-type: none"> <li>• Concerns on negative impacts on land values</li> </ul>	<ul style="list-style-type: none"> <li>• The proposed development is high quality residential infill that will bring a different mix and quality of housing to the area. The increase in zoning will provide an increase to the land value.</li> </ul>

# Introduction

The City of Maple Ridge typically requires that a Development Information Meeting be held between first and second reading of the zoning bylaw as part of the rezoning process. Due to the COVID-19 pandemic, The Development Information Meeting policy was replaced with the interim PCO. The purpose of the PCO is to share knowledge of the proposed rezoning and collect feedback from the public that will inform decision making. The PCO allowed interested stakeholders a meaningful opportunity to understand the project better and have their ideas and concerns heard.

# Process

WestUrban worked with the Maple Ridge Planning Department to ensure alignment with the interim policy. It was agreed that the PCO would occur between April 4, 2022 and April 14, 2022. These dates allowed Maple Ridge staff sufficient time to prepare for the next Council meeting, while also ensuring that the advertising and mail out could be done in advance of the 10-day PCO timeframe. Details of the schedule are shown in Figure 1.

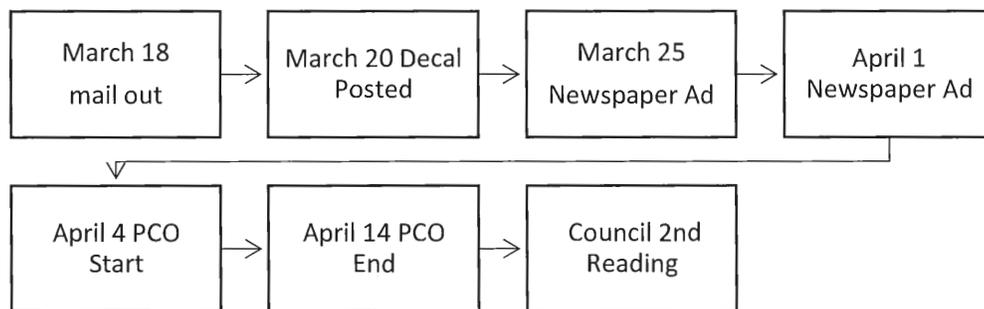


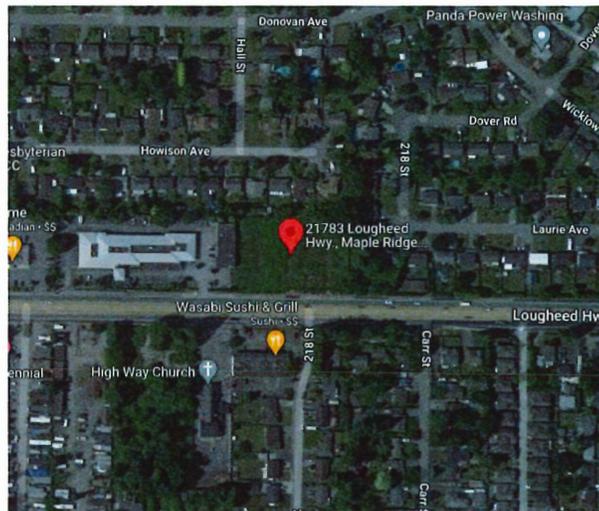
Figure 1 Timeline/Schedule

Rezoning applications usually contain materials such as detailed site and project information, technical analysis, professional reports and site plans. This following information was made available as required and detailed in the interim PCO policy:

- Site Plan showing:
  - Proposed zoning;
  - Building envelope;
  - Proposed variances; and
  - Road network and parking provision;
- Park dedication and green spaces;

- Amenities including common activity area and open space;
- Architectural and landscape plans, as outlined in Schedule D of the Maple Ridge Development Procedures Bylaw No. 5879 1999;
- Excerpts of Zoning Bylaw and Official Community Plan materials; and
- Supporting professional reports.

WestUrban mailed out 120 letters in early March 2022 to inform the recipients of the upcoming PCO. The letters were mailed to the property owners and residents within 100 metres of the development property; the approximate area is shown in Figure 2. The addresses and mailing labels were provided by the Maple Ridge Planning Department.



*Figure 2 Approximate Mail Out Area*

The letter (Attachment 1) contained the items as details in the interim policy. Including:

- The application rezoning number;
- The development site property address(es);
- A map showing the location of the development site;
- The purpose of the application;
- The dates of the 10-day Public Comment Opportunity;
- An invitation to obtain further information (material available through the PCO);
- The Planning Department’s contact information; and
- A Disclaimer.

WestUrban also included the site plan, landscape plan, building rendering, parkade and floors plans in the letter to provide a bit more upfront detail. This additional information was provided to facilitate questions and comments about the proposed development, without the need to contact the City or WestUrban for the basic information such the current and proposed zoning, number of units, lot size and requested variances.

A notification decal (Figure 3) was added to the development sign to ensure drivers or pedestrians passing the site would be informed of the upcoming PCO.

Advertisements were placed in the local Maple Ridge-Pitt News to notify the broader community of Maple Ridge. The development advertisement was published in two consecutive publications on March 25, 2022 and April 1, 2022. Figure 4 shows the details of the publication.

Figure 3 Development Sign - Notification Decal

<b>DEVELOPMENT APPLICATION</b>		21783 Lougheed Highway NO. 2021-061-RZ	
<b>PROPOSED REZONING</b> To 120m Rm-03 Community Commercial to 0-7 (Lougheed Transit Corridor) High Density Mixed Use. The zone has an maximum height of 4-stories with no height maximum. The proposal is for a 121 residential apartment units and 675sq.m. (7263 sq.ft) of commercial space. TAB: 1-55 Plans: 4 to 6 Office Community Plan (OCP): Commercial Owner consent and approvals and the change before final approval.	<b>LOCATION</b> 	<b>PROPOSED #01.2096</b> 	<b>FOR MORE INFO</b> <b>APPLICANT:</b> WestUrban Developments Ltd. P: 250-914-8485 E: neighbours@westurban.ca W: westurban.ca <b>PLANNING DEPARTMENT:</b> P: 604-467-7341 E: planning@mapleridge.ca W: www.mapleridge.ca E: 21783 Lougheed Highway Maple Ridge, BC V2X 1S1
<b>DEPART OF THE PROCESS</b>	Opportunity to comment from April 4, 2022 to April 14, 2022	For information and to provide comments: neighbours@westurban.ca 250-914-8485	

Figure 4 Publication in Maple Ridge-Pitt News

**Public Comment Opportunity for Proposed Development**

You are invited to participate in a Public Comment Opportunity where representatives from *WestUrban Developments Ltd.* are available by email or phone to provide details on Rezoning Application (2021-061-RZ) and Development Permit Application (2021-061-OP).

**PUBLIC COMMENT OPPORTUNITY PERIOD:**  
April 4 - 14, 2022

**EMAIL OR CALL FOR INFO & TO PROVIDE COMMENTS:**  
[neighbours@westurban.ca](mailto:neighbours@westurban.ca)  
250-914-8485



The purpose of the application is to develop 21783 Lougheed Highway into a mixed-use building with 121 residential units and commercial space. The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

Your thoughts are important to us. If you would like information regarding this proposal, please contact [neighbours@westurban.ca](mailto:neighbours@westurban.ca), 250-914-8485, or the City of Maple Ridge Planning Department, at 604-467-7341.

# Summary of Feedback

From the 120 letters mailed to the community and the advertisements in two publications of the Maple Ridge-Pitt newspaper, eight responses comprised of eighteen comments were received. Detailed of these responses are included in Attachment 2. Their concerns mainly focused on:

- Transportation: Vehicles (mentioned 3 times), traffic (mentioned 1 time), traffic light (mentioned 1 time)
- Building Form and Design: building height (mentioned 2 times), density (mentioned 2 times); and
- Impact on Adjacent Properties: Privacy (mentioned 3 times), protection of natural areas (mentioned 2 times), land values (mentioned 1 time).
- Commercial Use (mentioned 1 time)

Community Concerns	Addressing the Concerns
<b>Transportation</b>	
<p><b>Traffic/Vehicles</b> Concerns about future lane connecting additional traffic to the neighbourhood from Lougheed Highway</p>	<p>There is no lane being proposed from Lougheed Highway into the existing neighbourhood.</p>
<p><b>Traffic Light</b> Request to install a traffic light in front of the development</p>	<p>The Traffic Impact Assessment (TIA) demonstrates that no further upgrades are required</p>
<b>Building Form and Design</b>	
<p><b>Building Height</b> Concerns that the proposed building has too many storeys for the character of the neighbourhood as there are only single and two storey homes surrounding the building.</p>	<p>WestUrban Developments has proposed a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.</p> <p>The L-shaped building layout and the generous setbacks allow for more privacy</p>
<p><b>Density</b> Concerns that the proposed number of units is too many for the character of the neighbourhood as there are primarily low-density</p>	<p>The proposed development will support many of the recommendations in the draft “Lougheed Transit Corridor Concept Plan” including locating higher - density residential along “high-streets” in mixed commercial zones, creating an attractive street scape. The OCP policies support the development of a variety</p>

<p>developments surrounding the building.</p>	<p>housing types, including apartments. The proposed development is located along a major corridor (Lougheed Highway) and are along a bus route(s). The unit sizes will include studios, 1-bedrooms, and 2-bedrooms to accommodate a variety of income and family sizes.</p>
<p><b>Impact on Adjacent Properties</b></p>	
<p><b>Land Values</b> The proposed building will de-value the neighbouring properties.</p>	<p>The proposed development is high quality residential infill that will bring a different mix and quality of housing to the area. The increase in zoning will provide an increase to the land value resulting in an increase in property tax assessed value that can be used for operations or maintenance of new and existing infrastructure.</p>
<p><b>Privacy</b> Neighbour expressed concern about privacy being impacted due to the scale and height of the proposed building.</p>	<p>WestUrban Developments has proposed a detailed landscaping plan that includes a 6-foot privacy fence and tall, generous shrubs to screen adjacent properties from the proposed development.</p> <p>The L-shaped building layout and the generous setbacks allow for more privacy</p>
<p><b>Commercial space</b></p>	
<p><b>Use of space</b> Adjacent hotel asked about the planned use for commercial space</p>	<p>The commercial space will be used as per the permitted use according to the amalgamated Zoning By-Law</p>



June 8, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Ms. Tardif:

Re: File #: 2021-061-RZ  
Legal: D.L.: 247, Plan: EPP73031  
Location: 21783 Lougheed Highway  
From: C-2 (Community Commercial)  
To: C-7 (Lougheed Transit Corridor High Density Mixed-Use)

The proposed application would affect the student population for the catchment areas currently served by Glenwood Elementary and Maple Ridge Secondary School.

Glenwood Elementary has an operating capacity of 383 students. For the 2020-21 school year the student enrolment at Glenwood Elementary is 361 students (94% utilization) including 76 students from out of catchment.

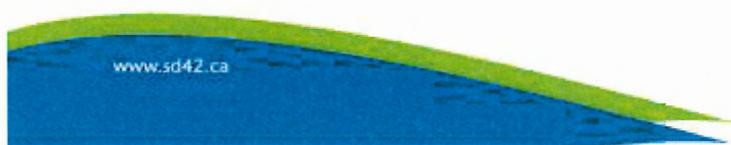
Maple Ridge Secondary School has an operating capacity of 1300 students. For the 2020-21 school year the student enrolment at Maple Ridge Secondary School is 1165 students (89.6% utilization) including 467 students from out of catchment and 280 French Immersion students.

Sincerely,

Flavia Coughlan  
Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Rick Delorme  
David Vandergugten





**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **First and Second Reading**  
**Official Community Plan Amending Bylaw No. 7607-2020**  
**Second Reading**  
**Zone Amending Bylaw No. 7608-2020**  
**24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue**

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2019-426-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue, from RS-3 (Single Detached Rural Residential) to RM-1 (Low Density Townhouse Residential), to permit the future construction of approximately 165 townhouse units. Council granted first reading to *Zone Amending Bylaw No. 7608-2020* and considered the early consultation requirements for the Official Community Plan amendment on March 10, 2020.

This application is in compliance with the endorsed North East Albion Area Plan, which designates the properties for *Townhouse* use. This application requires an amendment to the Official Community Plan to re-designate the land use from *Low/Medium Density Residential* to the *Townhouse* use, as proposed in the North East Albion Area Plan. An Official Community Plan amendment is also required to designate the area around the watercourse (KA6) and the steeply sloped area as *Conservation*.

Pursuant to Council Policy 6.31, this application will be subject to the Community Amenity Contribution (CAC) Program at the rate applicable at the time this application receives third reading.

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7607-2020* on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7607-2020* be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
3. That it be confirmed that *Official Community Plan Amending Bylaw No. 7607-2020* is consistent with the Capital Expenditure Plan and Waste Management Plan;
4. That *Official Community Plan Amending Bylaw No. 7607-2020* be given first and second reading and forwarded to Public Hearing;

5. That the development be permitted to have 31% tandem units, an increase of 1 unit, over the 30% allowed in Council Policy 6.35 - Tandem Parking Garage Units Within Townhouse Developments;
6. That the No Build Covenant CA9029534 be released from 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue to allow for the proposed townhouse development;
7. That the blanket Statutory Right-of-Way CA9029528 be released from 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue to allow for the proposed townhouse development as the required servicing corridor is to be dedicated as park;
8. That the Rezoning Servicing Agreement and Restrictive Covenant CA9029526 and the Geotechnical Restrictive Covenant CA9029530 be released from 24989 112 Avenue, to be replaced with new Restrictive Covenants related to the townhouse development;
9. That *Zone Amending Bylaw No. 7608-2020*, as amended, be given second reading and forwarded to Public Hearing;
10. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "A", Chapter 10.2 Albion Area Plan, Schedule 1: Albion Area Plan, Figure 1: Northeast Albion and Schedule "C";
  - iii) Road dedication on 112 Avenue, as required;
  - iv) Park dedication as required, including construction of walkways, multi-purpose trails, or emergency access roads; and removal of all debris and garbage from park land;
  - v) Consolidation of the subject properties;
  - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
  - vii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
  - viii) Registration of a Restrictive Covenant for Stormwater Management;
  - ix) Removal of existing buildings;
  - x) Notification to the Department of Fisheries and Oceans and the Ministry of Environment for in-stream works on the site;
  - xi) A Professional Engineer's certification that adequate water quantity for domestic and fire protection purposes can be provided;
  - xii) If the Director of Waste Management from the Ministry of Environment determines that a site investigation is required based on the submitted Site Disclosure Statement, a rezoning,

development, or development variance permit cannot be approved until a release is obtained for the subject properties;

- xiii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
- xiv) That a Density Bonus Contribution be provided equivalent to the total number of units times \$3,100.00 for a project having floor space ratio greater than 0.6, but less than 0.75; and
- xv) That a voluntary contribution be provided in keeping with the Council Policy 6.31, with regard to Community Amenity Contributions, at the rate applicable at the time this application receives third reading.

**DISCUSSION:**

**1. Background Context:**

Applicant: EPIC NE Albion Homes Ltd.

Legal Descriptions: Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

OCP:  
Existing: Low/Medium Density Residential  
Proposed: Townhouse and Conservation

Zoning:  
Existing: RS-3 (Single Detached Rural Residential)  
Proposed: RM-1 (Low Density Townhouse Residential)

Surrounding Uses:  
North: Use: Kanaka Creek Regional Park  
Zone: RS-3 (Single Detached Rural Residential)  
Designation: Park and Park within the ALR  
South: Use: Single Family Residential  
Zone: RS-3 (Single Detached Rural Residential)  
Designation: Low/Medium Density Residential (the draft North East Albion Land Use and Servicing Concept Plan designates it as Townhouse)

East:	Use:	Conservation and Single Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Conservation and Single Family
West:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low/Medium Density Residential (the draft North East Albion Land Use and Servicing Concept Plan designates it as Townhouse)
Existing Use of Properties:		Single-Family Residential
Proposed Use of Properties:		Multi-Family Residential
Site Area:		3.67 ha (9.1 acres)
Access:		112 Avenue
Servicing requirement:		Urban Standard

## 2. Site Characteristics and Project Description:

The subject properties, located at 24877, 24909, 24929, 24947, 24979, 24985, and 24989 112 Avenue, are located on the north side of 112 Avenue, at the end of Lockwood Street (see Appendices A and B). There are currently single family homes on the properties, with some steep slopes and a watercourse.

The applicant is proposing to rezone the subject properties from the RS-3 (Single Detached Rural Residential) zone to develop approximately 165 townhouse units under the RM-1 (Low Density Townhouse Residential) zone. Out of the 165 units, 34 are four-bedroom units, 80 are three-bedroom units, and 51 are two-bedroom (tandem garage) units.

## 3. Planning Analysis:

### i. Official Community Plan

The subject properties are located within the North East Albion Area Plan and are currently designated *Low/Medium Density Residential* in the Albion Area Plan, but are shown as *Townhouse* in the North East Albion Land Use and Servicing Concept Plan. This application is moving in advance of the North East Albion Official Community Plan (OCP) amendment; however, the proposed use is in keeping with the designation shown in the North East Albion Land Use and Servicing Concept Plan. An OCP amendment will be required to re-designate the properties to *Townhouse* to allow the proposed multi-family development and the remaining areas of the northern and eastern portions of the properties as *Conservation* adjacent to Kanaka Creek Regional Park (see Appendix C).

The *Townhouse* designation is intended to accommodate urban townhouses in areas with access to major circulation routes, commercial areas, and public amenities. The proposed townhouse developments are in close proximity to amenities and services, where residents can walk or bike, rather than drive their vehicles. Typical townhouse developments may consist of primarily two to three-storey buildings that house multiple dwelling units and provide some form of indoor and outdoor amenity spaces. These developments will feature private strata parking. Stacked townhouses up to three-storeys are permitted along arterial roads, adjacent to commercial nodes, with surface or underground parking. 112 Avenue will be considered a minor arterial road and a potential Park site is proposed to be located to the south of the subject properties, on the south-east corner of 112 Avenue and Lockwood Street (under application 2020-237-RZ).

There are significant tree clusters identified along the northern boundary of the subject properties, adjacent to Kanaka Creek Regional Park, and a multi-use trail is proposed to run along the northern end of the subject properties, within the dedicated Park area.

Development in North East Albion must be designed to buffer and protect watercourses in order to preserve and improve the water quality and quantity within the watercourses and subsequently in Kanaka Creek and its tributaries. *Conservation* areas around the watercourses and to Kanaka Creek Regional Park to the north are proposed with this development. This proposed townhouse development is consistent with the proposed land use designation within the North East Albion Area Plan.

ii. **Zoning Bylaw**

The application proposes to rezone the subject properties from the RS-3 (Single Detached Rural Residential) zone to develop approximately 165 townhouse units under the RM-1 (Low Density Townhouse Residential) zone (see Appendix D). The RM-1 (Low Density Townhouse Residential) zone allows for a floor space ratio (FSR) of 0.6; however a density bonus up to a maximum of 0.75 may be permitted for a contribution rate of \$3,100 per unit up to an FSR of 0.75. This development has a proposed FSR of 0.69, therefore a density bonus contribution will be required.

Out of the proposed 165 units, 51 units are intended to have tandem parking, with one enclosed parking space and one parking space on the driveway apron. This ratio works out to 31%, which is just over the 30% recommended in *Council Policy 6.35 – Tandem Parking Garage Units Within Townhouse Developments*. Up to 50% tandem parking may be permitted by the Director of Planning, if there are geotechnical, watercourse, or natural features impacting the developable area of the properties and if there is on-street parking available. As there is no on-street parking available in the area, Council is required to determine if they would like to approve the additional tandem parking unit, as noted in the Recommendations.

The proposed 165 units are to be developed within 34 blocks and built out over approximately seven phases, with the indoor amenity building being constructed in the fifth phase. An amendment to the RM-1 (Low Density Townhouse Residential) zone has been added to *Zone Amending Bylaw No. 7608-2020*, to allow for a taller amenity building to provide the required Indoor Amenity Area, with appropriate setbacks which are proposed to be 7.5m (24.6 ft.). The Indoor Amenity Building for this development is proposed to be 8.4m (27.6 ft.) in height, with a minimum setback of 7.6m (24.9 ft.) from the nearest townhouse block.

Any variations from the requirements of the proposed zone will require a Development Variance Permit application, as discussed below.

iii. **Off-Street Parking and Loading Bylaw**

The *Off-Street Parking and Loading Bylaw No. 4350-1990* requires two parking spaces per dwelling unit, plus 0.2 parking spaces per dwelling unit designated for visitor parking. Based on 165 units, 330 parking spaces are required for the residents, with an additional 33 spaces required for visitor parking, and five accessible parking spaces. The development is meeting the parking requirements of the *Off-Street Parking and Loading Bylaw*, with an additional 17 visitor parking spaces provided, for a total of 50 visitor parking spaces.

**iv. Proposed Variances**

A Development Variance Permit application has been received for this project and involves several relaxations based on the current bylaws. It should be noted that the application had first reading under the previous *Zoning Bylaw No. 3510-1985* and before the *Off-Street Parking Bylaw No. 4350-1990* was amended with minimum internal garage dimensions and minimum apron parking dimensions, therefore the application is deemed to be grandfathered and was not required to meet the current regulations based on the detailed design that is required between first and second reading. In order to be consistent between the current and previous regulations, the variances are described below according to the current regulations (see Appendix E):

**a) *Off-Street Parking and Loading Bylaw No. 4350-1990:***

- Part IV Off-Street Parking Design, 4.1 vii) For Townhouse units with an enclosed single-car parking garage in tandem configuration in the RM-1 zone:
  - to reduce the minimum driveway apron width from 3.0 m (9.8 ft.) to 2.8 m (9.2 ft.) in width;
  - to reduce the internal finished garage dimensions from 3.7 m (12.1 ft.) in width to 3.0 m (9.8 ft.)
  - to reduce the internal finished garage dimensions from 6.7 m (22.0 ft.) in length to 6.2 m (20.3 ft.);
  
- Part IV Off-Street Parking Design, 4.1 viii) a) For Townhouse units with an enclosed double-car parking garage in a side-by-side configuration in the RM-1 zone:
  - to reduce the internal finished garage dimensions from 6.5 m (21.3 ft.) in width to 5.6 m (18.4 ft.) for A units, and to 5.0 m (16.4 ft.) in width for B units;
  - to reduce the internal finished garage dimensions from 6.7 m (22.0 ft.) in length to 5.7 m (18.7 ft.) for A units, and to 5.8 m (19.0 ft.) for B units.

**b) *Zoning Bylaw No. 7600-2019:***

- Part 4 – General Regulations, Section 405 Landscaping and Fencing Regulations
  - To reduce the minimum required percentage of permeable area for any Residential zoned lot from 40% to 38.4%.
  
- Part 4 – Residential Zones, Section 617 RM-1 Low Density Townhouse Residential
  - To reduce the minimum **front yard setback** (112 Avenue) from 7.5 m (24.6 ft.) to 5.03 m (16.5 ft.) to the deck and 4.68 m (15.4 ft.) to the roof overhang, and to 6.0 m (19.7 ft.) to the building face;
  - To reduce the minimum **rear yard setback** from 7.5 m (24.6 ft.) to:

<b>Block Number</b>	<b>Setback to Building Face</b>	<b>Setback to Deck</b>	<b>Setback to Eaves</b>	<b>Setback to Bay Window</b>
<b>10</b>	5.00m (16.4 ft.)	4.41m (14.5 ft.)	3.95m (13.0 ft.)	4.61m (15.1 ft.)
<b>11</b>	5.00m (16.4 ft.)	NA	4.53m (14.9 ft.)	NA
<b>14</b>	5.00m (16.4 m)	4.41m (14.5 ft.)	3.98m (13.1 ft.)	4.93m (16.2 ft.)
<b>15</b>	5.00m (16.4 ft.)	4.43m (14.5 ft.)	4.30m (14.1 ft.)	4.84m (15.9 ft.)
<b>17</b>	3.27m (10.7 ft.)	4.56m (15.0 ft.)	2.31m (7.6 ft.)	2.98m (9.8 ft.)
<b>23</b>	4.60m (15.1 ft.)	4.84m (15.9 ft.)	3.38m (11.1 ft.)	4.12m (13.5 ft.)
<b>24</b>	5.00m (16.4 ft.)	4.41m (14.5 ft.)	4.32m (14.2 ft.)	4.82m (15.8 ft.)

- To reduce the minimum **interior yard setback** from 7.5 m (24.6 ft.) to:

Block Number	Setback to Building Face	Setback to Deck	Setback to Eaves	Setback to Bay Windows
25 (west)	5.00m (16.4 ft.)	4.43m (14.5 ft.)	4.37m (14.3 ft.)	4.83m (15.8 ft.)
26 (west)	5.00m (16.4 ft.)	4.34m (14.2 ft.)	4.40m (14.4 ft.)	NA
29 (west)	5.00m (16.4 ft.)	4.72m (15.5 ft.)	4.37m (14.3 ft.)	NA
30 (west)	5.00m (16.4 ft.)	5.05m (16.6 ft.)	4.49m (14.7 ft.)	NA
31 (west)	4.73m (15.5 ft.)	3.78m (12.4 ft.)	3.90m (12.8 ft.)	4.50m (14.8 ft.)
7 (east)	5.00m (16.4 ft.)	4.49m (14.7 ft.)	4.29m (14.1 ft.)	4.81m (15.8 ft.)
9 (east)	5.00m (16.4 ft.)	4.50m (14.8 ft.)	4.29m (14.1 ft.)	4.82m (15.8 ft.)

- To increase the number of attached units in one block from six up to seven attached units for proposed Blocks 1, 5, 20, 32, 33, 34; and up to eight attached units for proposed Block 2.

The requested variances will be the subject of a future report to Council.

**v. Development Permits**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses. The Development Permit will be the subject of a future report to Council; however, Building Elevations and Landscape Plans have been attached to this report (see Appendices F and G).

Pursuant to Sections 8.9 and 8.10 of the OCP, a Watercourse Protection and Natural Features Development Permit application has been received to ensure the preservation and protection of the natural environment of Kanaka Creek and its tributaries. The developer will provide restoration, enhancement and replanting works as required, and a security will be taken as a condition of the issuance of the Development Permit. Adherence of this project to the guidelines will be the subject of a future report to the Director of Planning, to ensure that the Development Permit Area guidelines are met.

**vi. Advisory Design Panel**

The application was reviewed by the Advisory Design Panel (ADP) at a meeting held on February 16, 2022 and their comments and the applicant's responses can be seen in Appendix H. A detailed description of the projects form and character will be included in a future Development Permit report to Council.

**vii. Development Information Meeting**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between March 5 and March 24, 2022. The required date range was extended to account for the School District's Spring Break, providing an extra week for comment, to allow residents time to respond prior to the Spring Break beginning.

A summary of the main comments and discussions with the attendees was provided by the applicant (see Appendix I). The public will have an additional opportunity to provide comments at the Public Hearing, should Council forward this report.

**4. Interdepartmental Implications:**

**i. Engineering Department**

The Engineering Department has indicated that the following servicing upgrades will be required through a Rezoning Servicing Agreement:

- a) Road dedication as required to meet the design criteria of the *Subdivision and Development Services Bylaw No. 4800-1993*.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Services Bylaw No. 4800-1993*.
- c) Frontage upgrades to the applicable road standard.

**ii. Parks, Recreation and Culture Department**

A multi-use gravel trail is to be provided above the sanitary sewer service along the north end of the development. Access points to the trail are provided from the common areas of the strata.

**iii. License, Permits and Bylaws Department**

Preliminary comments on the building designs were provided to the applicant to be addressed at the Building Permit stage. Site addressing will also be addressed at the Building Permit stage. A geotechnical report and Stormwater Management Plan will be required to be registered on Title.

**iv. Fire Department**

The Fire Department provided their requirements for access design, fire safety plans, and private hydrant requirements.

## **5. Intergovernmental Issues:**

### **i. Environmental Implications**

There are two un-named watercourses (KA5.5 and KA6) and a pond identified on the subject properties, which have been identified as permanent, non-fish bearing watercourses, requiring a 15m (49.2 ft.) setback from the top of bank (see Appendix J). The habitat loss for the sanitary sewer and trail is compensated for with habitat enhancements, resulting in a net habitat gain of 1,003m<sup>2</sup> (10,797 ft<sup>2</sup>) (see Appendix K).

The storm sewer outfalls, the daylighting of the pipe between the pond and KA5.5 with sanitary sewer and trail crossings, and the enhancement of KA6 will require authorizations under the provincial Water Sustainability Act (WSA) and a Request for Project Review to the Department of Fisheries and Oceans. The crossing of Kanaka Creek by the sanitary force-main and clear-span trestle will require WSA authorization, as will the relocation of the road-side ditch on the north side of 112 Avenue for the proposed sanitary sewer pump station. The Provincial and Federal authorizations will be requirements of the Watercourse Protection and Natural Features Development Permit.

### **ii. Agricultural Impact**

The lands to the north of this development are within the Agricultural Land Reserve (ALR). The Agricultural Land Commission reviewed the proposed development and had no objection to the proposed development as the ALR boundary is within the Kanaka Creek Regional Park.

### **iii. School District No. 42 Comments**

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 and the following comments were provided:

*The proposed application would affect the student population for the catchment areas currently served by ćəsqənelə Elementary and Garibaldi Secondary School.*

*ćəsqənelə Elementary has an operating capacity of 611 students. For the 2019-20 school year the student enrolment at ćəsqənelə Elementary was 450 students (74% utilization) including 106 students from out of catchment.*

*Garibaldi Secondary School has an operating capacity of 1050 students. For the 2019-20 school year the student enrolment at Garibaldi Secondary School was 898 students (86% utilization) including 272 students from out of catchment.*

### **v. Metro Vancouver**

As Metro Vancouver has been involved in the North East Albion Area Planning Process, a referral on this townhouse development application was sent to Metro Vancouver. Metro Vancouver requested that a post-and-rail fence be provided along the northern edge of the trail, which is being provided, and that some of the re-planting tree species be revised, which is also being accommodated.

### **vi. Local Government Act**

An amendment to the OCP requires the Local Government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, to change the land use designation to *Townhouse*, has been reviewed by the affected parties when the North East Area Plan was reviewed. This designation is consistent with the North East Albion Area Plan. The amendment for the

Conservation areas is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

## 7. Citizen Implications:

In addition to the Public Comment Opportunity discussed above, the North East Albion Land Use and Servicing Concept Planning Process included an extensive engagement process to gain insights from landowners and residents, including pop-up stands with planners, stakeholder meetings, landowner workshops, technical design charrettes, two open houses and community surveys. The resulting North East Albion Land Use and Servicing Concept Plan was endorsed by Council on October 1, 2019.

### CONCLUSION:

It is recommended that first and second reading be given to *OCP Amending Bylaw No. 7607-2020*, that second reading be given to *Zone Amending Bylaw No. 7608-2020*, as amended, and that application 2019-426-RZ be forwarded to Public Hearing.

“Original signed by Michelle Baski”

---

Prepared by: **Michelle Baski, ASCT, MA**  
**Planner**

“Original signed by Charles Goddard”

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

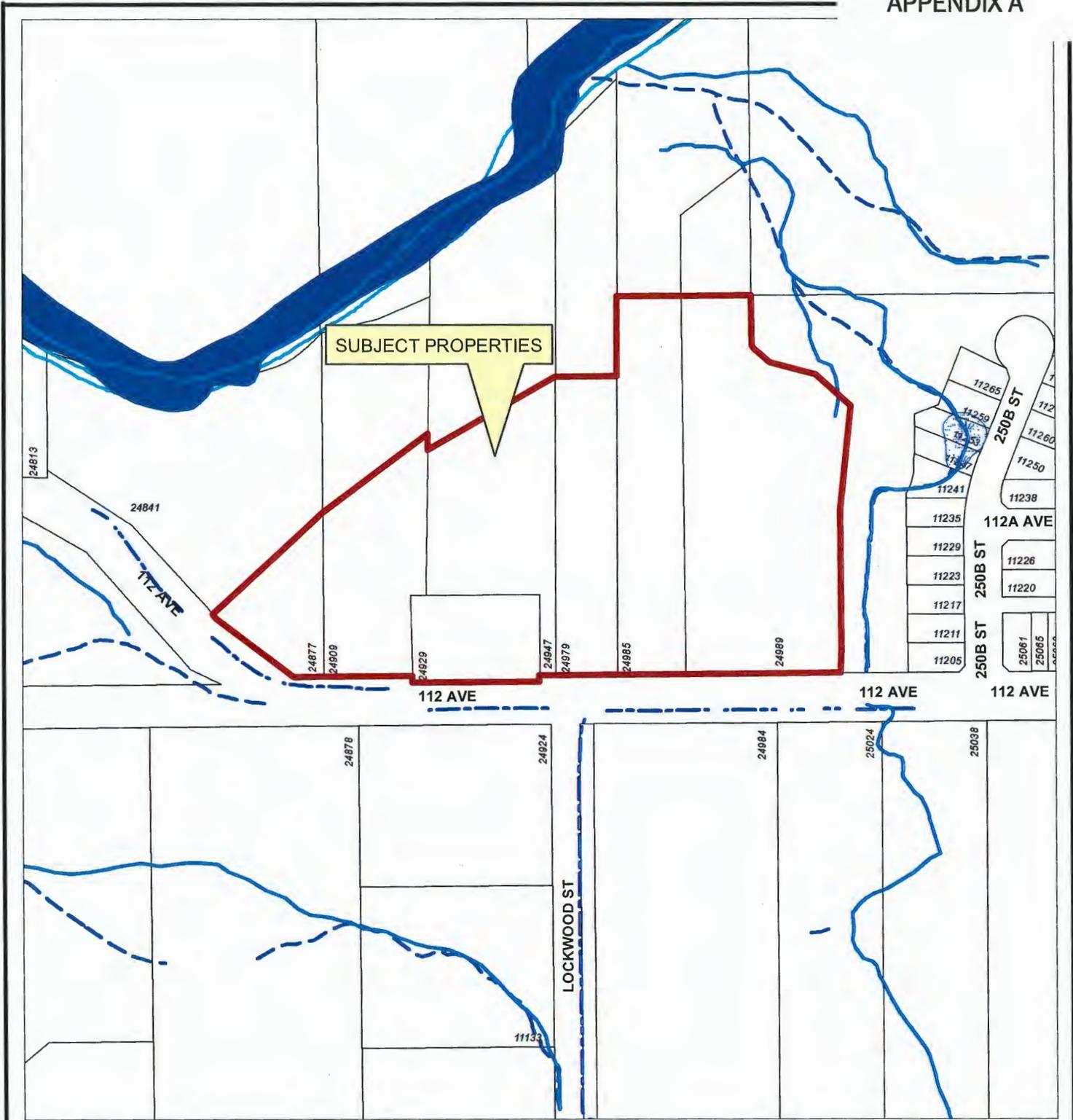
“Original signed by Scott Hartman”

---

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – OCP Amending Bylaw No. 7607-2020
- Appendix D – Zone Amending Bylaw No. 7608-2020
- Appendix E – Site Plan
- Appendix F – Example Building Elevations and Streetscape
- Appendix G – Landscape Plan
- Appendix H – Advisory Design Panel Comments
- Appendix I – Public Comment Opportunity Summary
- Appendix J – Environmental Setback Map
- Appendix K – Habitat Compensation Plan



SUBJECT PROPERTIES



Scale: 1:2,500

**Legend**

-  Stream
-  Ditch Centreline
-  Edge of River
-  Edge of Marsh
-  Indefinite Creek
-  Marsh
-  River
-  Major Rivers & Lakes

24877 & 24909/29/47/79/85/89 112 AVENUE  
 PID'S:000-788-121, 004-513-371,  
 007-420-994, 001-432-168, 005-483-841,  
 001-430-467 & 031-552-048

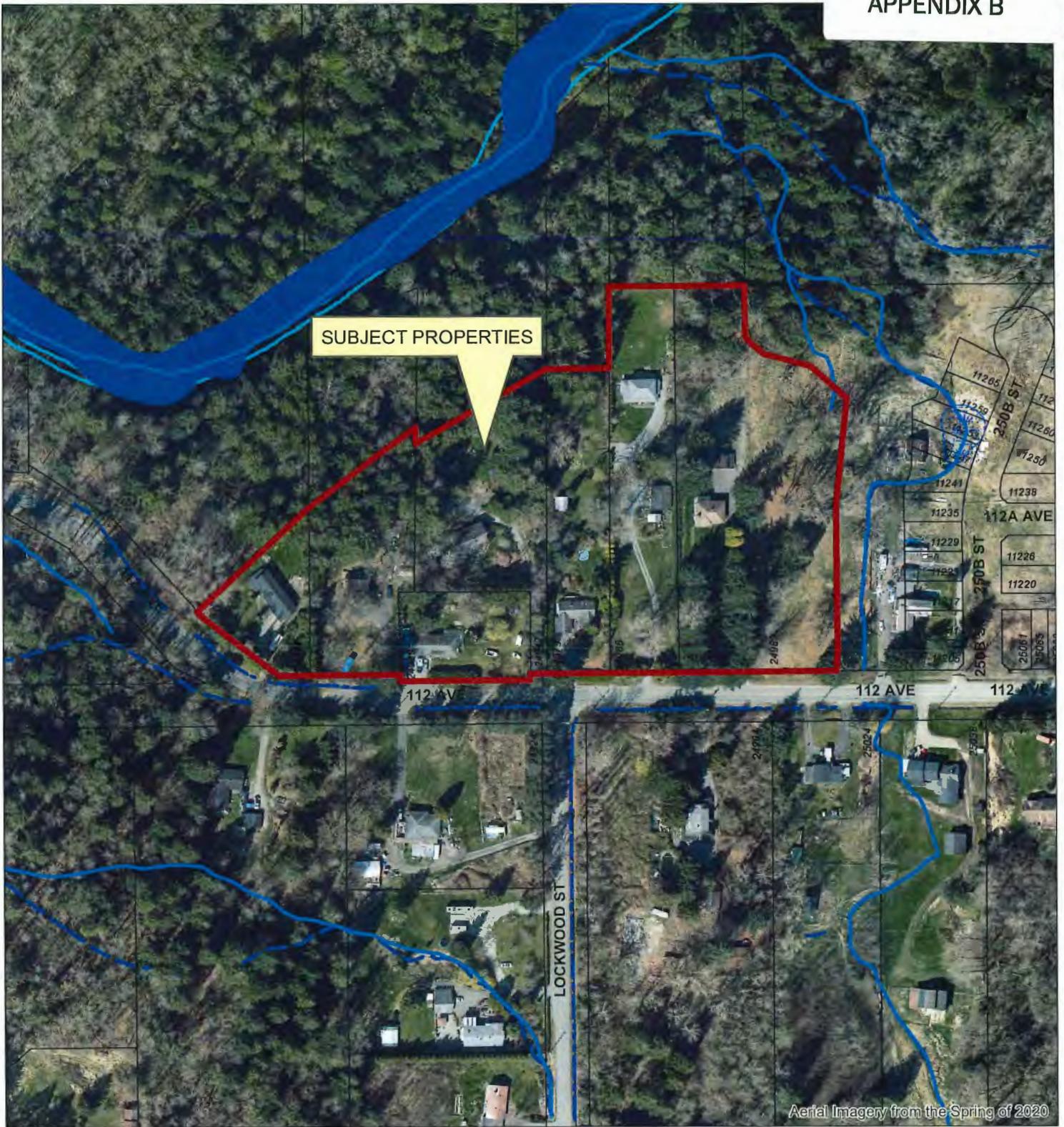
PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-426-RZ/DP  
 DATE: Jan 31, 2022

BY: AH



Aerial Imagery from the Spring of 2020



Scale: 1:2,500



24877 & 24909/29/47/79/85/89 112 AVENUE  
 PID'S:000-788-121, 004-513-371,  
 007-420-994, 001-432-168, 005-483-841,  
 001-430-467 & 031-552-048

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

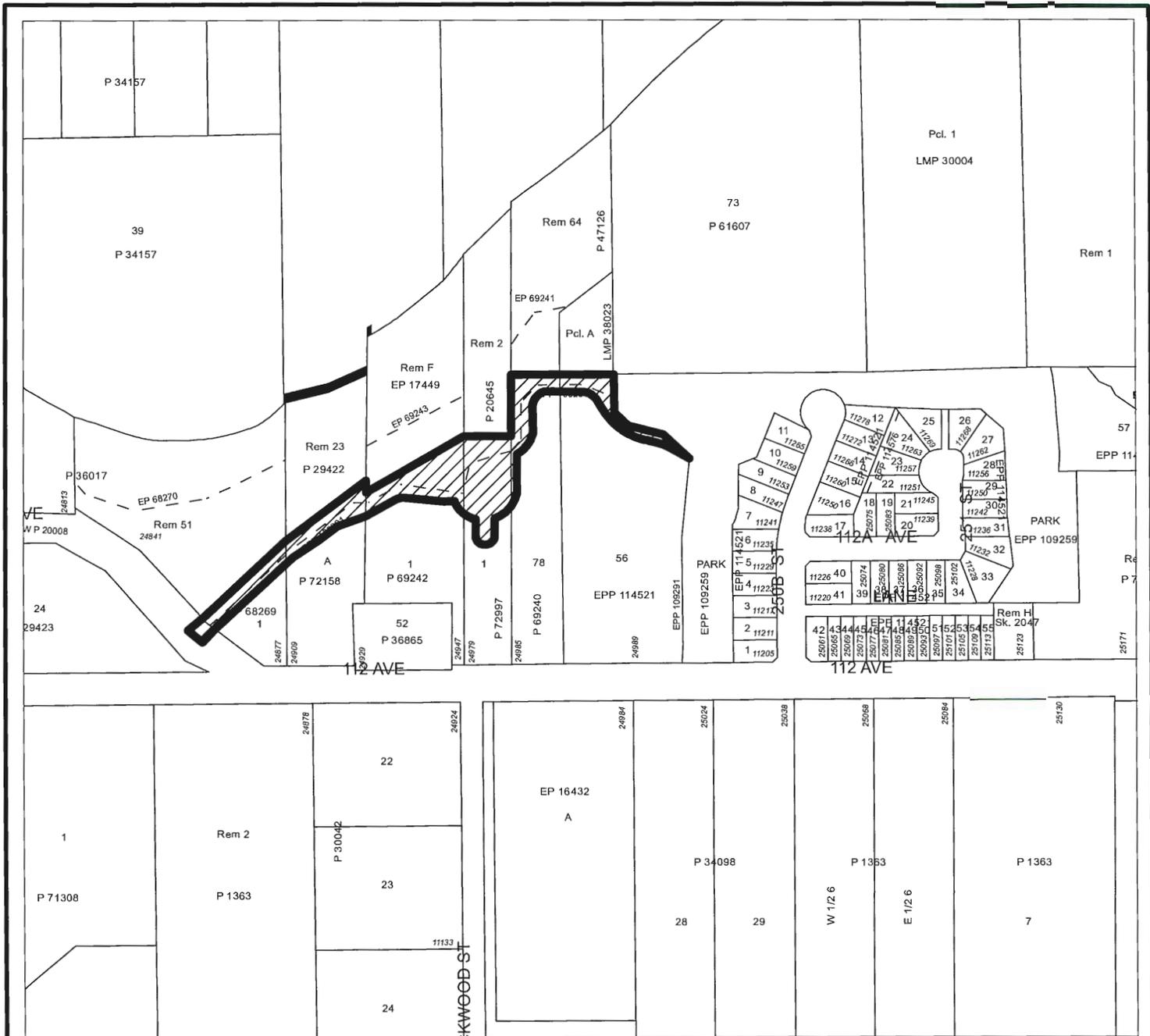
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-426-RZ/DP  
 DATE: Jan 31, 2022

BY: AH



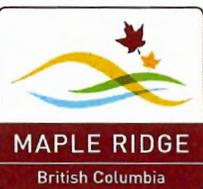




# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7607-2020  
 Map No. 1015  
 Purpose: To Amend Schedule C As Shown

 To Add To Conservation



SCALE 1:3,500

**CITY OF MAPLE RIDGE  
BYLAW NO. 7608-2020**

A Bylaw to amend Schedule 'A' Zoning Map forming part of  
Zoning Bylaw No. 7600-2019, as amended

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7608-2020."
2. Those parcels or tracts of land and premises known and described as:

Lot 1 Section 14 Township 12 New Westminster District Plan 68269  
Lot A Section 14 Township 12 New Westminster District Plan 72158;  
Lot 52 Section 14 Township 12 New Westminster District Plan 36865  
Lot 1 Section 14 Township 12 New Westminster District Plan 69242;  
Lot 1 Section 14 Township 12 New Westminster District Plan 72997;  
Lot 78 Section 14 Township 12 New Westminster District Plan 69240; and  
Lot 56 Section 14 Township 12 New Westminster District Plan EPP114521

and outlined in heavy black line on Map No. 1823 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Low Density Townhouse Residential).

3. That Section **617.7 Setbacks** be amended by adding in Point 3. e. below:  
  
3.e. for an Accessory Structure for an Indoor Amenity Area, the structure shall be set back a minimum of 7.5m from a Principal Building or Principal Structure, if it is not attached to a Principal Building or Structure.
4. That Section **617.8 Height** be amended by adding in Point 4 below and re-numbering in correct sequential order:  
  
4. Building Height for Accessory Buildings and Accessory Structures used for an Indoor Amenity Area shall not exceed 9.5 metres.
5. Maple Ridge Zoning Bylaw No. 7600-2019, as amended, and Map 'A' attached thereto are hereby amended accordingly.

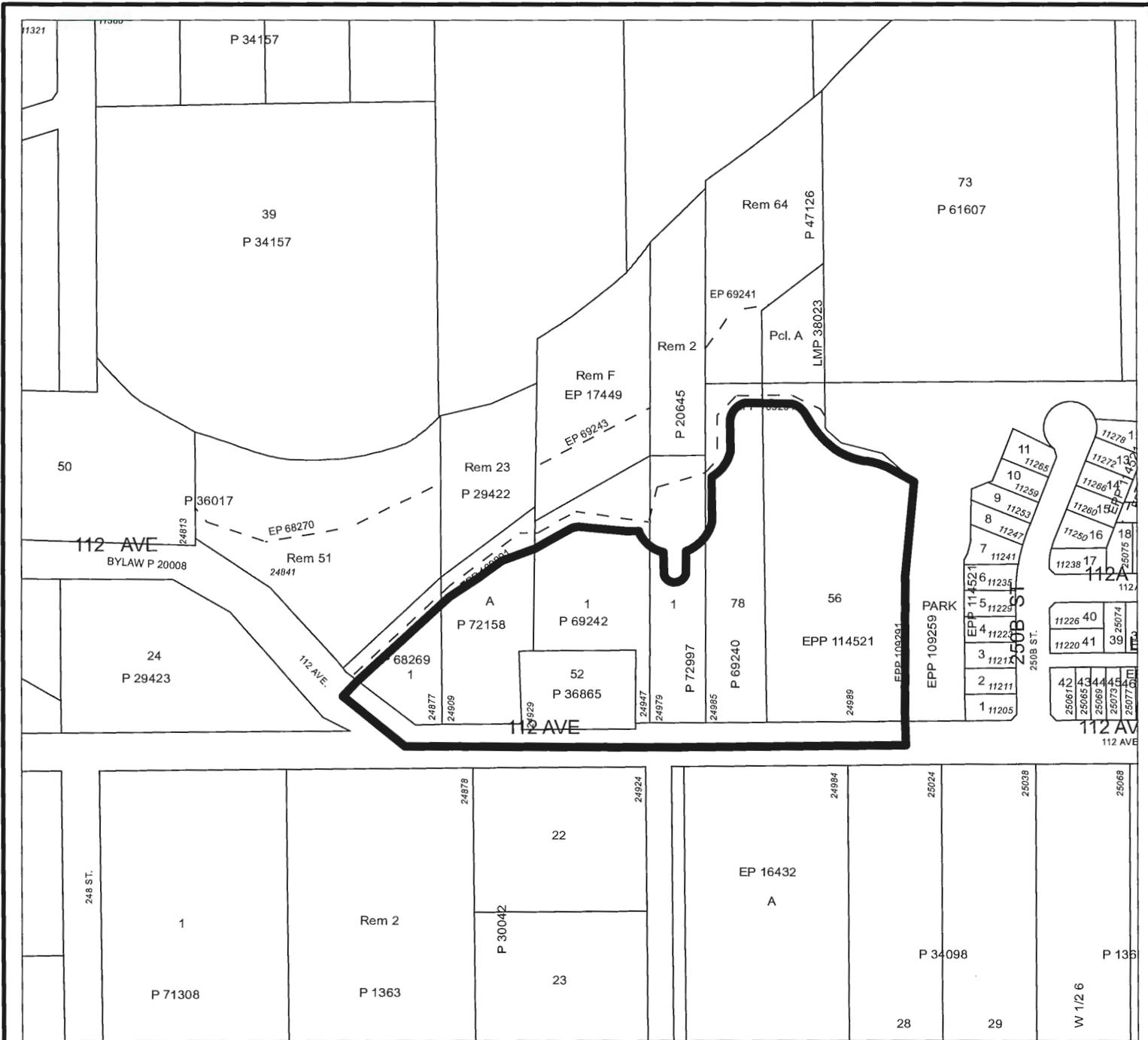
**READ** a first time the 10<sup>th</sup> day of March, 2020.

**READ** a second time, as amended, the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

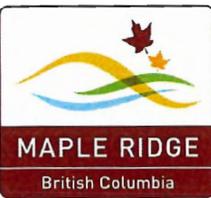
**READ** a third time the            day of            , 20

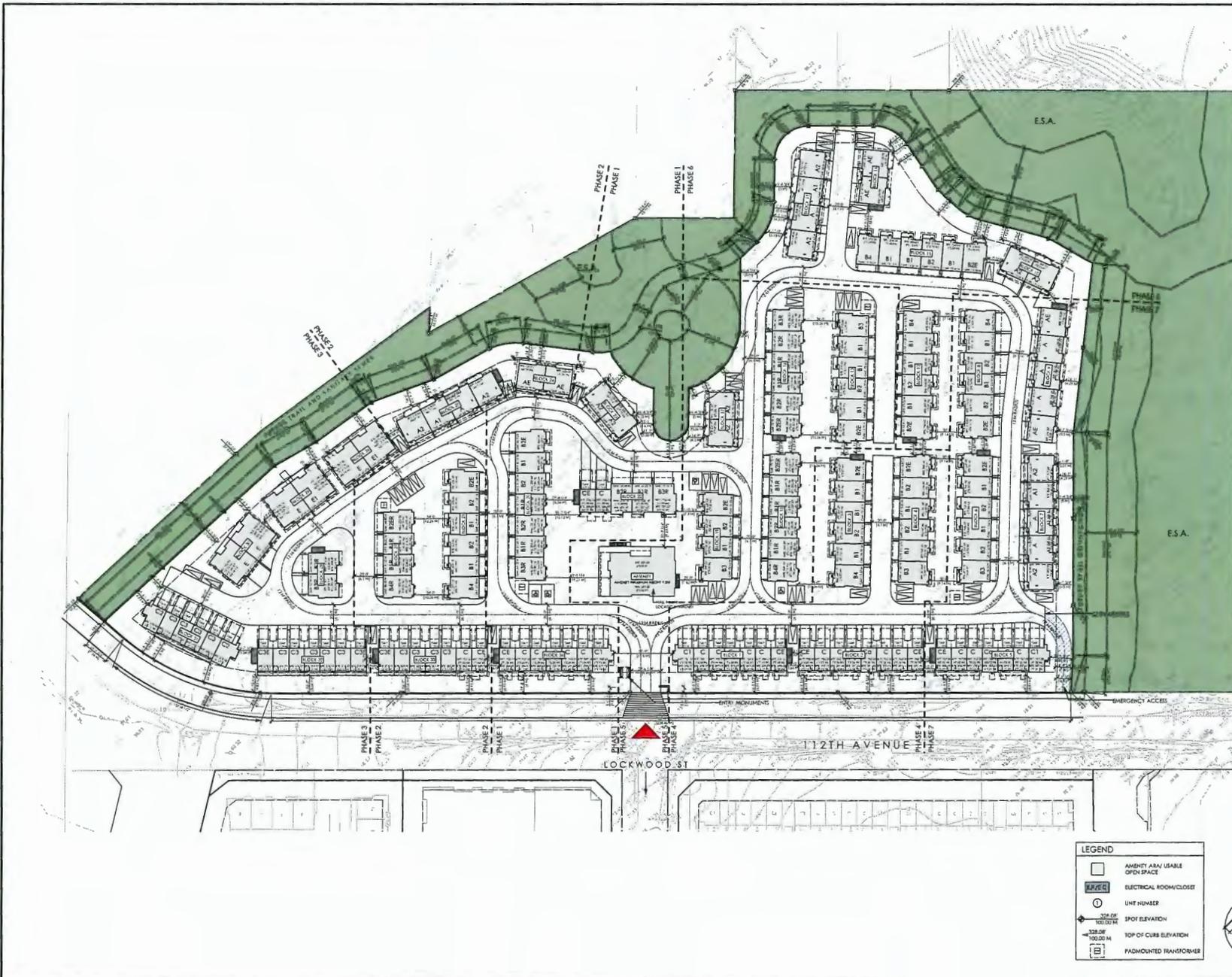
**ADOPTED**, the            day of            , 20



# MAPLE RIDGE ZONE AMENDING

Bylaw No. 7608-2020  
 Map No. 1823  
 From: RS-3 (Single Detached Rural Residential)  
 To: RM-1 (Low Density Townhouse Residential)





**COPYRIGHT RESERVED**

This plan and design are, and all of its lines remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any violation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REZONING	FEB 16 2020
ISSUED FOR DEVELOPMENT PERMIT	MAR 25 2021
REISSUED FOR DEVELOPMENT PERMIT	MAR 27 2021
REISSUED FOR DEVELOPMENT PERMIT	SEP 17 2021
ISSUED FOR ADP	JAN 25 2022
REISSUED FOR DEVELOPMENT PERMIT	MAR 16 2022



**FORMWERKS ARCHITECTURAL**

1125 WEST 5TH AVE., VANCOUVER, BC V6L 1K6  
 Fax: 604-307-4111 Phone: 604-307-4111

**PROJECT**

**THE FALLS  
KANAKA SPRINGS**

112 TH AVENUE  
MAPLE RIDGE, BC

**DRAWING**

**SITE PLAN**

**LEGEND**

	AMENITY AREA/USABLE OPEN SPACE
	ELECTRICAL ROOM/CLOSET
	UNIT NUMBER
	SPOT ELEVATION
	TOP OF CURB ELEVATION
	PADMOUNTED TRANSFORMER

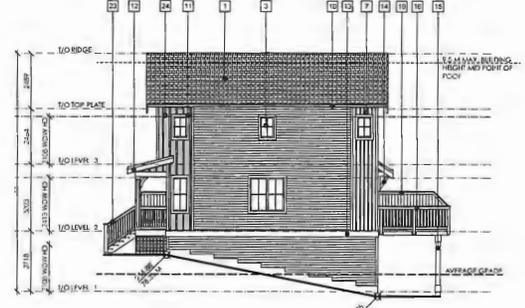


<b>SCALE</b>	1:500	<b>SHEET</b>	A
<b>JOB #</b>	8032		

**APPENDIX E**



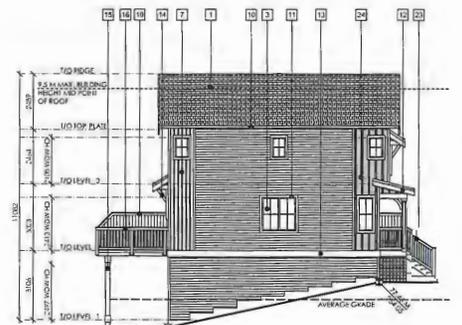
FRONT ELEVATION  
BUILDING 2



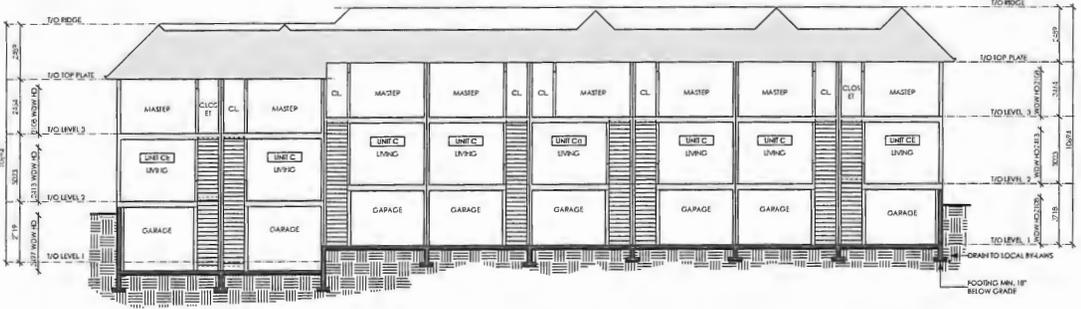
SIDE ELEVATION  
BUILDING 2



REAR ELEVATION  
BUILDING 2



SIDE ELEVATION  
BUILDING 2



SECTION  
BUILDING 2

**BUILDING HEIGHT CALCULATION - UNIT 15**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 14**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 13**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 12**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 11**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 10**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 9**

GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**BUILDING HEIGHT CALCULATION - UNIT 8**

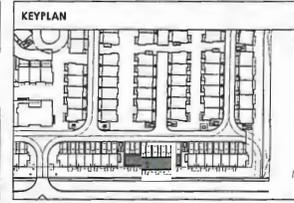
GRADE	78.42
+ NORTH EAST	78.42
+ NORTH WEST	78.42
+ SOUTH EAST	78.42
+ SOUTH WEST	78.42
AVERAGE GRADE	77.48
MAX. HEIGHT (3.5x)	86.97
TOP OF BRIDGE ELEVATION	81.83
TOP OF ARCH ELEVATION	87.59
MAX. HEIGHT ELEVATION	86.97

**FINISH SCHEDULE**

1 FIBERGLASS SHINGLE	7 4" EXPOSURE VINYL BOARD & BATTEN	13 PAINTED 2X10 TILY BOARD	19 VERTICAL WOOD SLAT PRIORITY SCREEN
2 CORRUGATED METAL ROOFING	8 PAINTED FIBRE CEMENT PANEL WITH 1X TRIMS	14 PAINTED WOOD BRACKETS	20 DECORATIVE DOWNER
3 DOUBLE PANELED SEALED UNIT VINYL WINDOWS	9 WOOD WINDOW BOX	15 WOOD CLAD PANEL POST	21 FAUX CHIMNEY
4 INSULATED METAL PANEL DOOR	10 PREFINISHED FASCIA CUTTER	16 ALUMINUM RAISING	22 METAL CHIMNEY CAP
5 PAINTED METAL PANEL ROLL UP GARAGE DOOR	11 PAINTED WOOD TRIM	17 FAUX BARN DOOR	23 PAINTED WOOD RABBING
6 DOUBLE PANELED SEALED UNIT VINYL SLIDERS	12 PAINTED 2X BARGE BOARD WITH 1X TRIM	18 DECORATIVE LOUVER	24 PAINTED FIBRE CEMENT BOARD AND BATTENS

**LEGEND**

[Symbol]	FIBRE CEMENT BOARD AND BATTEN
----------	-------------------------------



COPYRIGHT RESERVED  
This plan and design are, and of all times remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any violation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REVISION	FEB 18, 2025
ISSUED FOR DEVELOPMENT PERMIT	MAY 28, 2025
REQUIRED FOR DEVELOPMENT PERMIT	MAR 29, 2021
REQUIRED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ACP	JAN 25, 2022
REQUIRED FOR DEVELOPMENT PERMIT	MAR 14, 2022



**FORMWERKS ARCHITECTURAL**  
1625 West 5th Ave., Vancouver BC V6J 1N5  
Tel: 603-2276 Phone: 603-5441

PROJECT  
**THE FALLS KANAKA SPRINGS**  
112 TH AVENUE  
MAPLE RIDGE, BC

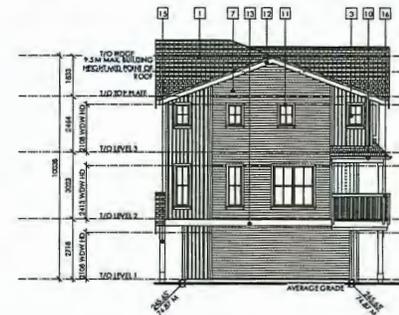
DRAWING

**BUILDING ELEVATION**

SCALE: 1:100  
JOB #: 8032  
SHEET: A



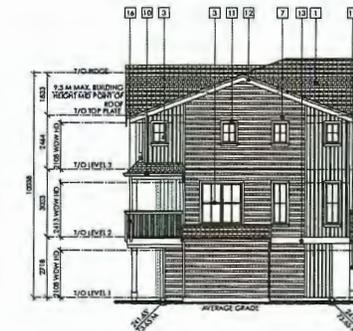
FRONT ELEVATION  
BLOCK 9



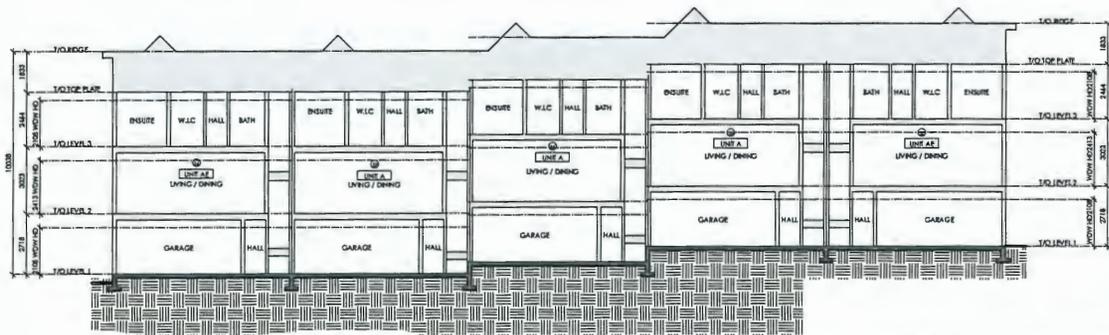
SIDE ELEVATION  
BLOCK 9



REAR ELEVATION  
BLOCK 9



SIDE ELEVATION  
BLOCK 9



SECTION  
BLOCK 9

BUILDING HEIGHT CALCULATION - UNIT S6

GRADE	73.45 M
L-NORTH EAST	73.43 M
L-NORTH WEST	73.43 M
L-SOUTH EAST	73.46 M
L-SOUTH WEST	73.45 M
AVERAGE GRADE	73.43 M
MAX. HEIGHT (F.L.H.)	83.25 M
TOP OF ROOF ELEVATION	81.57 M
TOP OF BRIDGE ELEVATION	81.49 M
MIN. POINT ELEVATION	81.32 M

BUILDING HEIGHT CALCULATION - UNIT S5

GRADE	73.45 M
L-NORTH EAST	73.43 M
L-NORTH WEST	73.43 M
L-SOUTH EAST	73.46 M
L-SOUTH WEST	73.45 M
AVERAGE GRADE	73.43 M
MAX. HEIGHT (F.L.H.)	83.25 M
TOP OF ROOF ELEVATION	81.57 M
TOP OF BRIDGE ELEVATION	81.49 M
MIN. POINT ELEVATION	81.32 M

BUILDING HEIGHT CALCULATION - UNIT S4

GRADE	74.19 M
L-NORTH EAST	74.19 M
L-NORTH WEST	74.20 M
L-SOUTH EAST	74.19 M
L-SOUTH WEST	74.19 M
AVERAGE GRADE	74.19 M
MAX. HEIGHT (F.L.H.)	84.17 M
TOP OF ROOF ELEVATION	83.46 M
TOP OF BRIDGE ELEVATION	84.05 M
MIN. POINT ELEVATION	83.32 M

BUILDING HEIGHT CALCULATION - UNIT S3

GRADE	74.82 M
L-NORTH EAST	74.82 M
L-NORTH WEST	74.82 M
L-SOUTH EAST	74.87 M
L-SOUTH WEST	74.82 M
AVERAGE GRADE	74.84 M
MAX. HEIGHT (F.L.H.)	84.82 M
TOP OF ROOF ELEVATION	83.12 M
TOP OF BRIDGE ELEVATION	83.12 M
MIN. POINT ELEVATION	84.18 M

**FINISH SCHEDULE**

1 CORRUGATED METAL ROOFING	7 6" EXPOSURE VINYL BOARD & BATH	13 PAINTED 2X10 BILLY BOARDS
2 DOUBLE PANELED SEALED UNIT WARE WINDOWS	8 PAINTED FIBRE CEMENT PANEL WITH 1X12S	14 PAINTED WOOD BRACKETS
3 INSULATED METAL PANEL DOOR	9 WOOD WINDOW BOX	15 WOOD CLAD PANEL POST
4 PAINTED METAL PANEL ROLL UP GARAGE DOOR	10 REFINISHED BLACK GUTTER	16 ALUMINUM BALING
5 UNIT WARE SLIDES	11 PAINTED WOOD TRIM	17 MIX BARN DOOR
	12 PAINTED 2X BARGE BOARD WITH 1X12S	18 DECORATIVE LOUVER
		19 VERTICAL WOOD SLAT FINNEX SCREEN
		20 DECORATIVE DORMER
		21 MIX CHIMNEY
		22 METAL CHIMNEY CAP
		23 PAINTED WOOD BALING

**LEGEND**

[Symbol]	FIBRE CEMENT BOARD AND BATH
----------	-----------------------------



COPYRIGHT RESERVED

This plan and design are, and of all times remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any variation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REDLINING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 28, 2020
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 29, 2021
RE-ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	MAR 29, 2022
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 14, 2022

**EPIC HOMES**

**FORMWERKS ARCHITECTURAL**

1625 West 8th Ave., Vancouver, BC V6J 1N5  
Tel: (604-271-1111 Fax: (604-271-1111)

**PROJECT**

**THE FALLS KANAKA SPRINGS**

112 TH AVENUE  
MAPLE RIDGE, BC

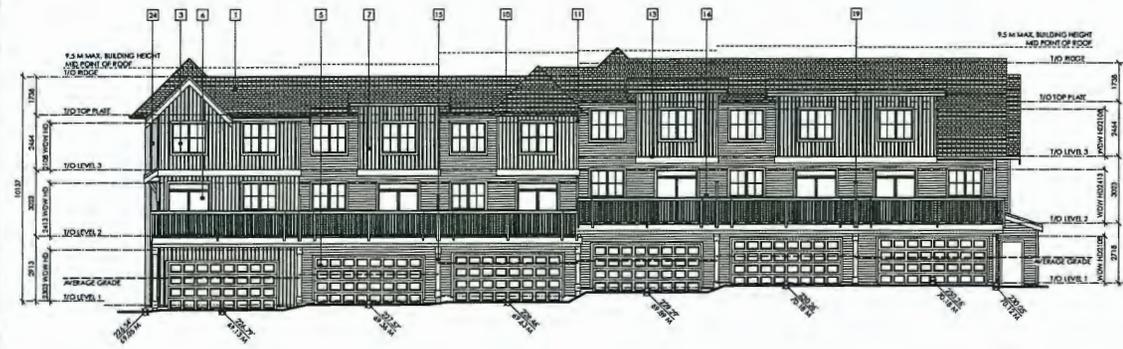
**DRAWING**

**BUILDING 9 ELEVATIONS**

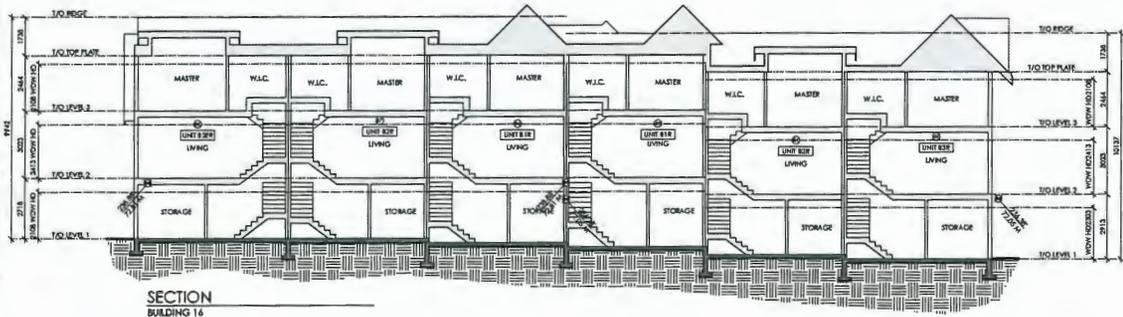
SCALE: 1:100 SHEET: A2.24  
JOB #: 8032



FRONT ELEVATION  
BUILDING 16



REAR ELEVATION  
BUILDING 16



SECTION  
BUILDING 16

**BUILDING HEIGHT CALCULATION - UNIT B5**

GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M

**BUILDING HEIGHT CALCULATION - UNIT B7**

GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M

**BUILDING HEIGHT CALCULATION - UNIT B4**

GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M

**BUILDING HEIGHT CALCULATION - UNIT B5**

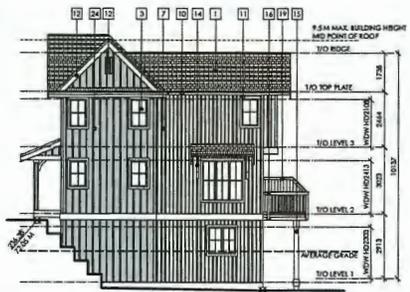
GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M

**BUILDING HEIGHT CALCULATION - UNIT B4**

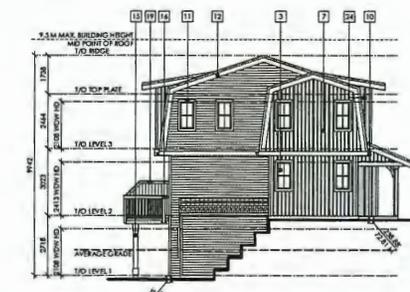
GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M

**BUILDING HEIGHT CALCULATION - UNIT B3**

GRADES	
1-NORTH EAST	72.81 M
1-NORTH WEST	73.14 M
1-SOUTH EAST	72.81 M
1-SOUTH WEST	73.14 M
AVERAGE GRADE	73.48 M
MAX. HEIGHT TO ROOF	89.24 M
TOP PLATE ELEVATION	77.35 M
TOP OF ROOF ELEVATION	89.24 M
ME. POINT ELEVATION	79.27 M



SIDE ELEVATION  
BUILDING 16



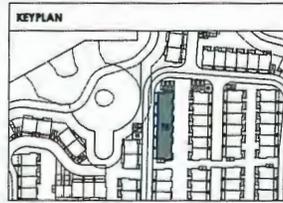
SIDE ELEVATION  
BUILDING 16

**FINISH SCHEDULE**

1. FRAMELESS SINGLE PARTITION	7. 4" EXPOSURE VINYL BOARD & BATTEN	13. PAINTED 2X6 BILLY BOARD	19. VERTICAL WOOD SLAT FINANCY SCREEN
2. CORRUGATED METAL ROOFING	8. PAINTED FIBRE CEMENT PANEL WITH 1X TRIM	14. PAINTED WOOD BRACKETS	20. DECORATIVE DOWNER
3. DOUBLE PANELED SEALED UNIT WARE WINDOWS	9. WOOD WINDOW BOX	15. WOOD CLAD PANEL POST	21. WALK CHAIRWAY
4. INSULATED METAL PANEL DOOR	10. PREFINISHED METAL GUTTER	16. ALUMINUM BALING	22. METAL CHAIRWAY CAP
5. PAINTED METAL PANEL ROLL UP GARAGE DOOR	11. PAINTED WOOD TRIM	17. WALK BARN DOOR	23. PAINTED WOOD BALING
6. UNIT VINYL SLIDERS	12. PAINTED 2X BARGE BOARD WITH 1X TRIM	18. DECORATIVE LULLIER	24. PAINTED FIBRE CEMENT BOARD AND BATTEN

**LEGEND**

[Symbol]	FIBRE CEMENT BOARD AND BATTEN
----------	-------------------------------



**COPYRIGHT RESERVED**  
This plan and design are, and at all times remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Within dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any variation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REDWING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 26, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAR 29, 2021
ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ACP	JAN 29, 2022
ISSUED FOR DEVELOPMENT PERMIT	MAR 14, 2022



**FORMWERKS ARCHITECTURAL**  
1625 West 5th Ave., Vancouver, BC V6J 1N5  
Tel: 604-207-1111 Phone: 604-544-1111

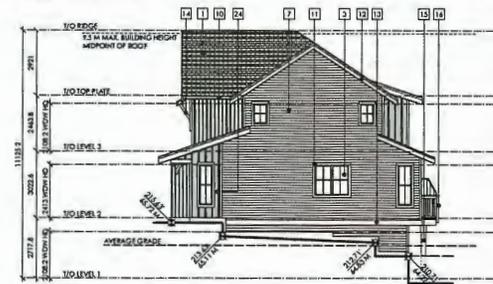
**PROJECT**  
**THE FALLS KANAKA SPRINGS**  
112 TH AVENUE  
MAPLE RIDGE, BC

**DRAWING**  
**BUILDING 16 ELEVATIONS**

**SCALE** 1:100  
**SHEET** A2.42  
**JOB #** 8032



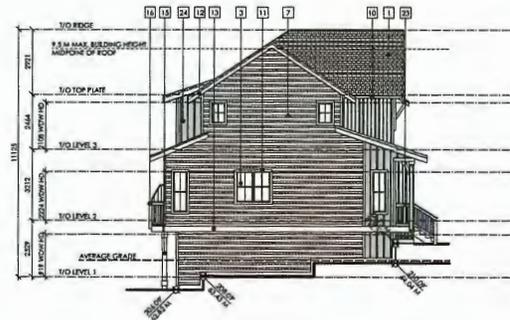
FRONT ELEVATION  
BUILDING 26



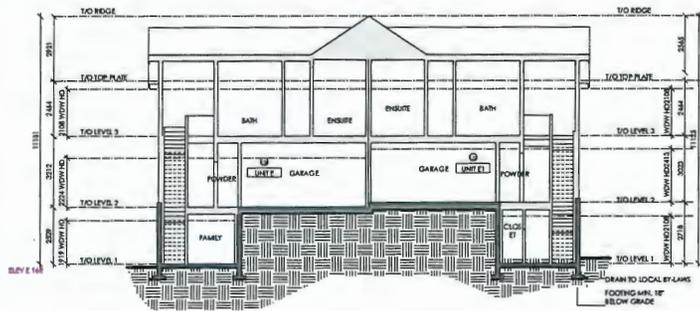
SIDE ELEVATION  
BUILDING 26



REAR ELEVATION  
BUILDING 26



SIDE ELEVATION  
BUILDING 26



SECTION  
BUILDING 26

**FINISH SCHEDULE**

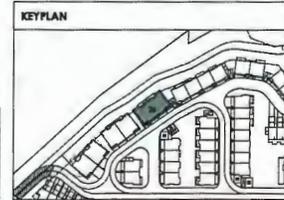
1. IRREGULAR SHINGLE ROOFING	7. 2" EXPOSED VINYL BOARD & BATT	13. PAINTED 2X10 SILEY BOARD	19. VERTICAL WOOD SLAT FINANCY SCREEN
2. CORRUGATED METAL ROOFING	8. PAINTED FIBRE CEMENT PANEL WITH 1X TRIM	14. PAINTED WOOD BRACKETS	20. DECORATIVE CORNER
3. DOUBLE PANELED SEALED UNIT VINYL WINDOW	9. WOOD WINDOW BOX	15. WOOD CLAD PANEL POST	21. PAIX CHIMNEY
4. INSULATED METAL PANEL DOOR	10. REFINISHED SHECA GUTTER	16. ALUMINUM BALING	22. METAL CHIMNEY CAP
5. PAINTED METAL PANEL ROLL UP GARAGE DOOR	11. PAINTED WOOD TRIM	17. PAIX BARN DOOR	23. PAINTED WOOD BALING
6. DOUBLE PANELED SEALED UNIT VINYL SLIDES	12. PAINTED 2X BARGE BOARD WITH 1X TRIM	18. DECORATIVE LOUVER	24. PAINTED FIBRE CEMENT BOARD AND BATTING

BUILDING HEIGHT CALCULATION - UNIT 128

SEARCH:	
NORTH-EAST	42.82M
NORTH-WEST	43.56M
SOUTH-EAST	43.47M
SOUTH-WEST	44.21M
AVERAGE BEARING	43.81M
MAX. HEIGHT 12.8 M	73.46M
TOP-PLATE ELEVATION	71.45M
TOP OF RIDGE ELEVATION	74.36M
WIND POINT ELEVATION	73.81M

BUILDING HEIGHT CALCULATION - UNIT 127

SEARCH:	
NORTH-EAST	44.22M
NORTH-WEST	43.51M
SOUTH-EAST	43.72M
SOUTH-WEST	44.81M
AVERAGE BEARING	44.02M
MAX. HEIGHT 12.8 M	76.81M
TOP-PLATE ELEVATION	73.44M
TOP OF RIDGE ELEVATION	76.35M
WIND POINT ELEVATION	75.80M



COPYRIGHT RESERVED  
This plan and design are, and of all times remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any variation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REDLINING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 24, 2020
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 29, 2021
RE-ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2021
ISSUED FOR ADP	JAN 26, 2022
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 14, 2022



**FORMWERKS ARCHITECTURAL**

1425 West 8th Ave., Vancouver, BC V6J 1H5  
Tel: 604-273-1111 Fax: 604-273-1111

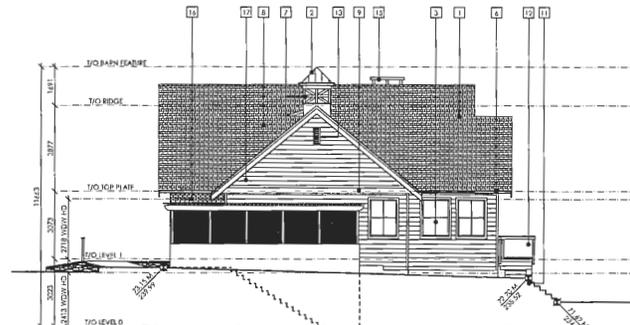
**PROJECT**  
**THE FALLS KANAKA SPRINGS**  
112 TH AVENUE  
MAPLE RIDGE, BC

**DRAWING**  
**BUILDING 26 ELEVATIONS**

SCALE: 1:100  
SHEET: A2.65  
JOB #: 8032



**SOUTH ELEVATION**  
AMENITY BUILDING



**EAST ELEVATION**  
AMENITY BUILDING

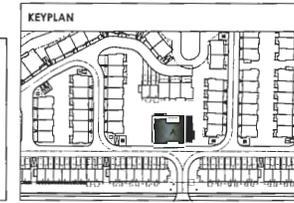


**NORTH ELEVATION**  
AMENITY BUILDING



**WEST ELEVATION**  
AMENITY BUILDING

FINISH SCHEDULE		
1) FIBREGLASS SHINGLE	7) PAINTED WOOD TRIM	13) DECORATIVE LOUVER
2) STANDING SEAM METAL ROOFING	8) PAINTED 2X BARGE BOARD WITH 1X TRIM	14) CHIMNEY
3) DOUBLE PANELED SEALED LATE VINYL WINDOWS	9) PAINTED 2X10 BELLY BOARD	15) METAL CHIMNEY CAP
4) INSULATED METAL PANEL DOOR	10) PAINTED WOOD BRACKETS	16) SPICX
5) PAINTED FIBRE CEMENT PANEL PANEL WITH 1X TRIM	11) WOOD CLAD PANEL POST	17) 8" EXPOSURE FIBRE CEMENT LAP SIDING
6) PRE-FINISHED FASCIA GUTTER	12) ALUMINUM AND GLASS RAINING	



COPYRIGHT RESERVED  
This plan and design are, and at all times remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any violation from the dimensions and conditions on the drawing.

REVISIONS	
ISSUED FOR REZONING	FEB 18, 2008
ISSUED FOR DEVELOPMENT PERMIT	MAR 28, 2008
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 28, 2011
RE-ISSUED FOR DEVELOPMENT PERMIT	SEP 7, 2011
ISSUED FOR ADP	JAN 25, 2012
RE-ISSUED FOR DEVELOPMENT PERMIT	MAR 14, 2013



PROJECT  
**THE FALLS  
KANAKA SPRINGS**  
112 TH AVENUE  
MAPLE RIDGE, BC

DRAWING  
**AMENITY  
ELEVATIONS**

SCALE 1:100  
JOB # **AB2.01**  
8032



112TH AVENUE STREETScape  
NTS



VARIETY STREETScape  
NTS

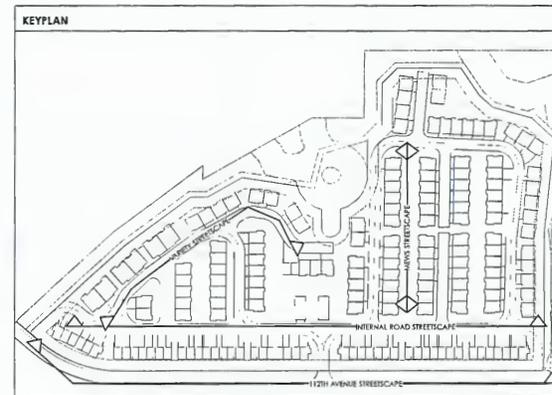


INTERNAL ROAD STREETScape  
NTS



MEWS (LOOKING WEST)  
NTS

MEWS (LOOKING EAST)  
NTS



**COPYRIGHT RESERVED**  
This plan and design are, and all of its files remain the exclusive property of Formwerks Architectural Inc. and cannot be used or reproduced without written consent by Formwerks Architectural Inc. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. Formwerks Architectural Inc. shall be informed of any variation from the dimensions and conditions on the drawing.

**REVISIONS**

ISSUED FOR REZONING	FEB 18, 2020
ISSUED FOR DEVELOPMENT PERMIT	MAY 28, 2020
REQUIRED FOR DEVELOPMENT PERMIT	MAR 29, 2021
REQUIRED FOR DEVELOPMENT PERMIT	SEP 7, 2021
STUDIOS FOR ADP	MAR 25, 2022
REQUIRED FOR DEVELOPMENT PERMIT	MAR 14, 2022



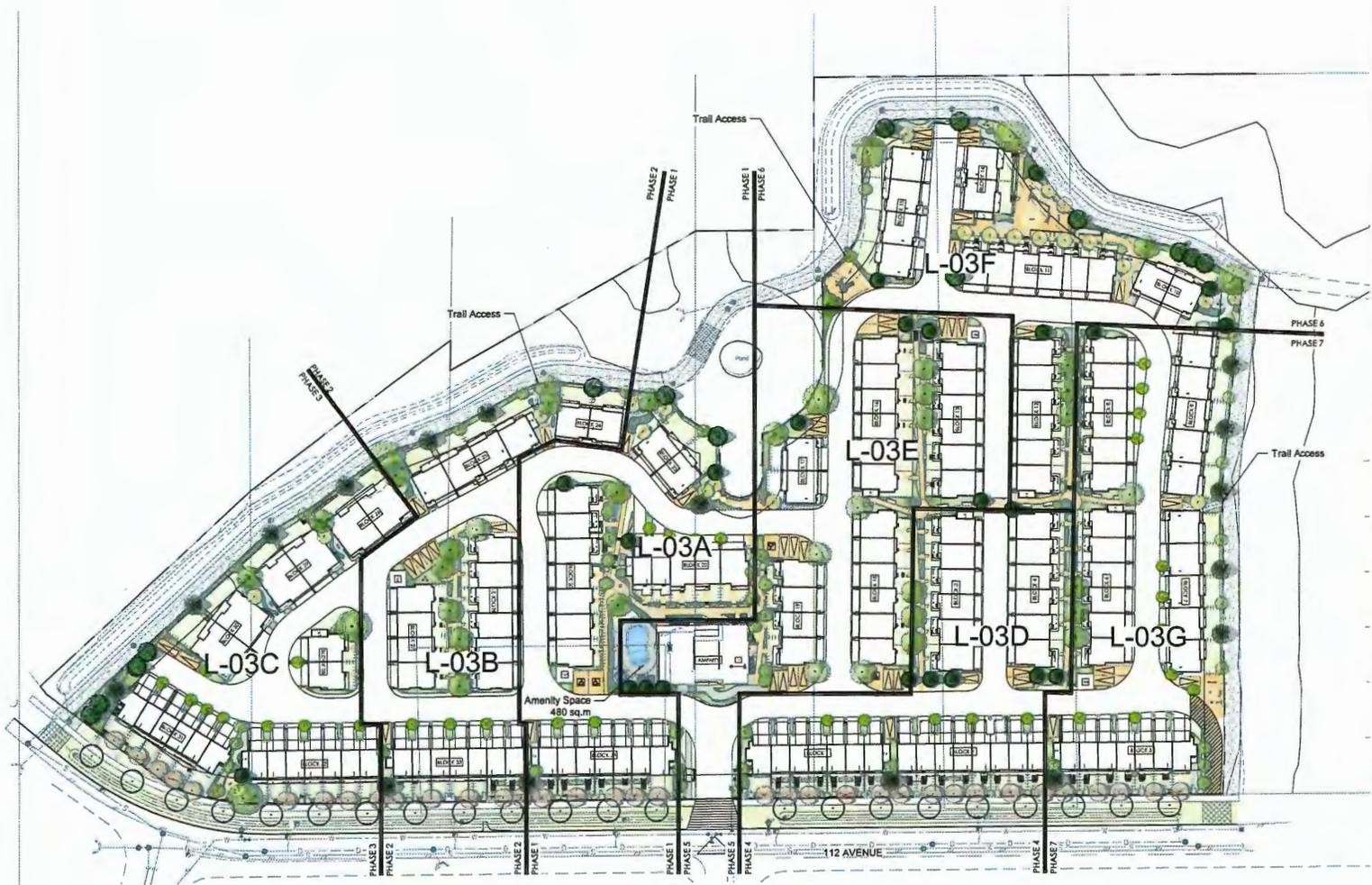
**FORMWERKS ARCHITECTURAL**

1425 West 5th Ave., Vancouver, BC V6J 1N4  
 Tel: 604-278-8888 Fax: 604-278-8888

**PROJECT**  
**THE FALLS KANAKA SPRINGS**  
 112 TH AVENUE  
 MAPLE RIDGE, BC

**DRAWING**  
**STREETSCAPES**

<b>SCALE</b>	<b>SHEET</b>
NTS	A1.07
<b>JOB #</b>	8032



No.	By	Description	Date
9	JW	Re-issued for DP	Mar. 18, 2022
8	JW	Re-issued for DP	Jan. 26, 2022
7	JW	Re-issued for DP	Sept 7, 2021
6	ET	Issued for DP	Mar 24, 2021
5	ET	Issued for Review	Mar 10, 2021
4	AL	Issued for Re-submission	Mar 09, 2021
3	AL	For Submission	Feb 09, 2021
2	DC	For Development Permit	May 27, 2020
1	DC	For Review	May 1, 2020

REVISIONS TABLE FOR DRAWINGS

\* Copyright reserved. This drawing is the property of VDDZ and may not be reproduced or used for other projects without permission.

No.	By	Description	Date
1	JW	Issued for BIM	March 7, 2022

REVISIONS TABLE FOR SHEET

Project:  
Kanakas Springs Townhomes  
Phase 1

Location:  
24877 - 24929 112th Ave  
Maple Ridge, BC

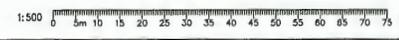
Drawn: ET  
 Checked: JW  
 Approved: MVDZ  
 Scale: 1:500

Stamp: [Signature]

Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE CONSULTANT. THE WORK SHALL BE CONSIDERED APPROVED FOR CONSTRUCTION UNLESS LABELLED OTHERWISE.

1 OVERALL PLAN AND SHEET TILES  
 Scale 1:500



Drawing Title:  
OVERALL SITE PLAN

Project #:  
P2020-18

APPENDIX G

1. PRODUCT DEVELOPMENT PERMITS/ACTS/ORDS IN KANAKAS SPRINGS TOWNHOMES PHASE 1B. 2. VISUAL REPRESENTATION OF OVERALL SITE PLAN.

The following resolution was passed regarding **2019-426-DP** at the February 16, 2022 Regular Meeting of the Advisory Design Panel (ADP).

R/2021-020

It was moved and seconded

**That the Advisory Design Panel has reviewed application 2019-426-DP and recommends that**

**The application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:**

**Architectural Comments:**

- Consider including amenity building in phase one; **Per our June 12 meeting, the amenity building has been proposed in the 5th phase**
- Consider equal colour distribution throughout the site; **Color schemes have been revised and redistributed throughout site**
- Consider increasing front yard setbacks; **The setback is still consistent with 6m under the old zoning bylaw (now 4.5m). See further comments in February 24 email**
- Consider opportunity for visible pedestrian access in southeast corner; **The emergency access material has been modified to emphasize a pedestrian corridor from 112th to the interior of the site**
- Ensure architectural language is consistent on all four sides of elevations. **Elevations have been revised on Buildings with the gambrel roof (B units) per ADP comments**

**Landscape Comments:**

- Increase 112 Avenue setback areas to improve usability of yard spaces; **Same issue as setbacks above. The private outdoor space for the units fronting 112th Avenue is 5 times the bylaw requirement**
- Consider additional stormwater management through green infrastructure on the site; **In the VDZ drawings, the stormwater management infrastructure has been highlighted. This is the plan that was approved after extensive review with engineering to comply with NE Albion LUP SWM requirements**
- Consider incorporating additional street trees on the internal road system; **Street trees have been added internally between buildings along the roads**
- Consider providing additional landscaping to screen tandem parking; **This is not possible as the C units main floor is cantilevered over top of the single exterior parking stall.**
- Consider the incorporation of childrens' programming in the space next to the amenity building as well as the distribution of childrens' programming throughout the phasing of the development. **To the north of the amenity building, there has been a new children's amenity area added with features including canoe and play houses**

CARRIED UNANIMOUSLY

Thank you for your time,



March 25, 2022

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attn: Michelle Baski

**Re: Summary of Public Opportunity Comment Period for 2019-426-RZ**

In conjunction with the above-noted rezoning application and per the amended Public Comment Opportunity – Developer Process guidelines, Epic NE Albion Homes Ltd. held an open comment opportunity period from Monday, March 5 to Thursday, March 24.

Per the guidelines, the public comment opportunity was advertised in two consecutive editions of the Maple Ridge News (March 4 & March 11), posted via the onsite signage, and mailers were sent out to all residents within 100m of the development site. For your records, copies of the material above have been attached to this letter.

Throughout the public comment opportunity period, Epic Homes received two inquiries directly:

1. On March 10<sup>th</sup>, a resident emailed asking for a site plan that was clearer than the ad in the paper. A site plan was provided, and the resident did not offer any further comments.
2. On March 14<sup>th</sup>, a resident phoned requesting information on the OCP amendment. The question was answered when it was confirmed that the OCP amendment on this application was to match the designations and densities approved in the NE Albion Land Use and Servicing Concept Plan. The resident was a resident of Grant Hill and was familiar with the approved NE Albion plan.

In addition, the planning department received a letter dated March 21, 2022. A response to those queries would be that the application is consistent with the newly approved NE Albion Official Community Plan Amendment and that City water and sanitary sewers will be provided to the development via future rezoning servicing agreements.

Outside of the items above, we did not receive any additional inquiries or comments. Should you have any additional questions or concerns, please do not hesitate to contact the writer directly.

I trust the above and enclosed to be in order.

Kind Regards,  
**Epic NE Albion Homes Ltd.**



Cole Lambert

To Planning Department  
City of Maple Ridge

march 21, 2022

re: Rezoning Application 2019-426 RZ  
Public Comment

1. I question the wisdom of this development in this location. It is very close to Kanaka Creek and with climate changing it may be at risk.
2. I don't expect there is room for septic tanks and fields. What will happen to the sewage?
3. Where will the drinking water come from?
4. The loss of trees contributes to climate change and poor health.
5. The decision to develop North Albion is short sighted.



Scale: 1:1,632

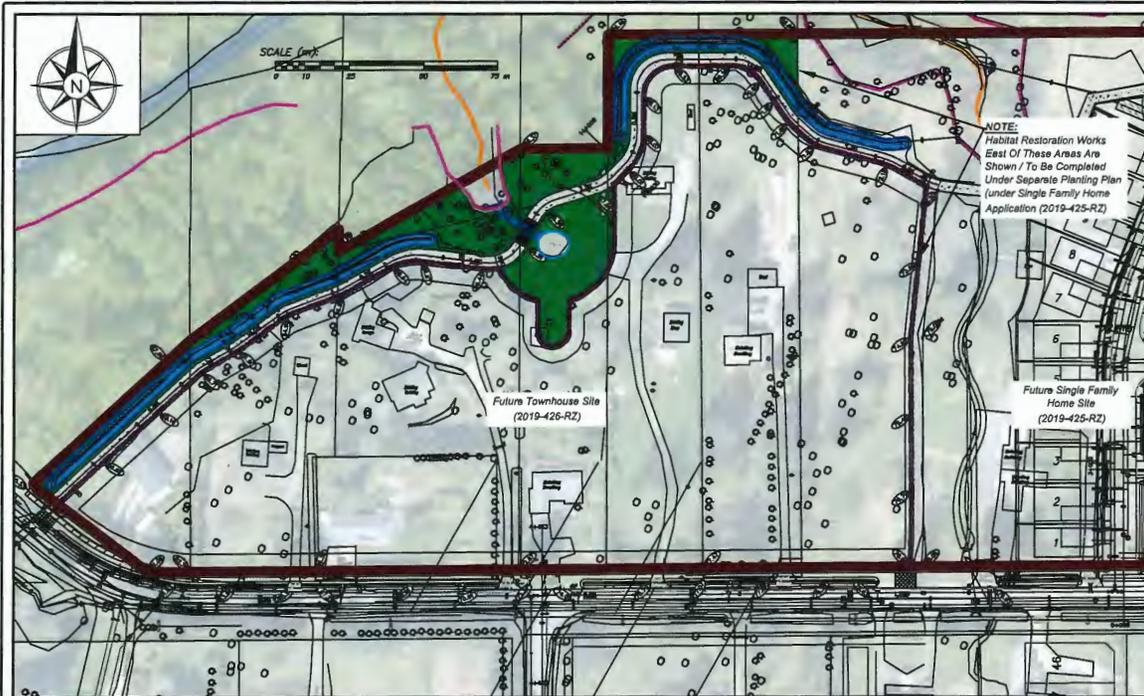
Preliminary Environmental Context  
for properties at 24909, 24947,  
24979, 24985, 24989, 25011 and  
25071 112th Avenue

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.



FILE: Subject Map 2018  
DATE: Feb 19, 2020

BY: MP



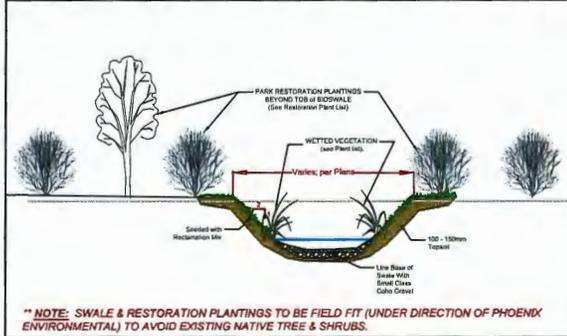
RESTORATION PLANTING PLAN LIST:

Restoration Planting List	Amount	Botanical Name	Common Name	Spacing	Size
3,358 m <sup>2</sup>	25	<i>Acer macrophyllum</i>	Big-leaf maple	3-4 m	5 gallon
	25	<i>Pseudotsuga menziesii</i>	Douglas Fir	3-4 m	5 gallon
	45	<i>Thuja plicata</i>	Western Red Cedar	3-4 m	5 gallon
	20	<i>Picea sitchensis</i>	Sitka Spruce	3-4 m	5 gallon
	15	<i>Sorbus aucuparia</i>	Mountain Ash	3-4 m	5 gallon
	20	<i>Tsuga heterophylla</i>	Western Hemlock	3 m	5 gallon
	25	<i>Prunus emarginata</i>	Bitter Cherry	3 m	5 gallon
	45	<i>Crataegus douglasii</i>	Black Hawthorne	1 m	2 gallon
	150	<i>Sambucus racemosa</i>	Red Elderberry	1 m	2 gallon
	125	<i>Physocarpus capitatus</i>	Pacific Ninebark	1 m	2 gallon
	225	<i>Mahonia nervosa</i>	Oregon Grape	1 m	2 gallon
	200	<i>Rubus parviflorus</i>	Thimbleberry	1 m	2 gallon
	325	<i>Rubus spectabilis</i>	Salmonberry	1 m	2 gallon
	275	<i>Symphoricarpos albus</i>	Snowberry	1 m	2 gallon
	100	<i>Acer circinatum</i>	Vine Maple	2 m	2 gallon
275	<i>Rosa nutkana</i>	Nootka Rose	1 m	2 gallon	
355	<i>Cornus stolonifera</i>	Red-osier Dogwood	1 m	2 gallon	
500	<i>Polystichum munitum</i>	Western Sword Fern	< 1 m	1 gallon	
500	<i>Gaultheria shalon</i>	Salal	< 1 m	1 gallon	
<b>Total Plants =</b>	<b>3250</b>	Total amount estimated includes wholesale plant cost, delivery, and labour costs for initial install works.			

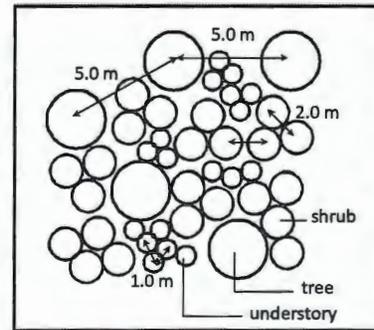
(List assumes only ~95% of area requires plants based on existing vegetation)

Bioswale Planting List	Amount	Botanical Name	Common Name	Spacing	Size
1,199 m <sup>2</sup>	200	<i>Rubus spectabilis</i>	Salmonberry	1 m	2 gallon
	275	<i>Polystichum munitum</i>	Sword Fern	0.75 m	1 gallon
	350	<i>Spiraea douglasii</i>	Hardhack	0.5 m	1 gallon
	650	<i>Carex obnupia</i>	Slough Sedge	0.5 m	1 gallon
	650	<i>Scirpus microcarpus</i>	Bulrush	0.5 m	1 gallon
	<b>Total Plants =</b>	<b>2125</b>	Total amount estimated includes wholesale plant cost, delivery, and labour costs for initial install works.		

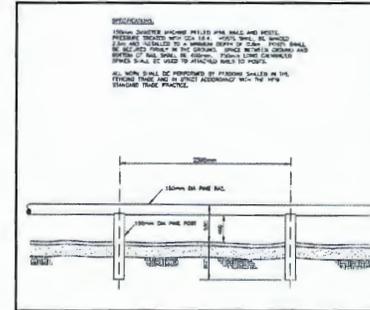
WETTED PLANTING DETAIL (n.i.s.):



[TYP] PLANT LAYOUT DIAGRAM:



POST & RAIL PARK BOUNDARY FENCE SPEC:



General Notes:

1. All landscape / planting operations are to comply with the *City of Maple Ridge Planting Requirements*.
2. Topsoil is to be placed in the planting areas, and be a minimum depth of 150mm.
3. A field visit should be conducted prior to restoration works to verify and flag planting areas. Bioswale and plant installation locations may need to be adjusted in the field based Phoenix Environmental is to be present on site to direct planting works.
4. All Invasive/Noxious species must be grubbed out and removed from the Site prior to plant installation; invasives are to be disposed at an approved dump/composting site.
5. A post & rail fence is to be installed along the Park Boundary, per City of Maple Ridge specification shown.
6. Any changes/alterations made to this planting plan must be approved by Phoenix Environmental Services Ltd.

- SITE BOUNDARY
- NON-FISH BEARING STREAMS
- SURVEYED TOP-OF-BANK (TOB)
- SURVEYED HIGH WATER MARK (HWM) of CONSTRUCTED POND
- PROPOSED PARK BOUNDARY / POST & RAIL FENCE LOCATION

- RIPARIAN HABITAT ENHANCEMENT PLANTING AREA = 3,358 m<sup>2</sup>
- STORM WATER MANAGEMENT BIOSWALE & DAYLIGHTED CHANNEL PLANTING AREA = 1,199 m<sup>2</sup>

Figure 4: HABITAT ENHANCEMENT & RESTORATION PLANTING PLAN

**EPIC NE ALBION HOMES LTD.**  
 PROPOSED RESIDENTIAL TOWNHOUSES  
 24909 - 25057 112th Ave, Maple Ridge, BC



DATE: AUG, 2021 | DRAWN BY: NGL | SCALE: AS SHOWN | DWG: Epic\_KanakaTwnhs\_EIAmaps.dwg



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **First and Second Reading**  
**Official Community Plan Amending Bylaw No. 7834-2022**  
**Second Reading**  
**Zone Amending Bylaw No. 7539-2019**  
**11839 and 11795 267 Street**

**MEETING DATE:** June 7, 2022  
**FILE NO:** 2019-055-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties, located at 11839 and 11795 267 Street, from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential), to permit a future subdivision of approximately fifteen single-family lots, consisting of three fee simple lots and twelve bare-land strata lots. Council granted first reading to *Zone Amending Bylaw No. 7539-2019* on April 9, 2019. The minimum lot size for the proposed zone is 1 acre (0.4 ha).

The proposed RS-2 zoning complies with the policies of the Official Community Plan (OCP). However, an amendment to the OCP is required to amend the *Park* boundary.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program and the rates applicable at third reading of this application.

**RECOMMENDATIONS:**

1. That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting *Official Community Plan Amending Bylaw No. 7834-2022* on the municipal website, and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;
2. That *Official Community Plan Amending Bylaw No. 7834-2022* be given first and second reading and forwarded to Public Hearing;
3. That *Zone Amending Bylaw No. 7539-2019*, as amended, be given second reading and forwarded to Public Hearing;
4. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Road dedication and upgrading to the Rural Local Road standard, on 118 Avenue and 267 Street, as required;

- iii) Park dedication as required, including construction of walkways; and a letter confirming removal of all debris and garbage from park land;
- iv) Consolidation of the properties;
- v) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;
- vi) Registration of a Restrictive Covenant for the protection of an Agricultural Landscape Buffer adjacent to Agricultural Land Reserve lands to the west;
- vii) Registration of a Statutory Right-of-Way plan for a municipal storm sewer;
- viii) Registration of a Restrictive Covenant for Tree Protection;
- ix) Registration of a Restrictive Covenant for Stormwater Management;
- x) Registration with Fraser Health for septic disposal, and registration of a Restrictive Covenant for the protection of the septic field areas;
- xi) Registration with the Ministry of Environment Water Protection and Sustainability Branch for water wells;
- xii) A Professional Engineer's certification that adequate water quantity for domestic and fire protection purposes can be provided;
- xiii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, then a Stage 1 Site Investigation Report is required to ensure that the subject properties are not contaminated sites; and
- xiv) That a voluntary contribution be provided, in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.

**DISCUSSION:**

**1. Background Context:**

Applicant: David Laird, Aplin & Martin Consultants

Legal Description: Lot 2 Section 18 Township 15 New Westminster District Plan 7439;  
 Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235)  
 Section 18 Township 15 New Westminster District Plan 5612

OCP:

Existing:	Suburban Residential
Proposed:	Suburban Residential

Within Urban Area Boundary:	No
Area Plan:	No
OCP Major Corridor:	No
Zoning:	
Existing:	RS-3 (Single Detached Rural Residential)
Proposed:	RS-2 (Single Detached Suburban Residential)

Surrounding Uses:	
North:	Use: Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Suburban Residential
South:	Use: Regional Kanaka Creek Park and Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Park and Agricultural and Suburban Residential
East:	Use: Single-Family Residential and Park
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Suburban Residential and Park
West:	Use: Vacant land and Single-Family Residential
	Zone: RS-3 (Single Detached Rural Residential)
	Designation: Agricultural and Suburban Residential

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	9.0 hectares (22.2 acres)
Access:	New extension of 118 Avenue to be constructed
Servicing:	Rural standard
Fraser Sewer Area:	No
Flood Plain:	No
Companion Applications:	2019-055-SD, 2021-261-DP and 2019-055-DP

**2. Background:**

The application as originally submitted, proposing RS-2 zoning, aligns with the *Suburban Residential* designation, which at that time has been discussed extensively by Council. Previous Councils have expressed concern about allowing residential development outside of the Urban Area Boundary and have previously denied applications for this purpose. On September 5, 2017, Council reaffirmed the *Suburban Residential* designation with the following resolution:

*That no changes be made to the current policies in the Official Community Plan for Estate Suburban Residential and Suburban Residential Land Use Designations, as discussed in the Council report dated September 5, 2017.*

On this basis, this proposal remains consistent with the OCP, and Council granted first reading to *Zone Amending Bylaw No. 7539-2019* on April 9, 2019. The isolation of this site relative to City water and street access has taken time for the project engineer to work through servicing details.

### 3. Project Description:

The subject properties, located at 11839 and 11795 267 Street, are designated *Suburban Residential*. The southwest boundary of the subject properties is adjacent to Agricultural Land Reserve land, and Kanaka Creek Regional Park intersects at the southeast corner. A watercourse traverses the subject properties along the eastern edge and the north portion of the western edge. The subject properties are also within the vicinity of the Whonnock Aquifer.

This rezoning application proposes a 15 lot subdivision of RS-2 (Single Detached Suburban Residential) parcels, three of which will be fee simple lots, and 12 will be bare-land strata lots. Each of the two subject properties currently has an existing house, and both dwellings are proposed to be retained with this proposal.

The proposed road layout for this development will enable the development potential for adjacent properties that are also designated *Suburban Residential*. This development proposal is consistent with the *Suburban Residential* land use designation for the subject properties (see Appendix A).

### 4. Planning Analysis:

#### i) Official Community Plan:

The subject properties are currently designated *Suburban Residential*. This designation permits single detached and duplex housing in areas outside of the Urban Area Boundary, that may have municipal water service but which are not connected to the municipal sanitary sewer system. For the proposed development an OCP amendment will be required to amend the parkland boundary, to include required dedicated *Park* (see Appendix C). The designation supports the proposed development under the RS-2 zone.

#### ii) Zoning Bylaw:

The current application proposes to rezone the subject properties from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential) to permit a subdivision into 15 single-family lots (see Appendix D). *Zone Amending Bylaw No. 7539-2019* has been updated to reflect the new Zoning Bylaw No. 7600-2019

#### iii) Development Permits:

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated *Conservation* on Schedule "B" or all areas within 50 metres of an area designated *Conservation* on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 percent; and
- All floodplain areas and forest lands identified on Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

Identification of environmentally sensitive areas (watercourse and steep slopes), park dedication and identifying pervious areas and stormwater management has been incorporated into the design (see Appendix F). The Watercourse Protection and Natural Features Development Permit report will be subject of a future report to the Director of Planning

**iv) Development Information Meeting:**

In lieu of an in-person Development Information Meeting, a public comment opportunity was presented to the neighbourhood, between December 8 and December 20, 2021. Seven people used to opportunity to provide feedback to the applicant (see Appendix G).

A summary of the main comments and discussions with the attendees was provided by the applicant and include the following main points:

- Traffic impact to the rural neighbourhood, by new residents driving to/from work;
- Light impact by the light fixtures on and in the dwellings; and
- Seeking clarification If this development has any impact to the regional park

The following responses were provided by the applicant in response to the fore-mentioned issues raised by the public:

- Not disputing traffic impact. Clarification was provided that the feedback will be forwarded on to Council for further consideration;
- Lighting will mostly be centered around the dwelling units on the lots, and a natural buffer will be created towards the park area; and
- Clarification was provided on the implemented buffers along the perimeter, and no comments were received after.

**v) Parkland Requirement:**

As there are more than two additional lots proposed to be created, the developer is required to comply with the park dedication requirements of Section 510 of the *Local Government Act* prior to subdivision approval.

For this project, there is sufficient land that is proposed to be dedicated as *Park* on the subject properties and this land will be required to be dedicated as a condition of final reading.

**5. Environmental Implications:**

A tree protection area will be covenanted along the dedicated *Park* land on the eastside of the subject properties, with a log rail fence for visual boundary. The tree retention opportunities on proposed lots 5 and 6 will be further investigated, to provide retention recommendations from the project arborist to the healthier trees in this area. Fencing around the tree cluster would be required, including signage.

The Qualified Environmental Professional (QEP) needs to provide a final cost estimate, including the invasive management plan and maintenance/monitoring portion for the enhancement and restoration plan. A security deposit is required for these works.

This site is located on the Whonnock Aquifer and thus a ground water impact assessment will be required by an engineer at the subdivision stage to ensure protection of existing area wells and ground water.

## **6. Agricultural Impact:**

Agricultural lands are adjacent to the west side of the subject properties. A 15 metre wide buffer zone is provided to the west side of proposed lots 1 to 5 of the bare land strata lots. The buffer is in accordance with best practices on development adjacent to agricultural lands. This vegetated agricultural setback area will be required to be placed into a Restrictive Covenant on the east side, including appropriate fencing and signage for the boundary.

## **7. Interdepartmental Implications:**

### **i) Engineering Department:**

The Engineering Department has indicated that the following servicing upgrades will be required through the Rezoning Servicing Agreement:

- a) Road dedication on 267 Street and 118 Avenue as required to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*. Dedication for a new road will be a condition of the future subdivision application.
- b) Utility servicing as required to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*
- c) Frontage upgrades to the applicable road standard.
- d) The development will be required to comply with the requirements of the *Best Management Practice – Water Service for Large Lot Suburban Residential Development*.

### **ii) Parks, Recreation and Culture Department:**

Environmental setbacks of 15m will be provided adjacent to Kanaka Creek Regional Park. Planting details for the proposed bioswale along the new Warner Way (strata maintained), and along 118 Avenue allow for maintenance by way of flail mowing. This review will take place as part of the Watercourse Protection and Natural Features Development Permit application. A trail connection is required along 118 Avenue for a future connection to trails in Kanaka Creek Regional Park.

## **8. Intergovernmental Implications:**

### **i) Metro Vancouver:**

Policy 5-7 of the Official Community Plan recognizes the role of senior agencies in managing the City's natural resources, as follows:

*Maple Ridge will work in co-operation with Regional, Provincial, and Federal authorities and plans that contribute to the management and protection of the District's natural features, and many include but are not limited to the Blue Mountain Provincial Forest Recreation Management Strategy, Blaney Bog Regional Park, the Kanaka Creek Regional Park Management Plan, and the policies and regulations of the Agricultural Land Commission.*

In order to meet this objective, this development application, adjacent to the Kanaka Creek Regional Park, was referred to the parks planning section of Metro Vancouver prior to second reading. Metro Vancouver staff has provided City staff with the following comments to the proposal, in reference to the adjacent Kanaka Creek Park:

1. **East property boundary:** *The east side of the application borders the new land that Metro Vancouver recently purchased, which is now parkland. We would like to have a pro-active approach regarding potential property encroachment as it is an issue we frequently see in our system. We would like to work with the City and the applicant to find ways to protect that boundary. Here are a few ideas how to discuss further:*
  - a. *Install a property marker on the ground such as low fence (like post and rail fence as shown elsewhere in the plan), confirmed by a survey, along the property line between park and private development.*
  - b. *Define a building setback for residential development and conduct a hazard tree assessment survey. This would help identify potential hazard trees located on our property and limit risk factor for both.*
  
2. **Connectivity:** *The park management plan identifies a high-level connection around the area in question, north of Kanaka Creek. With the property we recently purchased and this proposed development, we see opportunities to create more trails through the forest and that connects to the park trail network. We would like to work with you and the applicant to find ways to create a pedestrian trail along 118 Street. This new trail would connect in the park through future trails to the west, new property purchased, and to the east, existing park. We hope that this proposed connection to the park's trail system would also limit the likelihood of new residents potentially creating their own trails through the park, as Kanaka's creek is a sensitive watershed.*
  
3. **South property boundary:** *Metro Vancouver would like to see stronger protection through a wider setback at the top of bank to further protect Kanaka Creek if possible.*

Staff Comment: City staff have negotiated a 15 metre setback and tree protection buffer including a low level fence and signage along the southern boundary of the subdivision that abuts the Kanaka Creek Regional Park. No access to the Regional Park has been accommodated by the bare land strata subdivision which will limit negative impacts to the park by the general public.

ii) **Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment for new Park boundary as required for this application, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

**CONCLUSION:**

It is recommended that first and second reading be given to *Official Community Plan Amending Bylaw No. 7834-2022*, that second reading be given to *Zone Amending Bylaw No. 7539-2019* as amended, and that application 2019-055-RZ be forwarded to Public Hearing.

“Original signed by Charles Goddard” for

---

Prepared by: **Therese Melser**  
**Planning Technician**

“Original signed by Charles Goddard”

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

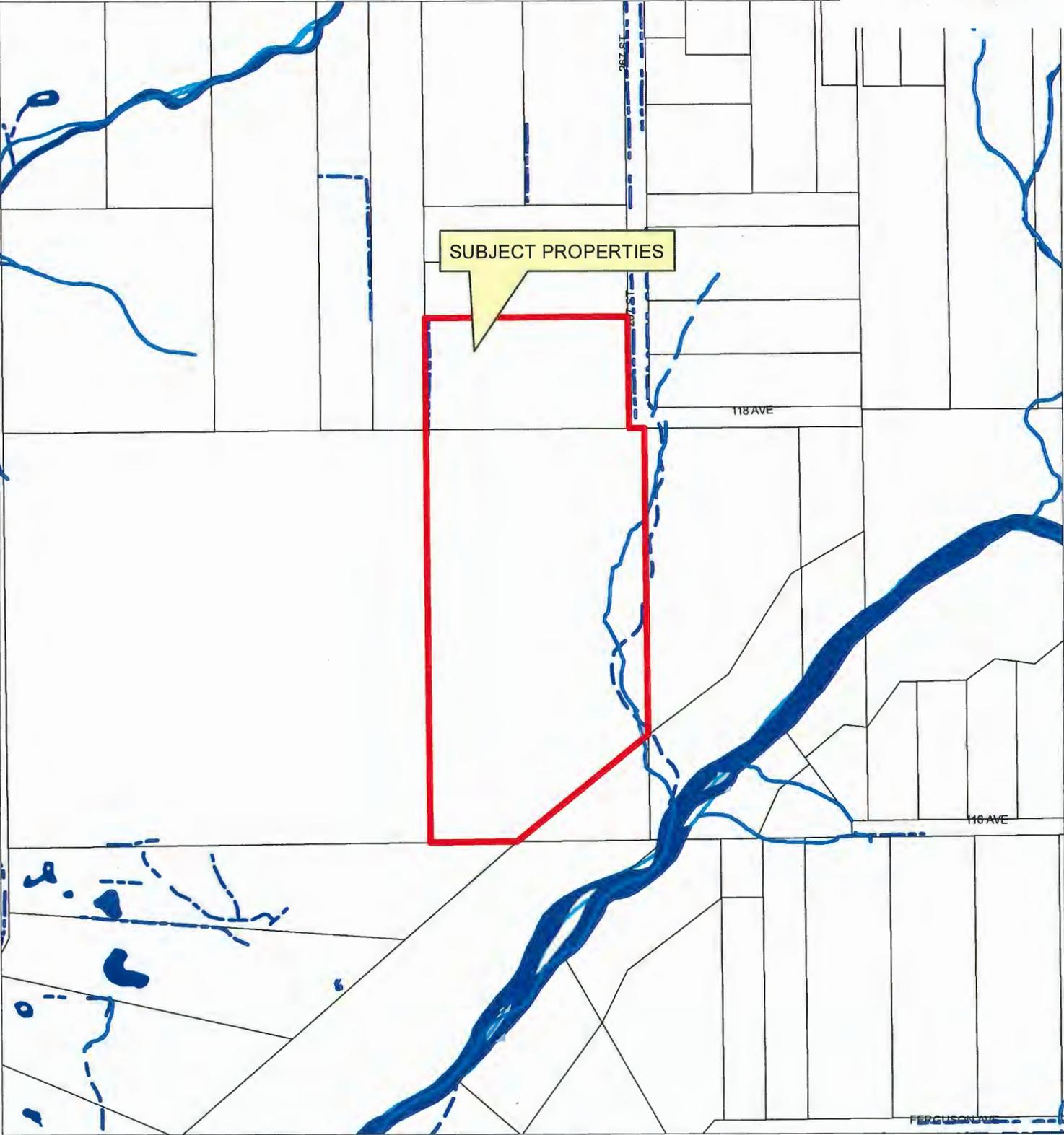
“Original signed by Christine Carter” for

---

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Official Community Plan Amending Bylaw No. 7834-2022
- Appendix D – Zone Amending Bylaw No. 7539-2019
- Appendix E – Proposed Subdivision Plan
- Appendix F – Preliminary Environmental Context Map
- Appendix G – Development Information Meeting Feedback



Scale: 1:5,000

**Legend**

-  Stream
-  Ditch Centreline
-  Edge of River
-  Indefinite Creek
-  Lake or Reservoir
-  River
-  Major Rivers & Lakes

11795 267 St, PID 007-976-640  
 11839 267 St, PID 011-231-386

PLANNING DEPARTMENT

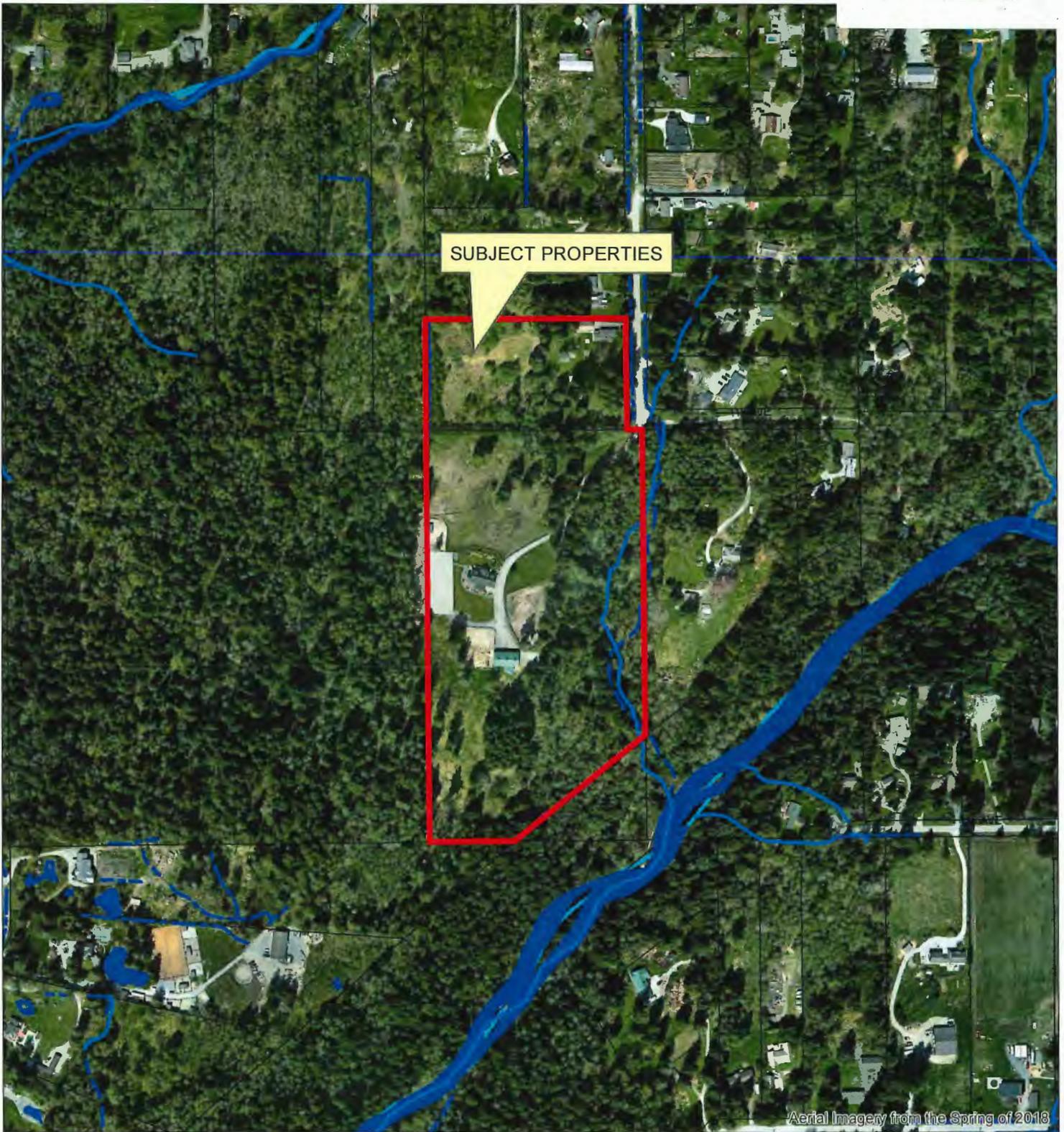


**MAPLE RIDGE**  
 British Columbia

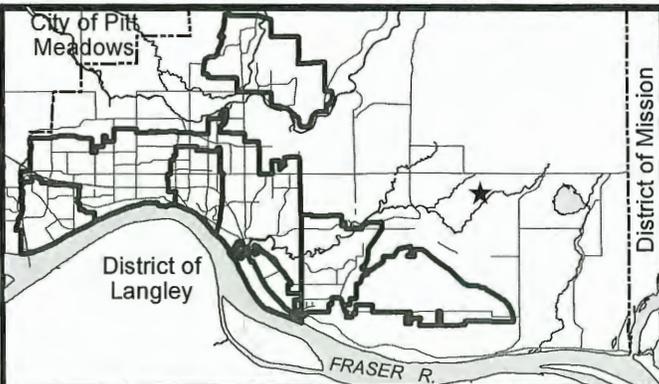
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-055-RZ  
 DATE: Feb 14, 2019

BY: MC



Scale: 1:5,000



11795 267 St, PID 007-976-640  
 11839 267 St, PID 011-231-386

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-055-RZ  
 DATE: Feb 14, 2019

BY: MC





**CITY OF MAPLE RIDGE  
BYLAW NO. 7539-2019**

A Bylaw to amend Schedule "A" Zoning Map forming part of  
Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7539-2019."
2. Those parcels or tracts of land and premises known and described as:

Lot 2 Section 18 Township 15 New Westminster District Plan 7439;  
Lot 4 Except: Parcel A (Statutory Right of Way Plan LMP50235) Section 18 Township 15  
New Westminister District Plan 5612

and outlined in heavy black line on Map No. 1793, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-2 (Single Detached Suburban Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Schedule "A" Zoning Map attached thereto are hereby amended accordingly.

**READ** a first time the 9<sup>th</sup> day of April, 2019.

**READ** a second time as amended the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

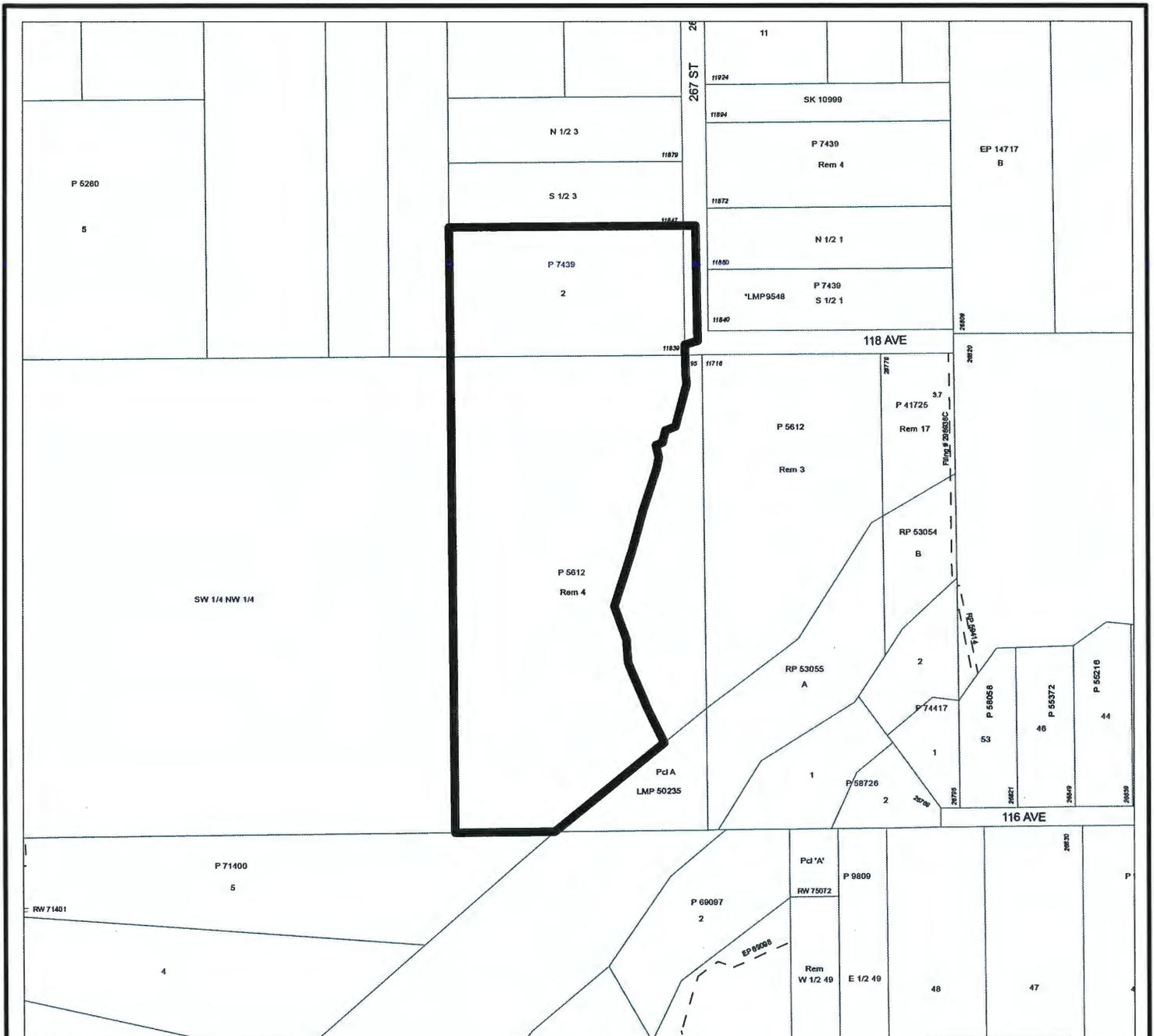
**ADOPTED**, the            day of            , 20

---

**PRESIDING MEMBER**

---

**CORPORATE OFFICER**



# MAPLE RIDGE ZONE AMENDING

Bylaw No. 7539-2019

Map No. 1793

From: RS-3 (Single Detached Rural Residential)

To: RS-2 (Single Detached Suburban Residential)



SCALE 1:4,500

PROPOSED SUBDIVISION OF LOT 4 EXCEPT<sup>TM</sup> PARCEL A (STATUTORY  
RIGHT OF WAY PLAN LMP50235) PLAN.5612 AND  
LOT 2 PLAN 7439  
ALL OF SECTION 18 TOWNSHIP 15 NEW WESTMINSTER DISTRICT

(DRAFT)

DECEMBER 21, 2015

**GRID ADDRESS:**  
1178 267th Street, Maple Ridge, B.C.  
P.O. 007-878-410  
1182 267th Street, Maple Ridge, B.C.  
P.O. 011-231-368

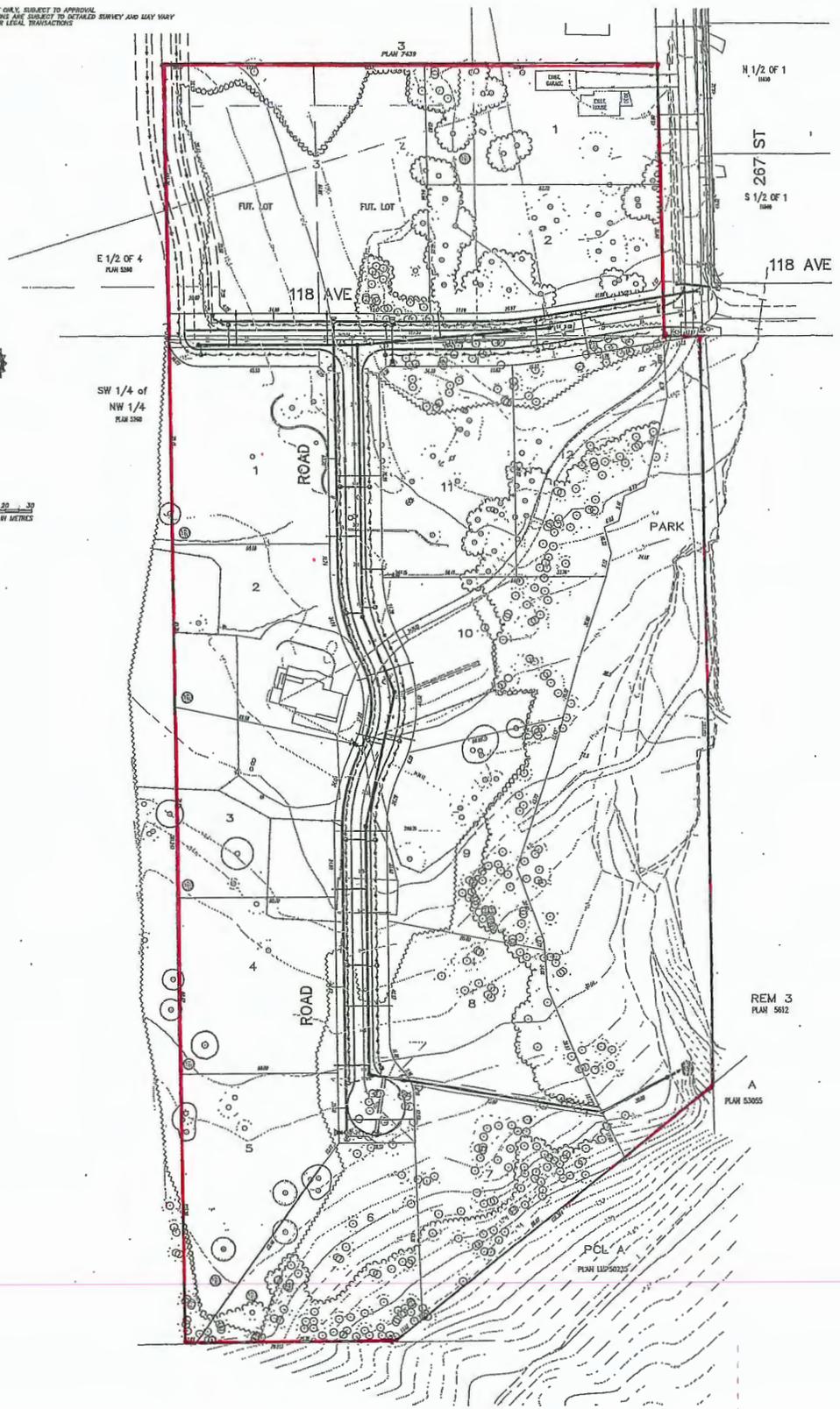
ALL LOTS COMPLY WITH RS-2  
- MINIMUM AREA: 0.40HA (4000 Sq.m.)  
- MINIMUM LOT WIDTH: 36.0m  
- MINIMUM LOT DEPTH: 60.0m  
\*\* LOT 9 WILL REQUIRE A D.V.P. MIN DEPTH 52.35m

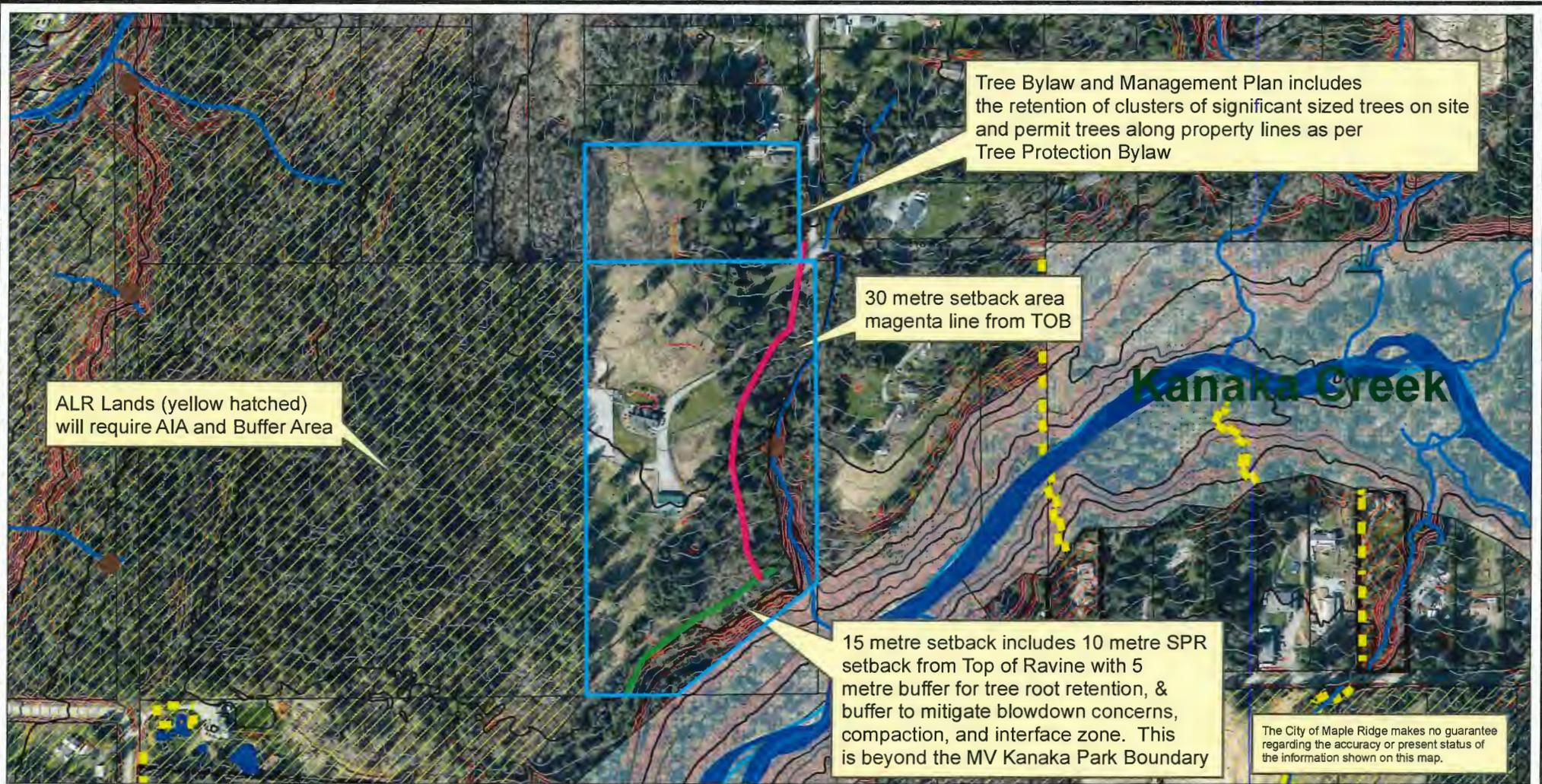
**NOTES**

- PRELIMINARY LAYOUT ONLY, SUBJECT TO APPROVAL
- AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL SURVEY AND MAY VARY
- NOT TO BE USED FOR LEGAL TRANSACTIONS



0 10 20 30  
ALL DISTANCES ARE IN METRES





Scale: 1:5,000

Legend		Slope (2014 LiDAR)	
	Culvert		Encumbrance Edge
	Pond		Flood/Drainage Problems
	Wetland		Stream
		<b>Percent</b>	<b>Percent</b>
			0 - 14
			15 - 25
			26 - 30
			30+

Preliminary Site Context Map 1  
 11795 & 11839 River Rd  
 ENGINEERING DEPARTMENT  
  
**MAPLE RIDGE**  
 British Columbia  
[mapleridge.ca](http://mapleridge.ca)  
 FILE: Rods Subject Map3  
 DATE: Jan 31, 2022  
 BY:



December 23, 2021

Maple Ridge File No.: 2019 - 055 - RZ

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC, V2X 6A9

**Attention: Therese Melser**

Dear Sir,

Re: Summary of Public Comment Opportunity (PCO) - File No. 2019 - 055 - RZ

---

Aplin & Martin Consultants Ltd as the agent on file for 2019 - 055 - RZ held a Public Comment Opportunity regarding subdivision application for the properties located at 11839 & 11795 267th Maple Ridge, BC.

The following is a summary of the conversations and comments received during the comment period, and afterward up to the date of this letter.

Date Range: December 8<sup>th</sup> - December 20<sup>th</sup>, 2021

Consultants: David Laird, Aplin & Martin Consultants Ltd

## NOTIFICATION

### Notification Decal

A Public Comment Opportunity (PCO) notification decal was posted on the site's development sign on **November 19, 2021** over ten days prior to the PCO date. The decal included the contact email and date range to submit comments.

A photo of the decal has been included in this summary.

### Newspaper Ad

A Public Comment Opportunity advertisement was published in two consecutive issues of the local newspaper, The Maple Ridge Pitt Meadows News, as per Maple Ridge Council Policy No. 6.20. The first ad was located on **Page A31 of the November 26<sup>th</sup>** issue and the second ad was located on page **A28 of the December 3<sup>rd</sup>** issue.

Copies of the newspaper ads are included in this summary.

### PCO Notification Letter

A list of **26 mailing labels** was prepared for all property owners and residents within 100 meters of the development site by the City of Maple Ridge. Aplin Martin mailed all 26 notification letters on **November 26, 2021**, over ten days in advance of the PCO date range, as per Maple Ridge Council Policy No. 6.20. A copy of the postcard mailout is included in this summary.

As of December 23, 2021, none (0) of the mailouts have been returned to Aplin Martin.

---

## PCO RESULTS & ANALYSIS

During the comment date range, Aplin Martin received comments from various neighbours regarding the proposed development.

A copy of all emails sent in during the Public Comment Opportunity date range and our reply to any inquiries are included in this summary.

Should you have any further questions, please contact the undersigned at 604-817-4695 or at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com).

Yours truly,

**APLIN & MARTIN CONSULTANTS LTD**



David Laird, P. Eng  
Project Manager

DL:CC  
Enclosures  
15-144 - PCO Summary for 11839 & 11795 267th Maple Ridge, BC - City No. 2019 - 055 - RZ

# APPENDIX I:

---

Development Sign Decal  
Installed November 19, 2021

Nov. 19/ 2021

# DEVELOPMENT APPLICATION

11839 & 11795 267 STREET  
NO. 2019-055-RZ

## PROPOSED REZONING

From RS-3 to RS-2 to allow the future subdivision into approximately 15 lots.

Minimum lot size: 0.4 Pa.

## LOCATION



## PROPOSED SUBDIVISION



**APPLICANT:**  
Apex & North Development  
504.812.6895  
info@apexnorth.com  
www.apexnorth.com

**PLANNING DEPARTMENT:**  
508.467.7341  
planning@planning.ca  
planning@planning.ca  
LandCommitment@planning.ca

BE PART OF THE PROCESS

View online at [www.planning.ca/development](http://www.planning.ca/development)  
between January 18 - December 31, 2021



# APPENDIX II:

---

November 26<sup>th</sup> and December 3<sup>rd</sup>  
Newspaper Ads

**Real Estate**  
**Mobile Homes & Parks**

A-Frame Cabin Kits, \$6,750.00, call Archie 604-754-4076 dwellyframes.ca

**Tiny House Sale!!**  
Homes ready to deliver starting at: \$32,500.00, Contact Archie 604-754-4076 or archie@dwelltech.ca

**Real Estate**

**DIFFICULTY SELLING?**  
GVC WE BUY HOMES Any Situation, Any Condition 604-812-3718 GVCPS INC. / gvcps.ca

**Rentals**

**Apt/Condo for Rent**

**Polo Club Apartments**  
19071 Ford Rd. Pitt Meadows  
Clean, Quiet, Well Maintained Bldg. 3 Blocks to W.C. Express • 1-2 Bdrm Suites • 3 appl. • Secured Garage Parking • Adult Oriented • Ref's. • Absolutely No Pets  
604.465.7221

Ridgewood Place 12161 223 St. BRAND NEW 1,2 & 3 Bdrm Condos 4 rent. Free Amenities incl Gym & more! ridgewoodplace.ca 604-861-7541

**Rooms for Rent**

\$75 OFF 1ST MONTH  
Rooms from \$485/mo. Fully Furn, weekly maid service, cable TV, private bath, on bus route, 5/min walk to commuter rail.  
Haney Motor Hotel 22222 Lougheed Hwy., Maple Ridge  
Inquire in person btwn 9am - Noon or Call 604-467-3944

**LOCATION LOCATION LOCATION**  
**FEATURES FEATURES FEATURES**  
**PRICE PRICE PRICE**

**Legal**  
**Legal Notices**

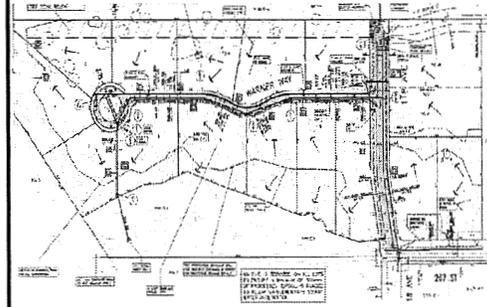
**WAREHOUSE LIEN**  
Maple Ridge Towing (1981) LTD, 23283 McKay Ave, Maple Ridge BC will auction the following vehicles on December 10, 2021 for non-payment.

- |  |   |
|--|---|
| 2000 Chevrolet Silverado 2500<br>VIN# 1GCGC24U3YE241855<br>Debtor: Mary Cecelia Morris<br>Amount Owing: 3,826.72 | 2007 Honda Accord<br>VIN# 1HGC M66507A802397<br>Debtor: Glendinning-Anthony Janessa<br>Amount Owing: 1,898.02 |
| 2003 GMC Savana 2500<br>VIN# 1GTGG25U531199563<br>Debtor: Asgard Glass And Property S<br>Amount Owing: 7,301.67  | 2007 Kia Sportage<br>VIN# KNDJE723977309991<br>Debtor: Shalynn Holdsworth<br>Amount Owing: 2,036.29           |
| 1979 Kawasaki<br>VIN# KZT00E000655<br>Debtor: Stenback Walter Brent<br>Amount Owing: 2,577.06                    | 2000 BMW 3 Series<br>VIN# WBAAM3349YK73544<br>Debtor: William Goddard<br>Amount Owing: 2,958.15               |
| 2010 Mazda 5<br>VIN# JM1CR2W39A0379324<br>Debtor: Benjamin Francis Yuill<br>Amount Owing: 2,117.69               | 2013 Dodge Avenger<br>VIN# 1C3CDZC86DN759543<br>Debtor: GD Auto Finance Inc<br>Amount Owing: 10,415.75        |

**Legal**  
**Legal Notices**

**PUBLIC COMMENT OPPORTUNITY FOR PROPOSED DEVELOPMENT**  
11839 & 11795 267 STREET, MAPLE RIDGE, BC

You are invited to participate in a Public Comment Opportunity where representatives from Aplin Martin will be available by phone and email to provide details on the Rezoning Application 2019-055-RZ.



The purpose of the application is to develop 11839 & 11795 267th Street, Maple Ridge, BC into fifteen (15) single family lots (3 Fee Simple and 12 Bareland Strata).

The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

Your comments and questions are important to us.

**PROPOSED DEVELOPMENT PLAN**

**HOW TO SUBMIT COMMENTS:**

P: 604-817-4695  
E: [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

Submit your comments between Wednesday, December 8th and Monday, December 20th 2021.

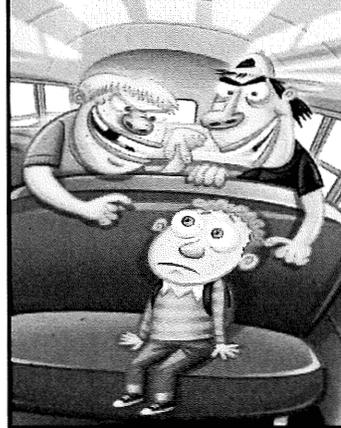
**FOR MORE INFORMATION:**

Aplin Martin David Laird, Project Engineer 604-817-4695 <a href="mailto:dlaird@aplinmartin.com">dlaird@aplinmartin.com</a>	City of Maple Ridge Planning Department 604-467-7341 <a href="mailto:planning@mapleridge.ca">planning@mapleridge.ca</a>
---	--



**1800 668 6868**  
**KidsHelpPhone.ca**

**Kids Help Phone**  
**Stop Bullies in their Tracks!**



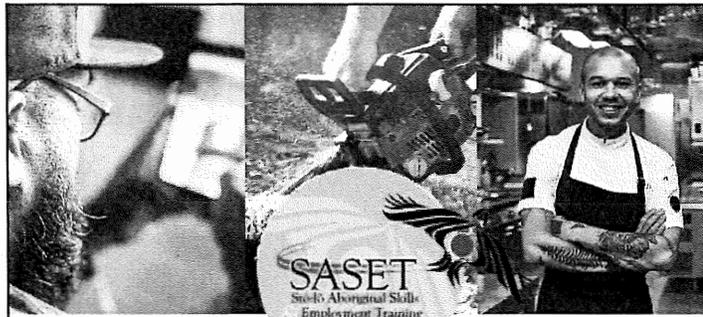
**PREVENTING CANCER**

Get involved **Live well** Be aware Get involved  
Get involved **Live well** Be aware Get involved  
Get involved **Live well** Be aware Get involved

Contact the **Canadian Cancer Society** for more information: 1.888.939.3333

Help protect our wildlife and forests by reporting illegal hunting, fishing, dumping waste and damage to natural habitat's.  
**Report All Poachers and Polluters (RAPP)**  
1-877-952-7277 or #7277  
Call the anonymous tip line

**LOOKING FOR A NEW CAREER?**  
**CHECK OUT LOCALWORK.CA!**



## Sto:lo Aboriginal Skills & Employment Training (SASET)

Employment Assistance services are provided for Indigenous individuals who are under unemployed residing in the service area that extends from Katzie to Boston Bar and 3 FN communities of Samahquam, Skatin and XA'xtsa. Full-time services are provided at Sto:lo Nation on Vedder Road in Chilliwack, at Seabird Island and Sts'ailes First Nation. Part-time services are provided throughout the catchment area, for more information of the services you can access please call 604-858-3691, toll free at 1-888-845-4455 to speak to an employment counselor or visit the SASET website at [www.saset.ca](http://www.saset.ca) for more information. SASET is here to assist you with your employment & training needs. Don't forget to friend us on Facebook at SASET EAS for the latest in job postings and training program information.

<b>Family Announcements</b>	<b>Community Announcements</b>	<b>Employment</b>	<b>Employment</b>
<b>In Memoriam Gifts</b>	<b>Cards of Thanks</b>	<b>Career Opportunities</b>	<b>Farm Workers</b>
<p><b>RIDGE MEADOWS HOSPITAL FOUNDATION</b> SUPPORTING THE BEST IN HEALTH</p> <p>The Foundation appreciates your thoughtful support. Please call or mail with:</p> <p>Name of deceased Name and address of next of kin Name and address of donor for tax receipt</p> <p><b>Ridge Meadows Hospital Foundation</b> PO Box 5000 Maple Ridge, BC V2X 7G5 Telephone 604.463.1822 <a href="http://www.rmhfoundation.com">www.rmhfoundation.com</a></p>	<p><b>PRAYER TO THE HOLY SPIRIT</b></p> <p>Holy Spirit: You who makes me see everything and who shows me the way to reach my ideal. You who gives me the divine gift to forgive and forget from all that is done to me and You who are in all instance of my life with me. I, in this short dialogue want to thank you for everything and confirm once more that I never want to be separated from You no matter how great the material desires may be. I want to be with You and my loved ones in your perpetual glory. A person may pray this prayer 3 consecutive days without asking for their wish, after the third day their wish will be granted, no matter how difficult it may be and promise to publish this dialogue as soon as your favour is granted. Amen.</p> <p><b>100s of JOB Vacancies</b> <a href="http://www.localwork.ca">www.localwork.ca</a></p>	<p><b>Multi-axle Lowbed and Sow Bed Operators</b></p> <p>Mamic Transport Ltd located in beautiful Chetwynd BC is looking for multi-axle lowbed and sow bed operators for full time work. High mountain /steep terrain experience a must, clean abstract, oilfield safety tickets, pre-employment testing. Shift and accommodations available with great compensation &amp; benefits package. 250-788-5261</p>	<p><b>FARM WORKERS</b> required by OLERA ORGANIC FARMS to start early May, 2022. General Labour. Must be willing &amp; able to work outside &amp; lift up to 50 pounds. Salary \$15.20/hour to start. <a href="mailto:olerafarms@shaw.ca">olerafarms@shaw.ca</a></p>
<p><b>CHANGING LIVES AT</b> Ridge Meadows Hospital Bathic House McKenney Creek Hospice Home &amp; Community Care Public Health Mental Health/Substance Abuse</p>		<p><b>JAMIE'S PROFILE CLEANING INC</b></p> <p><b>Now Hiring!!! Cleaning Supervisor</b></p> <p>Permanent Full Time, Work Detail: 1am - 9am Monday to Friday, Requires driving from various sites.</p> <p>For more info email: <a href="mailto:info@profileclean.com">info@profileclean.com</a></p>	<p><b>EXCAVATOR OPERATORS REQUIRED</b> With minimum 5 Years experience. Fax: 604-460-7853 Email: <a href="mailto:wmader@telus.net">wmader@telus.net</a></p>
<b>Legal</b>	<b>Legal</b>	<b>Legal Notices</b>	<b>Legal</b>
<b>Legal Notices</b>	<b>Legal Notices</b>	<b>Legal Notices</b>	<b>Legal Notices</b>

**Sto:lo Aboriginal Skills & Employment Training**  
 Bldg #5A - 7201 Vedder Road, Chilliwack, B.C. Canada V2R 4G5  
 Tel: (604) 858-3691 or toll-free 1-888-845-4455 Fax: (604) 858-3528  
 E-mail: [info@saset.ca](mailto:info@saset.ca)  
 November 24, 2021

**EMPLOYMENT RESOURCE ROOM/RECEPTIONIST (EXTERNAL)**

Sto:lo Nation requires the services of a qualified administrative Resource Room/Receptionist to fill a vacancy with the Sto:lo Aboriginal Skills & Employment Training (S.A.S.E.T) Department. Pursuant to section 41 of the BC Human Rights Code, preference may be given to applicants of Aboriginal ancestry. Please self-identify on your cover letter or resume.

The Resource Room/Receptionist will: a) provide professional courteous reception and resource room greetings referring clients to the employment services as required; b) promote programs and initiatives supported by the Indigenous Skills & Employment Training (ISET) funding agreement; c) provide administrative support to the Outreach Supervisor; d) maintain resource room, classrooms information boards in the employment resource centre and e) maintenance and archival of Employment Resource Centres filing systems.

The successful candidate will work out of the Central (Chilliwack) office.

**QUALIFICATIONS/REQUIREMENTS:**

- Post-Secondary education and/or equivalent 2 years of training and experience in administrative support and reception/resource room duties.
- Familiarity with the Indigenous Skills & Employment Training Contribution Agreement (ISET CA), SASET catchment area, First Nation Community's culture, and working knowledge of First Nations economic, social, and political issues.
- Must have strong professional written and verbal communications skills.
- Willingness to expand their skills set if required by SASET funded professional development.
- Strong computer skills: MS Word, MS Excel, data base and organizational and multi-tasking abilities.
- Ability to maintain: a healthy courteous working relationship with staff, community staff, members, and representatives of other organizations; adhere to the confidentiality guidelines of all records, materials and communications concerning clients, staff, SASET and Sto:lo Service Agency/Nation.
- Successful candidates will be required to provide the following if screened in for an interview:
  - Must possess and maintain a valid Class 5 BC Drivers' License
  - Must successfully pass the required pre-employment RCMP Criminal records Check.

**SALARY RANGE:** Based on qualifications and experience.  
**TYPE OF POSITION:** Full-time with benefits, subject to 3-month probationary period, successful annual performance evaluations and continued funding.

**APPLICATIONS DEADLINE:** 4:00 pm January 14<sup>th</sup>, 2022

Candidates will be screened according to the qualifications/requirements. Interested candidates are required to submit a resume and covering letter. Please include position title on subject line. Send to:

Sto:lo Aboriginal Skills & Employment Training  
 Attention: Director Anna Celesta  
 Bldg. #5A 7201 Vedder Road  
 Chilliwack, BC V2R 4G5  
 Email: [anna.celesta@saset.ca](mailto:anna.celesta@saset.ca)

For more information about this and other employment opportunities, visit [www.stolonation.bc.ca](http://www.stolonation.bc.ca) or [www.saset.ca](http://www.saset.ca)  
 We regret that we will only respond to those applicants chosen for an interview. We thank all applicants for their interest.

## PUBLIC COMMENT OPPORTUNITY FOR PROPOSED DEVELOPMENT

11839 & 11795 267 STREET, MAPLE RIDGE, BC

You are invited to participate in a Public Comment Opportunity where representatives from Aplin Martin will be available by phone and email to provide details on the Rezoning Application 2019-055-RZ.

The purpose of the application is to develop 11839 & 11795 267th Street, Maple Ridge, BC into fifteen (15) single family lots (3 Fee Simple and 12 Bareland Strata).

The intent of this Public Comment Opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

Your comments and questions are important to us.

**PROPOSED DEVELOPMENT PLAN**

**HOW TO SUBMIT COMMENTS:**

P: 604-817-4695  
 E: [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

Submit your comments between **Wednesday, December 8th and Monday, December 20th 2021.**

**FOR MORE INFORMATION:**

Aplin Martin  
 David Laird, Project Engineer  
 604-817-4695  
[dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com)

City of Maple Ridge  
 Planning Department  
 604-467-7341  
[planning@mapleridge.ca](mailto:planning@mapleridge.ca)

**APLIN MARTIN**  
 ENGINEERING ARCHITECTURE PLANNING SURVEYING

# APPENDIX III:

---

## Postcard Notification



201 - 12448 82 Avenue Surrey BC V3W 3E9

## PUBLIC COMMENT OPPORTUNITY

**for the Proposed Development at 11839 & 11795 267th Street, Maple Ridge, BC | File No. 2019 - 055 - RZ**

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 11839 & 11795 267th Street, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

PUBLIC COMMENT OPPORTUNITY DATE RANGE:

**Wednesday, December 8th - Monday, December 20th**

EMAIL FOR INFO OR TO PROVIDE COMMENTS:

David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695

ADDRESS LABEL  
HERE



201 - 12448 82 Avenue Surrey BC V3W 3E9

## PUBLIC COMMENT OPPORTUNITY

**for the Proposed Development at 11839 & 11795 267th Street, Maple Ridge, BC | File No. 2019 - 055 - RZ**

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 11839 & 11795 267th Street, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

PUBLIC COMMENT OPPORTUNITY DATE RANGE:

**Wednesday, December 8th - Monday, December 20th**

EMAIL FOR INFO OR TO PROVIDE COMMENTS:

David Laird, Project Manager  
Aplin & Martin Consultants Ltd  
dlaird@aplinmartin.com | 604-817-4695

ADDRESS LABEL  
HERE

# PUBLIC COMMENT OPPORTUNITY | File No. 2019-055-RZ

11839 & 11795 267th Street, Maple Ridge, BC

## OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Suburban Residential  
Proposed: Suburban Residential

## ZONING

Current: RS-3  
Proposed: RS-2

## # OF LOTS

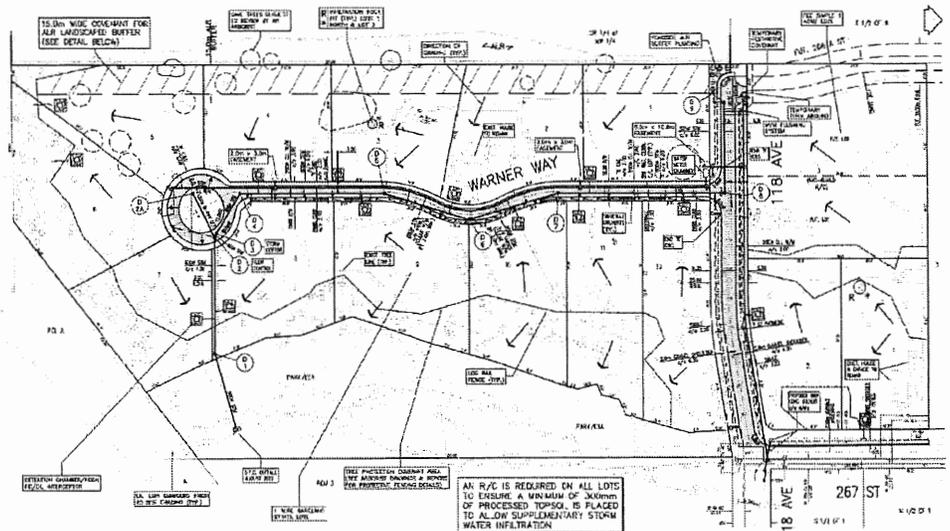
Current: 2  
Proposed: 15  
(3 Fee Simple and 12 Bareland Strata)

## PROPOSED LOT SIZE RANGE

Current: 95,500 sq. m.  
(entire subject site)

Proposed: minimum 4,000 sq. m.

Your thoughts are important to us. If you require additional information or and/or would like to provide your comments, please do not hesitate to contact David Laird at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com) or 604-817-4695 or the City of Maple Ridge Planning Department at 604-467-7341 or [planning@mapleridge.ca](mailto:planning@mapleridge.ca).



# PUBLIC COMMENT OPPORTUNITY | File No. 2019-055-RZ

11839 & 11795 267th Street, Maple Ridge, BC

## OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

Current: Suburban Residential  
Proposed: Suburban Residential

## ZONING

Current: RS-3  
Proposed: RS-2

## # OF LOTS

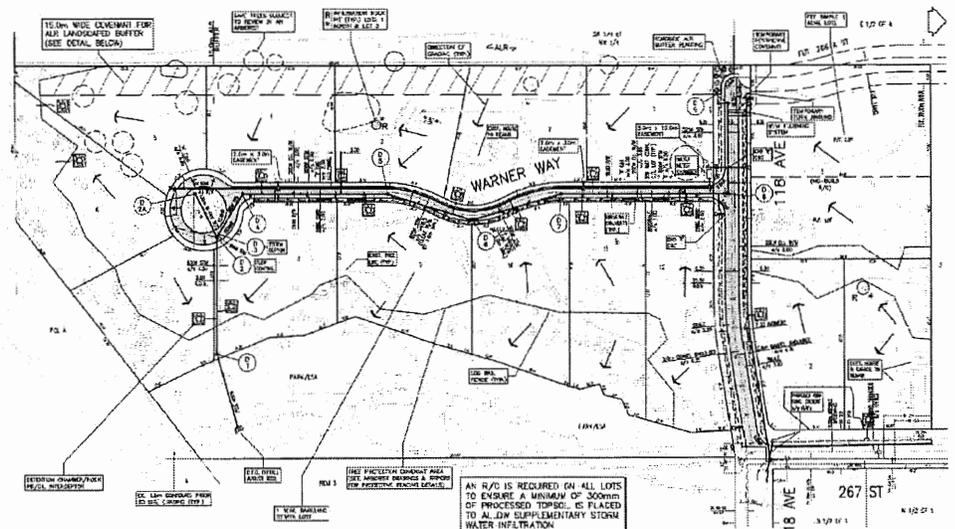
Current: 2  
Proposed: 15  
(3 Fee Simple and 12 Bareland Strata)

## PROPOSED LOT SIZE RANGE

Current: 95,500 sq. m.  
(entire subject site)

Proposed: minimum 4,000 sq. m.

Your thoughts are important to us. If you require additional information or and/or would like to provide your comments, please do not hesitate to contact David Laird at [dlaird@aplinmartin.com](mailto:dlaird@aplinmartin.com) or 604-817-4695 or the City of Maple Ridge Planning Department at 604-467-7341 or [planning@mapleridge.ca](mailto:planning@mapleridge.ca).



# APPENDIX IV:

---

Emails from Neighbours and Our  
Responses

## David Laird

---

**From:** David Laird  
**Sent:** December-19-21 10:21 PM  
**To:**  
**Subject:** RE: 11839 & 11795 267th Street, Maple Ridge, BC

Thanks for your support.  
Dave

**From:**  
**Sent:** December-19-21 6:57 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** 11839 & 11795 267th Street, Maple Ridge, BC-

---

[EXTERNAL]

---

Dear David,

Thank you for taking the time to review my comments regarding the proposed development for 11795 267th Street.

My husband and I have invested countless hours discussing our dreams of living in this beautiful area, building and being a part of this unique community and raising our three young children here.. Growing up surrounded by nature on a sizeable piece of land I can see first hand the benefit that it had on my upbringing and truly look forward for our kids having a similar experience.

We often look at this raw land and already feel like it's our home.

I can confidently say that this new development and those that are comparable would be an asset to the city of Maple Ridge and the families that live here.

Best Regards,

*Bringing you home*

## David Laird

---

**From:** David Laird  
**Sent:** December-19-21 10:16 PM  
**To:**  
**Subject:** RE: Feedback on 267th street proposed subdivision

Thank you

**David Laird**, | Project Manager  
Office: 604-597-9058 | Cell: 604-817-4695

APLIN & MARTIN CONSULTANTS LTD. | WWW.APLINMARTIN.COM  
3862 W 14 Ave, Vancouver, BC, V6R 2W9



*Confidentiality notice: This e-mail message is intended only for the use of the address(es) and may contain information that is privileged and confidential. If you are not the intended recipient, or have received this e-mail in error, please notify the sender immediately, delete this message and any attachments, and do not perform any further action on this e-mail. Thank you*

**From:**  
**Sent:** December-19-21 6:48 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** Feedback on 267th street proposed subdivision

---

[EXTERNAL]

---

Good morning David  
Thank you for providing us an opportunity to give some feedback on the proposed subdivision at 267th street Maple Ridge File No. 2019 - 055 - RZ

I wanted to send a note that we are excited, and have been looking for a subdivision that will allow us to have a private orie acre estate to raise our young family. We have been looking for a quiet neighbourhood outside of downtown while still being in reach of city services and shops and feel creating this community in East Maple Ridge will provide just this. We feel this sort of development is essential to attract growing families to the community, as well as giving those of us who have grown up in Maple Ridge, a logical reason to stay.

As shown we are highly supportive of this development.

Thank you for your consideration

## David Laird

---

**From:**  
**Sent:** December-20-21 2:17 PM  
**To:** David Laird  
**Cc:**  
**Subject:** Re proposed development at 11839 & 11795 267th

[EXTERNAL]

Hi David,

I'm writing in response to your invitation for public comment regarding the above-noted development proposal. I understand you're looking primarily for input from area residents, which I am not, but perhaps my input will still be considered. I live in Port Moody with my husband and 3 small children and we hope to purchase a lot and move to Warner Way if the development proceeds.

One of the two couples spearheading this project, the \_\_\_\_\_ are my in-laws. Our hope is for them, us, and my sister-in-law and her young family (currently living in POCO) to each purchase lots in this development. We are aware of another young family, including the adult daughter of the other couple involved in this project, who plan to live there too. We're young professionals who take excellent care of, and pride in, our homes, our yards and our environment. If this development proceeds, there's no doubt it will be a warm, well-kept, family-focused and close-knit community that will serve and represent Maple Ridge well.

It's also a once-in-a-lifetime opportunity for our family to all live so close together, in nature, and be able to be integral parts of each others' lives. We are really hopeful and excited about this development and opportunity.

Yours truly,

**David Laird**

---

**From:**  
**Sent:** December-14-21, 9:45 AM  
**To:** David Laird  
**Subject:** Proposed development at 11839 and 11795 267th street, Maple Ridge

---

[EXTERNAL]

---

To whom it may concern

We are sending this email in our support for proposed development at 11839 and 11795 267th street, Maple Ridge. Our property is on \_\_\_\_\_, Maple Ridge and is adjacent to the proposed development.

Regards

Get [Outlook for Android](#)

## David Laird

---

**From:** David Laird  
**Sent:** December-18-21 11:26 AM  
**To:**  
**Subject:** RE: 267th Subdivision Comments

Thank you  
Dave

-----Original Message-----

**From:** !  
**Sent:** December-18-21 11:12 AM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** 267th Subdivision Comments

[EXTERNAL]

Hello,

I am writing to show my support & excitement for the subdivision proposed on 267th in Maple Ridge. I feel this subdivision is important for east Maple Ridge & am in full support in seeing this development happen. Growing up & living in east Maple Ridge, this is the type of development our community needs to continue to attract the type of people who appreciate & give back to this beautiful area.

Kind regards,

## David Laird

---

**From:** David Laird  
**Sent:** December-18-21 11:24 AM  
**To:**  
**Subject:** RE: Public Comment on 2019-055-RZ

Thanks  
Please see my comments below in UPPER CASE  
Dave

**David Laird, | Project Manager**  
Office: 604-597-9058 | Cell: 604-817-4695

APLIN & MARTIN CONSULTANTS LTD. | WWW.APLINMARTIN.COM  
3862 W 14 Ave, Vancouver, BC, V6R 2W9



*Confidentiality notice: This e-mail message is intended only for the use of the addressee(s) and may contain information that is privileged and confidential. If you are not the intended recipient, or have received this e-mail in error, please notify the sender immediately, delete this message and any attachments, and do not perform any further action on this e-mail. Thank you.*

-----Original Message-----

**From:**  
**Sent:** December-18-21 10:57 AM  
**To:** David Laird <DLaird@aplinmartin.com>; planning@mapleridge.ca  
**Subject:** Public Comment on 2019-055-RZ

[EXTERNAL]

This development will double the number of residential units on 267 St.

Our concerns are:

1. Will the new units be required to contribute their share of the funding that was required to install the water line along 267 St? Will the past contributors get a refund or will the development just free load on the current residents?  
I DON'T THINK THE CITY WOULD ORGANISE A REFUND PROGRAM BUT IT MIGHT BE WORTH YOUR WHILE TO CHECK WITH THEM. BECAUSE IT'S A LONG DEAD END PIPE THE DEVELOPMENT WILL BE INSTALLING A FLUSHING SYSTEM WHICH WILL IMPROVE THE QUALITY OF YOUR WATER. THE DEVELOPER WILL BE PAYING A YEARLY MAINTENANCE FEE TO THE CITY FOR THIS.
2. Many new residential developments, like that on the corner of 264 St and DTR, have excess lights on during the night. Will there be any restrictions in this development to mitigate the effect on wild life.  
THERE WILL BE LESS LIGHTS THAN A NORMAL SUBDIVISION AS 12 OF THE LOTS WILL BE BARE LAND STRATA WITH A PRIVATE ROAD. MOST OF THE LIGHTING WILL BE FROM EACH INDIVIDUAL HOUSE.  
NEARLY 50% WILL BE PROTECTED AS PARK OR COVENANT. THIS WILL LEAVE WILDLIFE CORRIDORS.

3. Will the development be staged to reduce the amount of construction traffic on 267 St?

NO IT WILL BE BUILT IN ONE STAGE,WOULD IT NOT BE BETTER TO GET THE INCREASED TRAFFIC OVER AND ONE WITH?

4. What is the difference between Fee Simple and Bareland Strata lots?

Will the Bareland Strata lots be owned and maintained by the home occupants?

If there is a holding/maintenance company for the lots, who will own the lots?

FOR BARELAND EACH LOT IS 100% OWNED BY THE RESIDENT AND EACH OWNS A 1/12 TH SHARE OF THE PRIVATE ROAD AND SHARES THE MAINTENANCE COSTS.

FOR FEE SIMPLE THE OWNER PAYS THE CITY WITH PROPERTY TAXES TO MAINTAIN THE ROADS AND SEVICES.

THE BARELAND WILL ALSO PAY THESE PROPERTY TAXES TO THE CITY EVEN THOUGH THERE WILL BE LESS MAINTENANCE COSTS.

Maple Ridge, BC

## David Laird

---

**From:**  
**Sent:** December-09-21 4:58 PM  
**To:** David Laird  
**Subject:** Re: Development proposal 2019-055-RZ; 11839 & 11795 267 St., Maple Ridge

---

[EXTERNAL]

---

Hi Dave,

You're very welcome.

Dave, it time to start looking at ALL trips, not just trips commuting to work. About **68%** of ALL trips originating in Maple Ridge, end in Maple Ridge. All those trips matter. Many of them are made by those who can't drive, don't want to drive or **don't need to** drive. According to CleanBC Road Map to 2030 we need to reduce the kilometers traveled by private motor vehicle (whether fossil fuel powered or electric) by 25% by 2030. Building more subdivisions such as the one you're proposing is most certainly not going to help. It's not just this subdivision. It's any subdivision like it.

I agree with you that it's unfortunate that many people leave Maple Ridge to go to work every day, but that's a different issue, and that has nothing to do with this development proposal.

With kind regards,

On Thursday, December 9, 2021, 03:34:34 p.m. PST, David Laird <dlaird@aplinmartin.com> wrote:

Thank you for your comments.

You make some good points.

Would it be right to point out ,however,that about 65% of people who live in Mapleridge work out side the City.

Not denying that there is a long distance to downtown Mapleridge from this development but do you not think that the number of cars from this subdivision pall in comparison to the number of cars that leave the City everyday to go to work else where. Is that not a much bigger issue? I'm not saying two wrongs make a right.

I will pass your comments on to the City at the end of the review period.

You will have an opportunity later to express your concerns to Council at the Public Hearing-probably in March next year.

Please give me a buzz if you'd like to talk more.

OK?

Thanks

Dave Laird 604 817 4695

**David Laird, | Project Manager**  
Office: 604-597-9058 | Cell: 604-817-4695

APLIN & MARTIN CONSULTANTS LTD. | WWW.APLINMARTIN.COM  
3862 W 14 Ave, Vancouver, BC, V6R 2W9



*Confidentiality notice: This e-mail message is intended only for the use of the addressee(s) and may contain information that is privileged and confidential. If you are not the intended recipient, or have received this e-mail in error, please notify the sender immediately, delete this message and any attachments, and do not perform any further action on this e-mail. Thank you.*

**From:**  
**Sent:** December-09-21 2:11 PM  
**To:** David Laird <DLaird@aplinmartin.com>  
**Subject:** Development proposal 2019-055-RZ; 11839 & 11795 267 St., Maple Ridge

---

[EXTERNAL]

---

Dear Mr. Laird,

Our community absolutely needs to get serious about reducing its energy use and greenhouse gas emissions. This proposed development is problematic, a.o. as it relates to transportation. The 15 or 16 suburban 1-acre lots that you propose to develop are about 9 kms from downtown Maple Ridge (as the crow flies), and the nearest supermarket is a 6 km drive away. There aren't any other amenities nearby and anywhere that the residents of this subdivision need to go, they need to drive.

Furthermore, what tends to happen with 1 acre lot subdivisions, much of the area will be cleared of trees and shrubs to make way for expansive lawns, which often tend to be mowed and watered. Trees are carbon sinks and should be preserved as much as possible. Mowing lawns is a wasteful use of energy, and watering lawns is a very wasteful use of water in periods of drought. We are being told that we should expect increasingly drier and hotter summers, so this is a bad idea.

This is not the right location for a subdivision and I do not support it.

With kind regards,

Maple Ridge

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **Second Reading**  
**Zone Amending Bylaw No. 7699-2021**  
**10366 240 Street**

**MEETING DATE:** June 7, 2022  
**FILE NO:** 2020-413-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 10366 240 Street, from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential), to permit the future construction of approximately 30 townhouse units. Council granted first reading to *Zone Amending Bylaw No. 7699-2021* on January 26, 2021. The minimum lot size for the RM-1 (Low Density Townhouse Residential) zone is 1,000m<sup>2</sup>. This application is in compliance with the Official Community Plan.

The application is proposing a density of 0.75 FSR, which is possible by utilizing the Albion Density Bonus provisions of the RM-1 (Low Density Townhouse Residential) zone. The applicant is enabled to increase the FSR from 0.60 to 0.75 in exchange for making a Density Bonus Amenity Contribution in accordance with Section 602 9 (1) of the Zoning Bylaw. This contribution is \$3,100 per unit (30 x \$3,100 per unit) for a total of \$93,000.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution Program at a rate of \$4,100 per townhouse dwelling unit, for an estimated amount of \$123,000, or such rate applicable at third reading of this application.

**RECOMMENDATIONS:**

1. That Zone Amending Bylaw No. 7699-2021 be given second reading and forwarded to Public Hearing;
2. That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Road dedication on 240 Street, 240A Street and the Lane as required;
  - iii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
  - iv) Registration of a Restrictive Covenant for the protection of Visitor Parking;
  - v) Registration of a Restrictive Covenant for Stormwater Management with a schedule describing maintenance requirements;

- vi) Removal of existing buildings;
- vii) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
- viii) That a voluntary contribution, in the amount of \$123,000.00 (\$4,100.00 x units), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.
- ix) That a voluntary contribution under the Albion Density Bonus Program, in the amount of \$93,000.00 (\$3,100.00 x units).

**DISCUSSION:**

**1) Background Context:**

Applicant:	Kunwar Bir Singh
Legal Description:	Lot A Section 3 Township 12 Plan NWP13554
OCP:	
Existing:	Medium Density Residential
Proposed:	Medium Density Residential
Within Urban Area Boundary:	Yes
Area Plan:	Albion Area Plan
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-2 (Single Detached Suburban Residential)
Proposed:	RM-1 (Low Density Townhouse Residential)
Surrounding Uses:	
North:	Use: Vacant Lots
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
South:	Use: Single Family Residential and Multi-Family Residential
	Zone: R-3 (Single Detached (Intensive) Urban Residential and RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
East:	Use: Multi-Family Residential
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Medium Density Residential
West:	Use: Multi-Family Residential
	Zone: RM-1 (Low Density Townhouse Residential)
	Designation: Urban Residential
Existing Use of Property:	Vacant Lot
Proposed Use of Property:	Townhouse Development
Site Area:	0.647 ha
Access:	240A Street
Servicing:	Urban
Fraser Sewer Area:	Yes
Flood Plain:	No

## 2) Background:

The subject property is located at 10366 240 Street and is on the east side of 240 Street just south of 104 Avenue. The site is 0.649 ha. (1.6 acres) in size, sparsely treed and slopes gently down toward 240 Street from east to west. The site is surrounded by both multi-family townhouse development to the east and west, as well as intensive single family development to the south. The subject site is directly to the south of another recently approved Rezoning Application No. 2017-510-RZ, which proposes to construct approximately thirty-one townhouse units under the RM-1 (Low Density Townhouse Residential) zone.

## 3) Project Description:

The applicant is proposing a townhouse development with 30 units in five buildings as part of a rezoning of the property from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential). The proposed site will be one hooked strata lot across a newly dedicated portion of 240A Street. Access will be provided via two driveways off of 240A Street, one for each side of the strata. All of the townhouse units are three bedroom units that are clustered into five buildings.

The outdoor amenity areas are located on both the west and east sides of the site. The buildings are contemporary in style and three stories in massing with gable roofs. The proposed materials include cementitious board wall shingles and hardi panel.

## 4) Planning Analysis:

### i) Official Community Plan:

The development site is located within the Albion Area Plan and is currently designated *Medium Density Residential* (see Appendix B). The *Medium Density Residential* designation allows for a range of housing styles and densities, including smaller lot single detached housing, townhouse and duplex dwelling units.

The Albion Area Community Amenity Program provides the opportunity for a Density Bonus within a number of zones identified within the Albion Zoning Matrix. Within these zones, 'bonus' density may be achieved through a contribution toward community amenities that will be located within the boundaries of the Area Plan.

The applicant intends to take advantage of the Albion Area Community Amenity Program and Density Bonus Framework in Section 10.2.2 of the Albion Area Plan, which provides as follows:

***Albion Plan Policy 10 - 6*** *Where the density bonus option is utilized in a multi-family development, the density bonus framework provisions established in the Maple Ridge Zoning Bylaw will apply to all dwelling units that exceed the base density permitted in the zone, in addition to the city-wide Community Amenity Program established in Official Community Plan Section 2.1.2 Compact and Unique Community.*

***Albion Plan Policy 10 - 8*** *A Density bonus will only be permitted on those lands that are located entirely within the boundaries of the Albion Area Plan and Urban Area Boundary.*

***Albion Plan Policy 10 - 12*** *The siting, form, character and massing of multi-family residential development and their areas for parking, storage and landscaping should be designed to facilitate orderly development of the area and to be compatible with single family residential developments.*

ii) **Zoning Bylaw:**

This project requires a number of variances as described in other section 4 of this report.

For density, the site is eligible for the Albion Area Plan density bonus to allow the usual RM-1 (Low Density Townhouse Residential) density of 0.60 FSR to be increased to 0.75 FSR in exchange for contributing a Density Amenity Bonus Contribution in accordance with Section 617.5.2.a of RM-1 (Low Density Townhouse Residential). This amenity fee is \$3,100 per unit (30 times \$3,100 per unit) for a total of \$93,000.00.

iii) **Off-Street Parking and Loading Bylaw:**

The *Off-Street Parking and Loading Bylaw No. 4350 – 1990* requires that the RM-1 (Low Density Townhouse Residential) zone provide two off-street parking spaces per dwelling unit, plus 0.2 spaces per dwelling unit designated for visitors. As there are 30 dwelling units proposed, 60 resident parking spaces are required and provided. Furthermore, six visitor parking spaces are required, while a total of seven have been provided. One space for vehicles for people with disabilities is to be provided for developments that require 26 - 75 spaces. The development includes eight units with tandem parking, which is 26.6% of all units and within the 30% supported by City policy.

iv) **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations to the Zoning Bylaw, the Off Street Parking and Loading Bylaw and the Subdivision and Development Servicing Bylaw:

The following setbacks in the RM-1 (Townhouse Residential District) Zone in *Maple Ridge Zoning Bylaw No. 7600-2019*, are requested to be varied:

- west (front yard) setback reduced from 7.5 metres to 3.47 metres;
- east (rear yard) setback reduced from 7.5 metres to 3.82 metres;
- north (side yard) setback reduced from 7.5 metres to 3.74 metres;
- south (side yard) setback reduced from 7.5 metres to 1.94 metres;
- building height increased from 9.5 metres to 11.0 metres; and
- to increase the maximum number of units in an attached townhouse dwelling block from six units to eight units.

The following variances to the *Off Street Parking and Loading Bylaw No. 4350-1990* are requested:

Tandem Units

- To reduce the minimum driveway apron length from 6.0 metres to 4.88 metres;
- To reduce the minimum single-car garage internal finished dimensions from 3.7 metres width to 3.5 metres; and
- To reduce the minimum single-car garage internal finished dimensions from 6.7 metres length to 6.11 metres.

Side by Side Units

- To reduce the minimum double-car garage internal finished dimensions from 6.5 metres width to 5.74 metres; and
- To reduce the minimum double-car garage internal finished dimensions from 6.7 metres length to 6.1 metres.

New Tandem Parking and Zoning Bylaw regulations have been adopted as part of the updated Tandem Parking Policy. The Zone Amending Bylaw and accompanying Policy were adopted June 22, 2021, and the Off-Street Parking Bylaw, specifying new garage dimension requirements was adopted on July 13, 2021. As this application had already received first reading from Council on January 26, 2021, it is being allowed to proceed under the previous regulations, however, a Development Variance Permit is still required.

The following variance to the *Subdivision and Development Servicing Bylaw No. 4800-1993* is requested:

The overhead wiring along 240 Street is to be varied by waving the requirement to convert the existing overhead utilities to underground wiring, in accordance with Council Policy 9.05 – Conversion of Existing Overhead Utility Wiring to Underground Wiring.

**v) Development Permits:**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

**vi) Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel at a meeting held on January 19, 2022 and their comments and the applicant's responses can be seen in Appendix G.

A detailed description of the projects form and character will be included in a future development permit report to Council.

**vii) Development Information Meeting:**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between April 11 and April 20, 2022. The developer received correspondence from three residents. A summary of the Public Comment Opportunity is attached to this report (see Appendix H).

**5) Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department requires the following items be addressed:

- Road dedication as required to meet the design criteria of the Subdivision & Development Bylaw
- Utility servicing as required to meet the design criteria of the Subdivision & Development Bylaw

- Frontage upgrades to 240 Street to an urban arterial road standard including extension of the multi-use path
- Construction of a new lane and the extension of 240A Street to the applicable urban road standard

ii) **Fire Department:**

The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

6) **School District No. 42 Comments:**

A referral was sent to School District No. 42 and their response on how this development would affect student population for the catchment area is attached to this report (see Appendix I).

**CONCLUSION:**

It is recommended that second reading be given to *Zone Amending Bylaw No. 7699-2021* and that application 2020-413-RZ be forwarded to Public Hearing.

“Original signed by Rene Tardif”

---

Prepared by: **Rene Tardif**  
**Planner 1**

“Original signed by Lisa Zosiak” for

---

Reviewed by: **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

Approved by: **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

“Original signed by Christine Carter” for

---

Concurrence: **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7699-2021
- Appendix D – Site Plan
- Appendix E – Building Elevation Plans
- Appendix F – Landscape Plan
- Appendix G – ADP design comments
- Appendix H – Public Comment Opportunity Summary
- Appendix I – School District No. 42 Comments





Aerial imagery from the Spring of 2018



Scale: 1:2,500

**Legend**

-  Stream
-  Indefinite Creek
-  Canal
-  River
-  Marsh

10366 240 STREET  
009-832-947

PLANNING DEPARTMENT

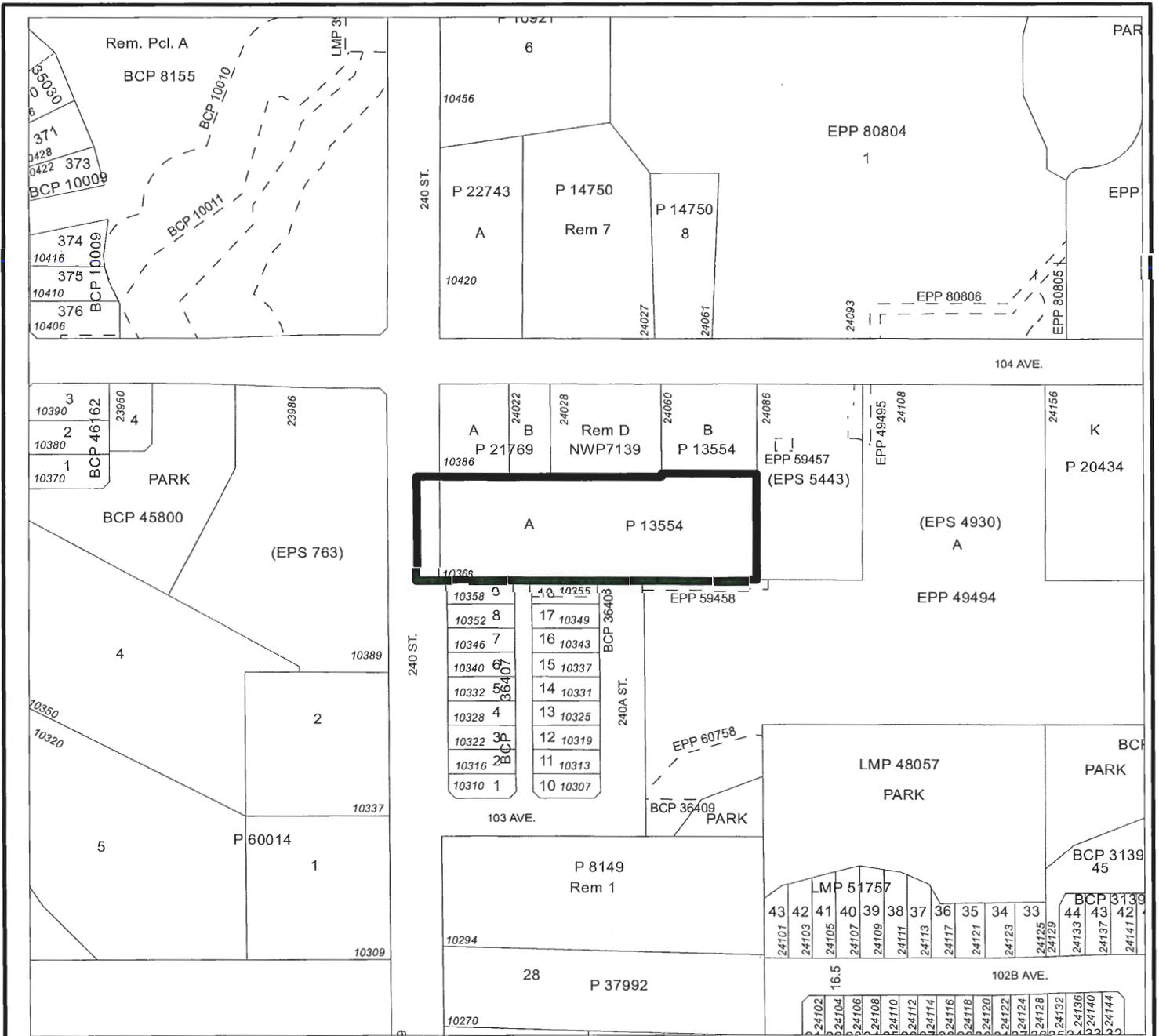


[mapleridge.ca](http://mapleridge.ca)

FILE: 2020-413-RZ  
DATE: Nov 25, 2020

BY: BD





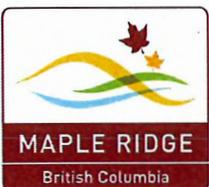
# MAPLE RIDGE ZONE AMENDING

Bylaw No. 7699-2021

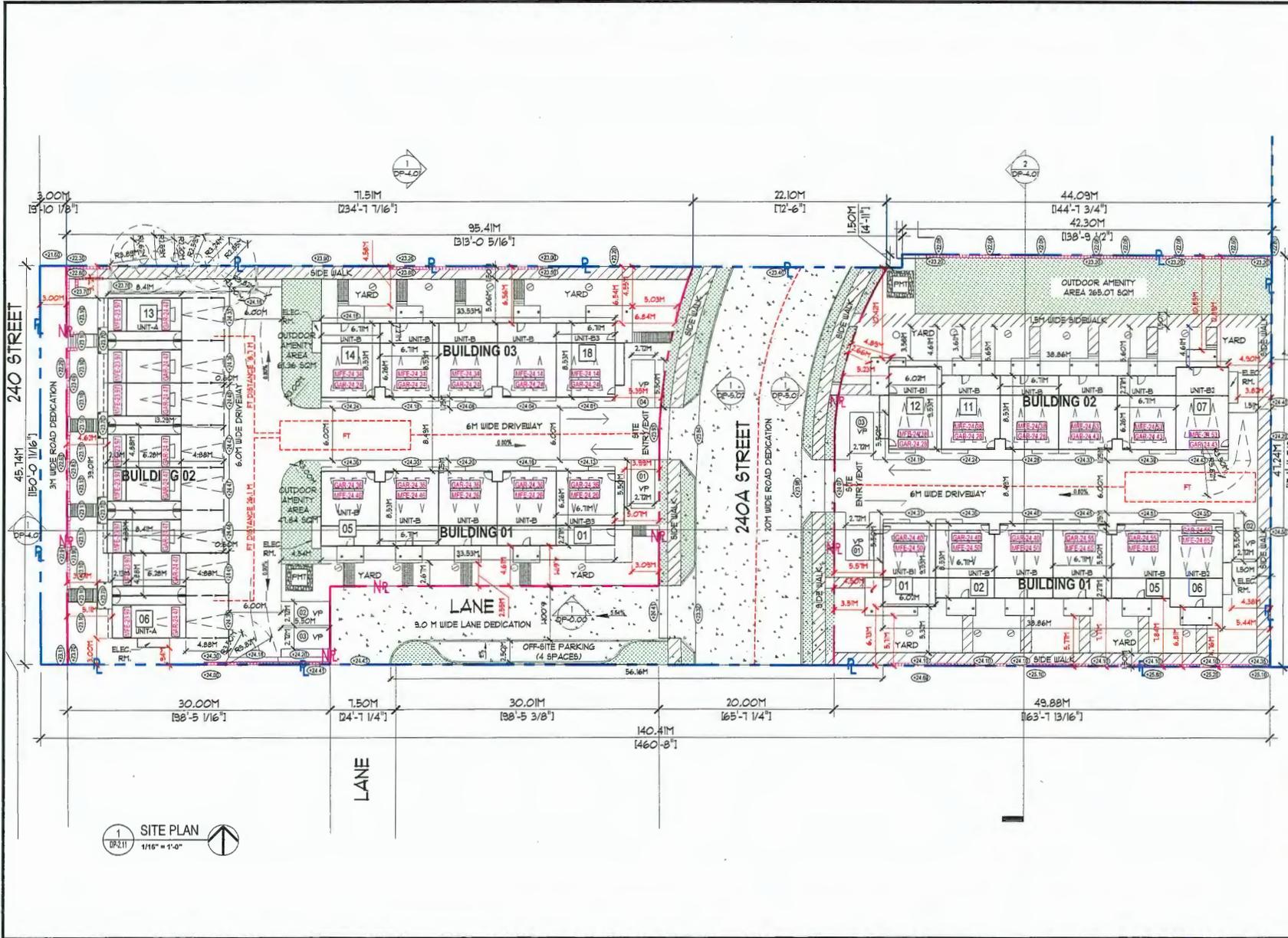
Map No. 1859

From: RS-2 (Single Detached Suburban Residential)

To: RM-1 (Low Density Townhouse Residential)



SCALE 1:2,500



1 SITE PLAN  
1/16" = 1'-0"

COPYRIGHT RESERVED  
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN CONSENT SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED BY ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

NO.	DATE	DESCRIPTION
01	18 MAR 2022	ISSUED FOR PERMIT CHECKS/REVISED PERMITS
02	18 MAR 2022	ISSUED FOR PERMITS
03	18 MAR 2022	ISSUED FOR PERMITS
04	18 MAR 2022	ISSUED FOR PERMITS
05	18 MAR 2022	ISSUED FOR PERMITS

NO.	DATE	DESCRIPTION
01	18 MAR 2022	ISSUED FOR PERMIT CHECKS/REVISED PERMITS
02	18 MAR 2022	ISSUED FOR PERMITS
03	18 MAR 2022	ISSUED FOR PERMITS
04	18 MAR 2022	ISSUED FOR PERMITS
05	18 MAR 2022	ISSUED FOR PERMITS

PROJECT:	10359 & 10360 TOWNHOUSES
OWNER:	240A STREET, MAPLE RIDGE, B.C.
SHEET DESCRIPTION:	SITE PLAN

DOUGLAS R. JOHNSON ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P3  
PH: (604) 998-3381  
FAX: (604) 998-0217  
drjohn@drjohn.ca

SCALE:	1/16" = 1'-0"	PROJECT NO.:	---
DATE:	29 APR 2022	DATE:	---
DRAWN:	---	CHECKED:	---
REVISIONS:	---	SHEET:	---
			DP-2.11



1 COLORED NORTH ELEVATION  
DP-6.11W 1/8" = 1'-0"



3 COLORED EAST ELEVATION - 240A STREET  
DP-6.11W 1/8" = 1'-0"



2 COLORED SOUTH ELEVATION  
DP-6.11W 1/8" = 1'-0"



4 COLORED WEST ELEVATION  
DP-6.11W 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(FA) FASCIA/TRIM	ASH GREY	
(TR) TRIM	ASH GREY DARK GREY	 
(S) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(RS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	 
DOORS	WHITE/ CEDAR/ DARK GREY	  
(RD) ROLL-UP DOOR	DARK GREY	

COPYRIGHT RESERVED  
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	27 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	11 NOV 2020	ISSUED FOR PERMITS
3	10 FEB 2021	ISSUED FOR PERMITS
4	10 FEB 2021	ISSUED FOR PERMITS
5	10 MAY 2021	PUBLIC HEARING

PROJECT:  
**10359 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
OWNER

SHEET DESCRIPTION  
**BUILDING-1 UNIT B & B3 COLOURED ELEVATIONS**

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD.SL  
NORTH VANCOUVER, BC V7P  
PH: (604) 988-3281  
FAX: (604) 988-8217  
djrarch@shaw.ca

SCALE:	PROJECT #
As Indicated	---
DATE: 22 SEP 2020	---
DRAWN:	SHEET:
REVISIONS:	DP-6.1



1 COLOURED WEST ELEVATION - 240 STREET  
DP-6.21W 1/8" = 1'-0"



2 COLOURED EAST ELEVATION  
DP-6.21W 1/8" = 1'-0"



3 COLOURED SOUTH ELEVATION  
DP-6.21W 1/8" = 1'-0"



4 COLOURED NORTH ELEVATION  
DP-6.21W 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
FL FLASHING	GREY	
GRS GUARD/RAILING	BLACK	
FA FASCIA/TRIM	ASH GREY	
TR1 TR2 TRIM	ASH GREY DARK GREY	
CI 8" HARDI SIDING	WHITE	
WS1 HARDI WALL SHINGLES	DARK GREY	
RS ROOF SHINGLES	DARK GREY	
HP1 HARDI PANEL	DARK GREY	
HP2 HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE/ CEDAR/ DARK GREY	
RD ROLL-UP DOOR	DARK GREY	

COPYRIGHT RESERVED  
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	11 MAY 2021	ISSUED FOR PERMITS AND COMMENCEMENT
3	11 MAY 2021	ISSUED FOR PERMITS AND COMMENCEMENT
4	19 FEB 2022	ISSUED FOR PERMITS AND COMMENCEMENT
5	18 MAY 2022	PUBLIC HEARING

PROJECT:  
**10359 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
OWNER

SHEET DESCRIPTION  
**BUILDING-2 COLOURED ELEVATIONS**

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3311  
FAX: (604) 998-6217  
djrarch@shaw.ca

SCALE:	As Indicated	PROJECT NO:	---
DATE:	23 SEP 2020	DRAWN:	---
REVISIONS:		SHEET:	DP-6.21W



1 COLORED SOUTH ELEVATION  
DP-6.31W 1/8" = 1'-0"



3 COLORED EAST ELEVATION - 240A STREET  
DP-6.31W 1/8" = 1'-0"



2 COLORED NORTH ELEVATION  
DP-6.31W 1/8" = 1'-0"



4 COLORED WEST ELEVATION  
DP-6.31W 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(FA) FASCIA/TRIM	ASH GREY	
(TR) TRIM	ASH GREY DARK GREY	 
(SD) 6" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(RS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	 
DOORS	WHITE/ CEDAR/ DARK GREY	  
(RD) ROLL-UP DOOR	DARK GREY	

COPYRIGHT RESERVED  
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	11 MAY 2021	ISSUED FOR PERMIT DESIGN
2	11 MAY 2021	ISSUED FOR FORM AND CHARACTER STUDY
3	11 MAY 2021	ISSUED FOR DP, REVIEWS
4	11 MAY 2021	ISSUED FOR DP, REVIEWS
5	11 MAY 2021	PUBLIC HEARING

PROJECT: 10359 TOWNHOUSES  
240TH STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION: BUILDING 3 UNIT B & B3 COLOURED ELEVATIONS  
OWNER:

DOUGLAS R. JOHNSON ARCHITECT LTD.  
#274-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-0251  
FAX: (604) 998-0217  
d@jarch@shaw.ca

SCALE:	PROJECT NO:
As Indicated	---
DATE:	DRAWN:
23 SEP 2020	DP-6.31W
REVISIONS:	SHEET:
5	DP-6.31W



1 240 TH STREET SCAPE VIEW  
 DP-5.01E 3/16" = 1'-0"

240 A STREET

**COPYRIGHT RESERVED**  
 THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	14 JUNE 2021	ISSUED FOR PERMITS AND COMMENCEMENT
3	14 FEB 2022	ISSUED FOR PERMITS
4	14 FEB 2022	ISSUED FOR PERMITS
5	15 MAY 2022	PUBLIC HEARING

PROJECT: 10360 TOWNHOUSES  
 240 A STREET, MAPLE RIDGE, B.C.  
 OWNER: \_\_\_\_\_

SHEET DESCRIPTION  
 STREET SCAPE ELEVATIONS

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
 #374-901 WEST 3RD ST.  
 NORTH VANCOUVER, BC V7P 3P9  
 PH: (604) 998-3393  
 FAX: (604) 998-0217  
 drjarch@shaw.ca

SCALE: 3/16" = 1'-0"	PROJECT NO: _____
DATE: 23 SEP 2020	SHEET: _____
REVISIONS: 5	DP-5.01E



1 COLORED NORTH ELEVATION  
DP-6.11E 1/8" = 1'-0"



2 COLORED SOUTH ELEVATION  
DP-6.11E 1/8" = 1'-0"



4 COLORED EAST ELEVATION  
DP-6.11E 1/8" = 1'-0"



3 COLORED WEST ELEVATION\_240A STREET  
DP-6.11E 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(TR) TRIM	ASH GREY / DARK GREY	
(FA) FASCIA	ASH GREY	
(SI) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(RS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE / CEDAR / DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	

COPYRIGHT RESERVED  
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	18 MAR 2021	ISSUED FOR PERMITS AND COMMUNITER DP
3	19 FEB 2022	ISSUED FOR PERMITS AND COMMUNITER DP
4	19 FEB 2022	ISSUED FOR DP PERMITS
5	18 MAR 2022	PERMITS HEARING

PROJECT: **10360 TOWNHOUSES**  
240TH STREET, MAPLE RIDGE, B.C.  
SHEET DESCRIPTION: **BUILDING-1 UNIT B, B1 & B2 - COLOURED ELEVATIONS**  
OWNER:

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-801 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 958-2081  
FAX: (604) 958-8217  
drjarch@shaw.ca

SCALE: As indicated  
DATE: 23 SEP 2020  
DRAWN: \_\_\_\_\_  
PROJECT NO: \_\_\_\_\_  
SHEET: \_\_\_\_\_  
REVISIONS: 

5
---

 DP-6.11E



1 COLORED SOUTH ELEVATION  
DP-4.21E / 1/8" = 1'-0"



3 COLORED WEST ELEVATION  
DP-4.21E / 1/8" = 1'-0"



2 COLORED NORTH ELEVATION  
DP-4.21E / 1/8" = 1'-0"



4 COLORED EAST ELEVATION  
DP-4.21E / 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(TR1) TRIM	ASH GREY4 DARK GREY	
(FA) FASCIA	ASH GREY4 BLACK	
(C1) 8" HARDI SIDING	WHITE	
(WS) HARDI WALL SHINGLES	DARK GREY	
(AS) ROOF SHINGLES	DARK GREY	
(HP) HARDI PANEL	DARK GREY	
(WP) HARDI PANEL	WHITE	
WINDOWS	WHITE / DARK GREY	
DOORS	WHITE/ CEDAR/ DARK GREY	
(RD) ROLL-UP DOOR	DARK GREY	

COPYRIGHT RESERVED  
THE PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	23 SEP 2020	ISSUED FOR PRELIMINARY DESIGN
2	11 NOV 2020	ISSUED FOR PERMITTING
3	11 NOV 2020	ISSUED FOR DP REVISIONS
4	11 NOV 2020	ISSUED FOR DP REVISIONS
5	11 NOV 2020	PUBLIC HEARING

PROJECT: **10360 TOWNHOUSES**  
240TH STREET, WHALE RIDGE, BC  
SHEET DESCRIPTION: **BUILDING-2 UNIT B,B1 & B2- COLOURED ELEVATIONS**  
OWNER:

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-601 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3281  
FAX: (604) 998-0217  
drjarcht@shaw.ca  
SCALE: As Indicated PROJECT NO: ---  
DATE: 23 SEP 2020 SHEET: ---  
DRAWING: ---  
REVISIONS: 5 DP-6.21E



LIQUIDAMBAR S. 'SLENDER SILHOUETTE'



PARROTTIA P. 'RUBY VASE'



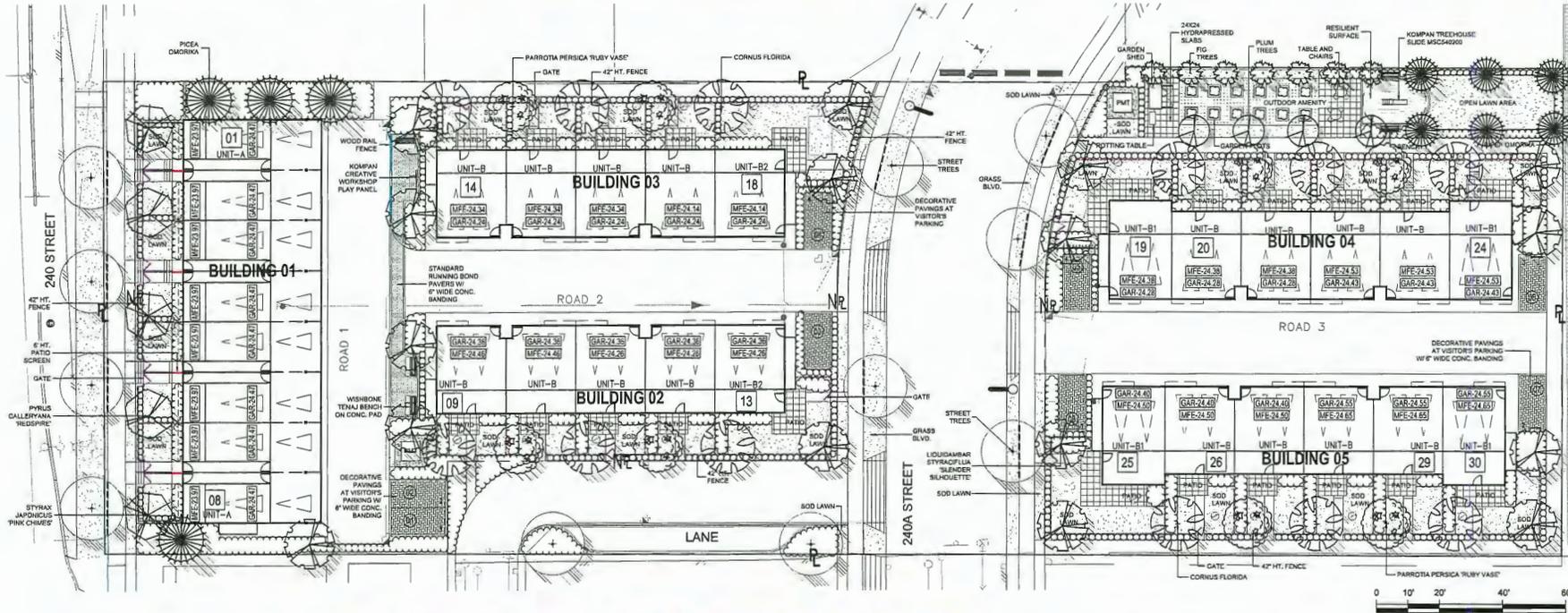
PICEA OMORIKA



PYRUS CALLERYANA 'REDSPIRE'



STYRAX JAPONICUS 'PINK CHIMES'



CORNUS FLORIDA



FICUS 'DESERT KING'



PLUM TREE

PLANT SCHEDULE					PWG PROJECT NUMBER: 21-487
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
13		CORNUS FLORIDA RUBRA	FLOWERING DOGWOOD	8CM CAL 1.5M STD; B&B	
7		FICUS 'DESERT KING'	DESERT KING FIG	#7 POT	
8		LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	8CM CAL 2M STD; B&B	
9		PARROTTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	8CM CAL 1.5M STD; B&B	
10		PICEA OMORIKA	SIBERIAN SPRUCE	3M HT; B&B	
4		PLUM TREE	ITALIAN PLUM	#10 POT	
2		PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE ORNAMENTAL PEAR	8CM CAL 1.5M STD; B&B	
3		STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL 1.5M STD; B&B	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN DRAINAGE MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

- 42" HT. FENCE
- WOOD RAIL FENCE AT WEST AMENITY AREA
- 6" HT. PRIVACY SCREEN

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

**pmg**  
LANDSCAPE ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
P: 604-294-0311 F: 604-294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	21.APR.21	REV. PLAN CORRECTIONS	JR
2	21.MAY.21	ADD COMMENTS	JR
3	21.JUN.21	ADD COMMENTS	JR
4	21.AUG.21	ADD COMMENTS	JR

PROJECT: 30 UNIT TOWNHOUSE DEV.  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE: LANDSCAPE PLAN

DATE: 21.APR.21 DRAWN: JR  
SCALE: 1/8"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY

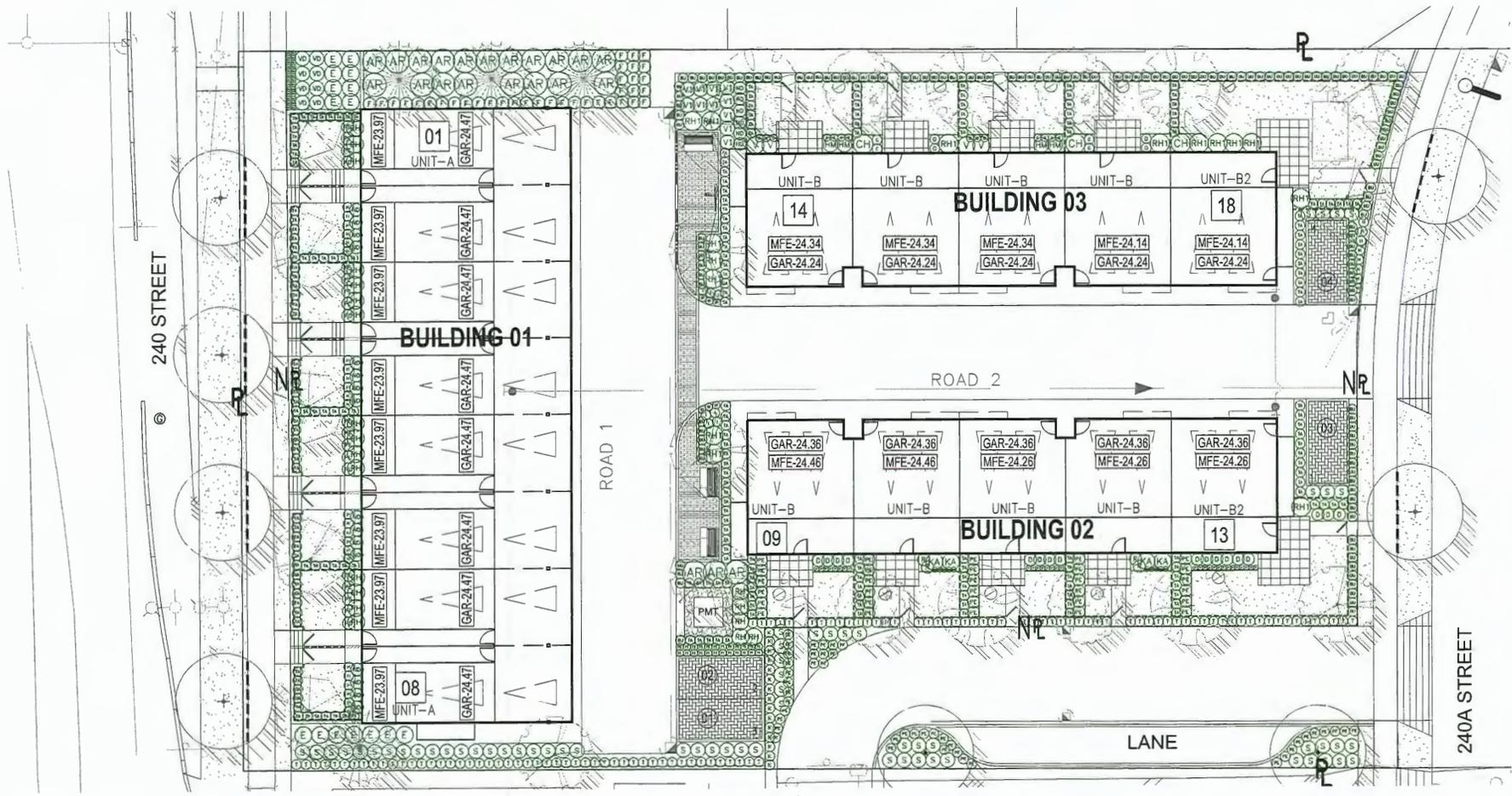
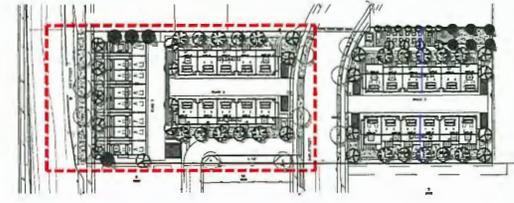
PWG PROJECT NUMBER: 21067-5.2P

APPENDIX F

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

**pmg**  
LANDSCAPE ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 5G9  
P: 604 294-0011 F: 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	21.APR.27	ISSUE FOR PERMIT	JR
2	21.APR.28	ADD COMMENTS	JR
3	21.APR.29	ADD COMMENTS	JR
4	21.APR.29	ADD COMMENTS	JR
5	21.APR.29	ADD COMMENTS	JR
6	21.APR.29	ADD COMMENTS	JR
7	21.APR.29	ADD COMMENTS	JR
8	21.APR.29	ADD COMMENTS	JR
9	21.APR.29	ADD COMMENTS	JR
10	21.APR.29	ADD COMMENTS	JR
11	21.APR.29	ADD COMMENTS	JR
12	21.APR.29	ADD COMMENTS	JR
13	21.APR.29	ADD COMMENTS	JR
14	21.APR.29	ADD COMMENTS	JR
15	21.APR.29	ADD COMMENTS	JR
16	21.APR.29	ADD COMMENTS	JR
17	21.APR.29	ADD COMMENTS	JR
18	21.APR.29	ADD COMMENTS	JR
19	21.APR.29	ADD COMMENTS	JR
20	21.APR.29	ADD COMMENTS	JR
21	21.APR.29	ADD COMMENTS	JR
22	21.APR.29	ADD COMMENTS	JR
23	21.APR.29	ADD COMMENTS	JR
24	21.APR.29	ADD COMMENTS	JR
25	21.APR.29	ADD COMMENTS	JR
26	21.APR.29	ADD COMMENTS	JR
27	21.APR.29	ADD COMMENTS	JR
28	21.APR.29	ADD COMMENTS	JR
29	21.APR.29	ADD COMMENTS	JR
30	21.APR.29	ADD COMMENTS	JR
31	21.APR.29	ADD COMMENTS	JR
32	21.APR.29	ADD COMMENTS	JR
33	21.APR.29	ADD COMMENTS	JR
34	21.APR.29	ADD COMMENTS	JR
35	21.APR.29	ADD COMMENTS	JR
36	21.APR.29	ADD COMMENTS	JR
37	21.APR.29	ADD COMMENTS	JR
38	21.APR.29	ADD COMMENTS	JR
39	21.APR.29	ADD COMMENTS	JR
40	21.APR.29	ADD COMMENTS	JR
41	21.APR.29	ADD COMMENTS	JR
42	21.APR.29	ADD COMMENTS	JR
43	21.APR.29	ADD COMMENTS	JR
44	21.APR.29	ADD COMMENTS	JR
45	21.APR.29	ADD COMMENTS	JR
46	21.APR.29	ADD COMMENTS	JR
47	21.APR.29	ADD COMMENTS	JR
48	21.APR.29	ADD COMMENTS	JR
49	21.APR.29	ADD COMMENTS	JR
50	21.APR.29	ADD COMMENTS	JR

PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**SHRUB PLAN**

DATE: 21.APR.27 DRAWING NUMBER:  
SCALE: 1"=10'-0" **L2**  
DRAWN: JR  
DESIGN: JR  
CHKD: MCV OF 6

FULL PLANT LIST ON L3



11067-5.2P

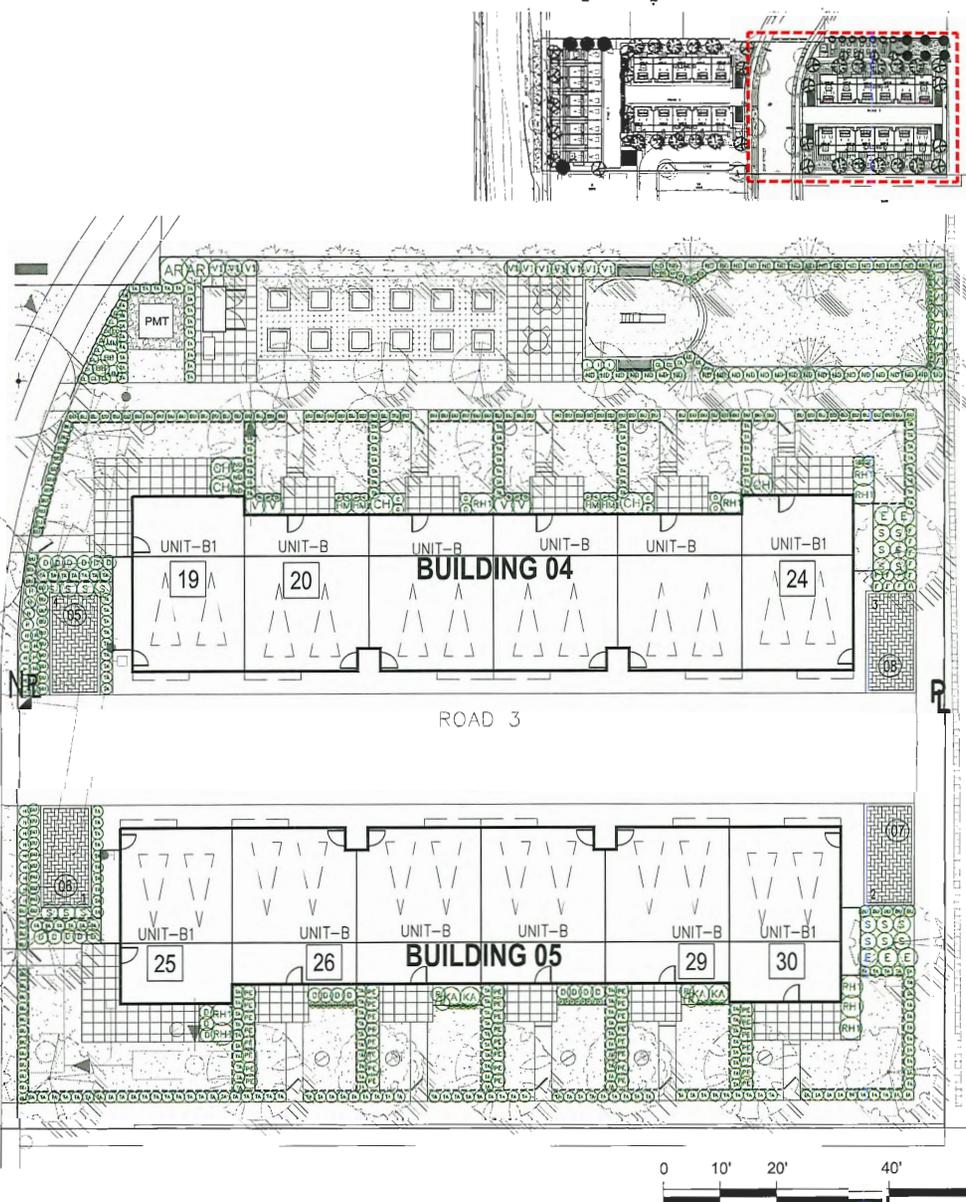
PMG PROJECT NUMBER: 21-067

**PLANT SCHEDULE**

PMG PROJECT NUMBER: 21067

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUB</b>				
24		ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE	#3 POT, 80CM
202		BURULS MICROPHYLLA 'WINTER GREEN'	LITTLE-LEAF BOX	#3 POT, 40CM
8		CHOISYA TERNATA 'SUNDANCE'	MEXICAN MOCK ORANGE	#3 POT, 50CM
20		EUCONYMIUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#2 POT, 30CM
68		EUCONYMIUS FORTUNEI 'EMERALD GAIETY'	EMERALD WINTERKEEPER	#3 POT, 50CM
8		HYDRANGEA SERRATA 'BLUEBIRD'	MOUNTAIN HYDRANGEA, LACECAP BLUE	#3 POT, 40CM
8		KALMA LATIFOLIA	MOUNTAIN LAUREL	#3 POT, 50CM
24		RHODODENDRON 'CHRISTMAS CHEER'	RHODODENDRON, BILUSH PINK	#3 POT, 50CM
20		RHODODENDRON 'J.J.M.'	RHODODENDRON, LIGHT PURPLE, E. MAY	#3 POT, 50CM
8		ROSA 'NOARTRALM'	CARPET ROSE, PINK	#2 POT, 40CM
79		SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM
448		TANUS 'MEDIA 'H.M. EDDIE'	EDDIE'S VEIN	1.9M BAB
109		THUA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT, BAB
27		VACCINIUM CORYMBOSUM 'BLUECROP'	EDIBLE BLUEBERRY	#3 POT, 60CM
8		VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT, 30CM
8		VIBURNUM TINUS 'SPRING BOUQUET'	DWARF VIBURNUM	#3 POT, 50CM
<b>GRASS</b>				
15		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
17		CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
24		CAREX 'OSHMENSIS EVERGOLD'	SILVER VARIEGATED SEDGE	#1 POT
24		FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	#1 POT
10		IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT
2		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#1 POT
131		PENNISETUM ALOPECUROIDES 'HAEMELIN'	DWARF FOUNTAIN GRASS	#1 POT
13		STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
<b>PERENNIAL</b>				
2		ACANTHUS SPINOSUS	BEAR'S BREECHEs	15CM POT
26		GALUM ODORATUM	SWEET WOODRUFF	8 M POT
20		HELLEBORUS 'HYBRIDUS'	LENTEN ROSE	15CM POT
2		HEMEROCALLIS	DAYLILY	#1 POT, 1-2 FAN
20		HOSTA FORTUNEI 'FRANCEE'	HOSTA, GREEN AND WHITE VARIEGATED	#1 POT, 1 EYE
2		SEDUM 'AUTUMN JOY'	STONECROP	#1 POT
<b>BT</b>				
46		PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT, 15CM
46		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 20CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CSA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	21.MAY.21	ADD PLANTING	JR
2	21.MAY.21	ADD COMMENTS	JR
3	21.MAY.21	ADD SIGNATURE	JR
4	21.MAY.21	SITE PLAN CORRECTION	JR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRIVING TITLE:  
**SHRUB PLAN**

DATE: 21.APR.27 DRAWING NUMBER:  
SCALE: 1"=10'-0"  
DRAWN: JR  
DESIGN: JR  
CHKD: MCY OF 6

**L3**

SEAL:



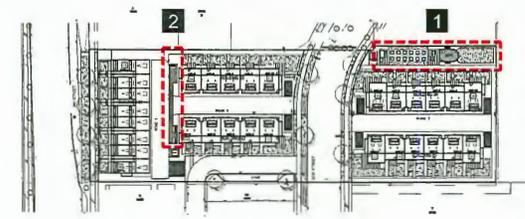
NO.	DATE	REVISION DESCRIPTION	DR.
4	22.MAR.22	ADD PLANTINGS	JR
3	22.MAR.22	ADD COMMENTS	JR
2	21.FEB.22	ADD SUBMISSION	JR
1	21.OCT.21	SITE PLAN CONSTRUCTION	JR

CLIENT:

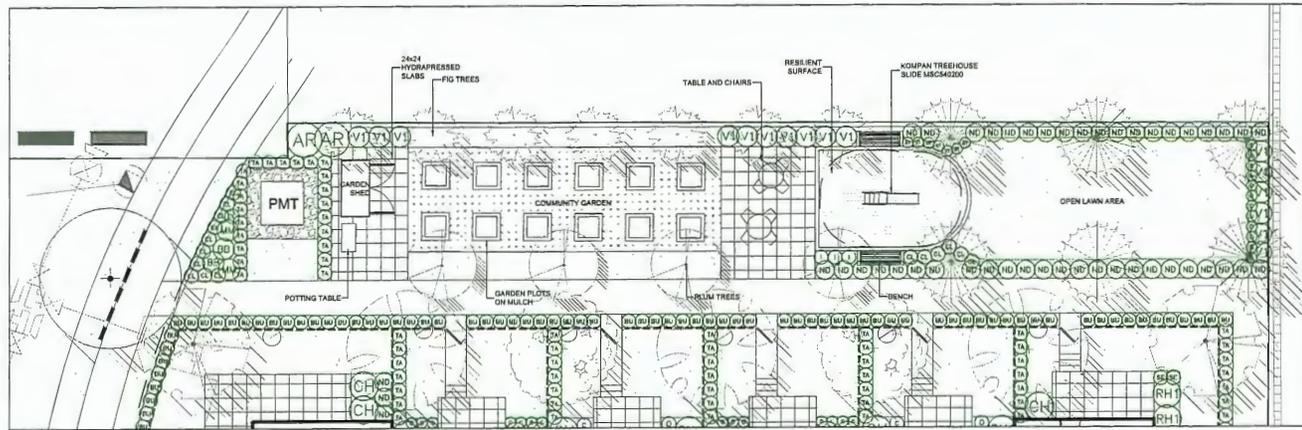
PROJECT:  
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**LANDSCAPE AMENITY ENLARGEMENTS**

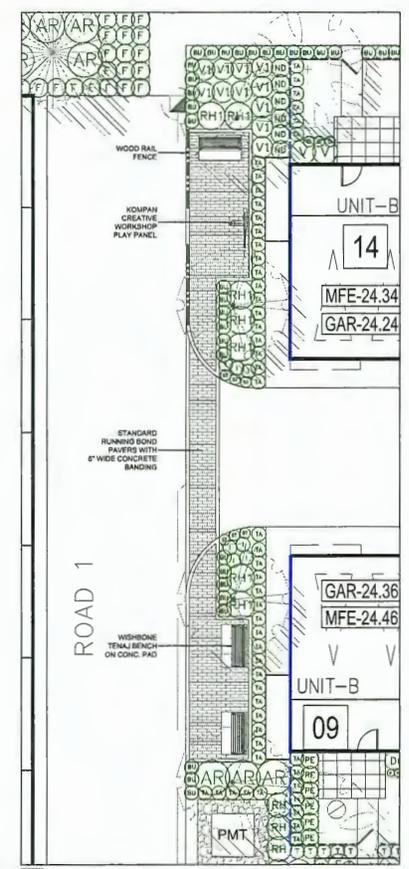
DATE: 21.APR.22 DRAWING NUMBER:  
SCALE: 1/8"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHKD: MCV OF 6



SHRUB, GRASS AND GROUNDCOVERS



1 EAST AMENITY AREA



2 WEST AMENITY AREA

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

**pmg**  
LANDSCAPE  
ARCHITECTS  
Suite C106 - 4185 58th Street Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	23.MAR.23	ADD PLANTINGS	JR
2	23.MAR.23	ASP COMMENTS	JR
3	23.MAR.23	ASP INFORMATION	JR
4	23.APR.23	WFL PLAN COORDINATION	JR

CLIENT:

PROJECT:

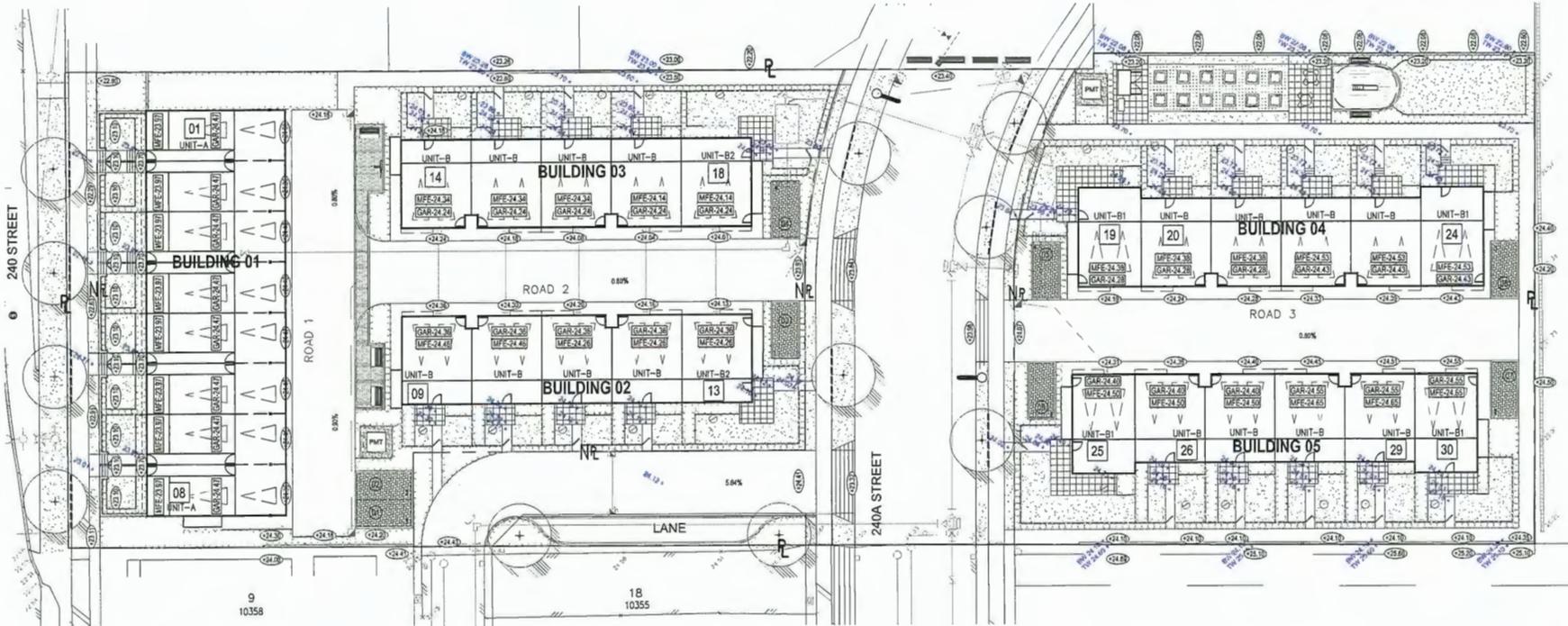
**30 UNIT TOWNHOUSE DEV.**  
10366 - 240TH STREET  
MAPLE RIDGE

DRAWING TITLE:  
**GRADING  
PLAN**

DATE: 21.APR.23 DRAWING NUMBER:  
SCALE: 1/16"=1'-0"  
DRAWN: JR  
DESIGN: JR  
CHK'D: MCV

**L5**  
OF 6

11067-5.2P PMG PROJECT NUMBER: 21-057





# DOUGLAS R. JOHNSON ARCHITECT LTD.

#374-901 W.3<sup>rd</sup> St. North Vancouver BC V7P 3P9  
(604) 998-3381 FAX. (604) 998-2217

## Response to The January 19 2022 ADP comments:

The following resolution was passed regarding **2020-413-DP** at the January 19, 2022 Regular Meeting of the Advisory Design Panel (ADP).

### 6.4 Development Permit No: 2020-413-DP/ 10366 240 Street

The Chair welcomed the project team to the meeting and introduced the members of the ADP. The Staff Liaison provided a brief overview of a submission for a 30-unit townhouse development under the RM-1 zone. The project team presented the development plans and answered questions from the Panel.

R/2022-008

It was moved and seconded

**That the Advisory Design Panel has reviewed application 2020-413-DP and recommends that the following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further that Planning staff forward this on to the Advisory Design Panel for information.**

#### Architectural Comments:

- Consider detailing for roof maintenance and drainage for shed roofs; **The cricket detail between the gables has a 4/12 slope. At the intersection of every gable we have a 6in rain water leader to pick up the water volume off the roof. We will also review the detail with our envelope consultant.**
- Review overhangs in consideration with architectural intent; **The overhanging portions of all of the roof elements have been updated to 6 inches.**
- Consider bookending colour palettes of building blocks; **The 240st elevation has been revised with dark grey palette being used on the 2 units on the south that step back so they are better defined. The color is matched with the last 2 units on the north.**
- Ensure vehicle parking spaces have adequate maneuvering space; **The following modifications were made to the plans:**
  - **The drive aisle to the north of Bldg 2 on 240<sup>th</sup> Street was extended to provide space for reverse turning movements.**
  - **Templates demonstrating turning movements from end unit drive aisles are illustrated on DP-2.11.**

- Visitor parking stall near unit 7 Bldg 2 on 240 A Street has been deleted to provide hammerhead for visitor parking stall east side of Bldg 1. Remaining 3 Visitor parking stalls are in compliance with zoning bylaw.
- Confirm internal road widths meet zoning bylaw; **We are providing a 6.0M wide drive aisle with 1.25M aprons on both sides for a total width of 8.5M for the double garage units. For the tandem units in Building 1 the drive aisle is 6.0M**
- Confirm tandem parking is full car depth; **Inside tandem is 6.7M in depth and the outside is 5.48M except for the last two units to the south where the outside stall is 4.88M**
- Explore alternate window rhythm on street frontage. **The windows for the street facing elevations for Building 1 on 240<sup>th</sup> Street have been revised to have a balanced appearance.**

**Landscape Comments:**

- Explore alternative programming in small amenity spaces at units 14 and 5; **Alternative Landscape with more hardscape elements and seating will be considered for this area**
- Consider incorporating tree protection area into amenity area; **This area is disconnected from adjacent amenity area and does not make sense to incorporate.**
- Improve access to amenity area for residents of buildings 1, 2 and 3; **A zebra crossing will be added on 240A to provide additional safety for access the outdoor amenity in the North East corner.**
- Examine consistency of grading between patio and yard space and potential issues for stormwater management; **The condition along 240 St. consists of a small retaining wall and the width varies from zero to .9M at the property line. The design provides maximum slopes of 5% up to the building entrance, providing a defined level private yard, positive grading and good relationship of the entry to the street and yard.**
- Consider planting in internal roads. **Required apron widths per the bylaw and access requirements for the units unfortunately will not allow room for planting.**

Yours truly,

*Douglas Johnson*

Doug Johnson MAIBC

## Memorandum

---

**Date:** April 22, 2022

**To:** Maple Ridge Planning Department – Attention Rene Tardif

**Subject:** Public Comment Opportunity Rezoning Application Development Permit No: 2020-413-DP

---

Dear Rene, we are pleased to provide this report regarding the results of the Public Comment Opportunity period for this project that took place between April 11th and 20th, 2022. This report is being provided in accordance with the City's policy PUBLIC COMMENT OPPORTUNITY – DEVELOPER PROCESS that has been established in lieu of the requirement for a Development Information Meeting.

### **A. Number of Respondents**

We confirm that we received a total of 3 inquiries from the public in regards to the project from 3 separate individuals; [REDACTED] Copies of the original email correspondence received is included in Appendix A to this report.

### **B. Summary of Comments received**

The comments received requested additional information about the application including a site plan and views with dimensions from adjacent property boundaries, elevation views, proposed color scheme, height of proposed units and infrastructure in relation to adjacent properties, landscaping plans including species, screening proposed and expected growth height, whether retaining walls were being constructed, level of construction activity and excavation amounts, construction time frame and clarification on reduced setbacks.

### **C. Analysis of the Comment sheets**

There were no comment sheets provided as part of the PCO process as the process did not include an in-person meeting due to ongoing pandemic related concerns in the region, in lieu of comment sheets a project specific email was provided: [mapleridge@alvaingroup.com](mailto:mapleridge@alvaingroup.com) for interested parties to request information. A dropbox link (below) was provided with access to a full set of materials on the project in accordance with the PCO policy.

[https://www.dropbox.com/sh/1vh7lm89z8a7hid/AACujQqyg-C\\_9sQZRP06dHJla?dl=0](https://www.dropbox.com/sh/1vh7lm89z8a7hid/AACujQqyg-C_9sQZRP06dHJla?dl=0)

### **D. Summary of Issues and Concerns and Proposed solutions**

[REDACTED]

The concerns were primarily related to the effect of the proposed development on privacy and outlook from the existing units rear yard and balcony.

The potential solutions to address these concerns could include the following and we will work with the adjacent property owner to come to a compromise.

- Adding a cedar hedge along the developments property boundary fence with the existing Willow complex.
- Installing a privacy lattice screen along the eastern fence adjacent to unit 11 of the Willow complex
- Relocating the 2 proposed liquid Ambers at the eastern end of the projects building 5 (unit 30) to more directly screen unit 11 of the Willow complex and planting one additional tree to increase the privacy.

Kunwar Bir Singh  
Alvair Development Ltd.



November 1, 2021

City of Maple Ridge  
11995 Haney Place  
Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Mr. Tardif:

Re: File #: 2020-413-RZ  
Legal: Lot: A, Section: 3, Township: 12, Plan: NWP13554  
Location: 10366 240 Street  
From: RS-2 (Single Detached Suburban Residential)  
To: RM-1 (Low Density Townhouse Residential)

The proposed application would affect the student population for the catchment areas currently served by *ćəsqənelə* Elementary and Samuel Robertson Technical Secondary School.

*ćəsqənelə* Elementary has an operating capacity of 611 students. For the 2021-22 school year the student enrolment at *ćəsqənelə* Elementary is 612 students (100.2% utilization) including 106 students from out of catchment.

Samuel Robertson Technical Secondary School has an operating capacity of 600 students. For the 2021-22 school year the student enrolment at Samuel Robertson Technical Secondary School is 799 students (133.2% utilization) including 215 students from out of catchment.

Please note that the out of catchment numbers are reflective of the 2020/21 school year.

Sincerely,

Flavia Coughlan  
Secretary Treasurer  
The Board of Education of School District No. 42 (Maple Ridge – Pitt Meadows)

cc: Rick Delorme  
David Vandergugten  
Derek Oppedisano

**TO:** His Worship Mayor Michael Morden  
and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** **Second Reading**  
**Zone Amending Bylaw No. 7503-2018**  
**21745 River Road**

**MEETING DATE:** June 21, 2022  
**FILE NO:** 2018-349-RZ  
**MEETING:** C o W

---

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject property, located at 21745 River Road, from RS-1 (Single Detached Residential) to RS-1b (Single Detached (Medium Density) Residential) to permit a future subdivision of two lots. Council granted first reading to *Zone Amending Bylaw No. 7503-2018* on November 27, 2018, after which the former owner requested to put the application on hold to research a higher density potential. The subject property is within the Fraser River Escarpment Area and with the current policies in place the proposed two lot subdivision is the highest and best use of the property.

The subject property has since transferred ownership and the new owner wishes to continue the application. The current lot size is approximately 0.15 ha (0.37 acres), and is approximately 29.5 m (96.8 ft.) wide. The minimum lot size for the proposed RS-1b (Single Detached (Medium Density) Residential) zone is 557m<sup>2</sup> with a minimum required lot width of 15 m (49.2 ft.). This rezoning is in compliance with the Official Community Plan land use designation of *Urban Residential – Major Corridor*.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$5,100 per single family lot, or such rate applicable at third reading. The proposal is for fewer than three lots, therefore the original lot is exempt from the CAC payment.

**RECOMMENDATIONS:**

1. That *Zone Amending Bylaw No. 7503-2018* be given second reading as amended, and forwarded to Public Hearing;
2. That the following terms and conditions be met prior to final reading:
  - i) Approval from the Ministry of Transportation and Infrastructure;
  - ii) Road dedication on River Road as required;
  - iii) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;
  - iv) Registration of a Restrictive Covenant for Stormwater Management;

- v) Removal of existing buildings;
- vi) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site; and
- vii) That a voluntary contribution, in the amount of \$5,100.00 (\$5,100 x 1 lot), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.

**DISCUSSION:**

**1. Background Context:**

Applicant:	1068797 BC Ltd.
Legal Description:	Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510
OCP:	
Existing:	Urban Residential
Proposed:	Urban Residential
Within Urban Area Boundary:	Yes
Area Plan:	No
OCP Major Corridor:	Yes
Zoning:	
Existing:	RS-1 (Single Detached Residential)
Proposed:	RS-1b (Single Detached (Medium Density) Residential)
Surrounding Uses:	
North:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
South:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
East:	Use: Single-Family Residential
	Zone: RS-1b (Single Detached (Medium Density) Residential)
	Designation: Urban Residential
West:	Use: Single-Family Residential
	Zone: RS-1 (Single Detached Residential)
	Designation: Urban Residential
Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	0.15 ha (0.37 acres)
Access:	River Road
Servicing:	Urban Standard
Flood Plain:	No
Fraser Sewer Area:	Yes

## 2. Project Description:

The subject property is approximately 0.15 ha (0.37 acres) in area, is generally flat and has trees located within the front yard and western property boundary. The subject property is located within the Fraser River Escarpment Area. The property is surrounded by single-family residential lots to the west, north and east, with River Road located to the south (see Appendices A and B).

The current application proposes to rezone the subject property from the RS-1 (Single Detached Residential) zone to the RS-1b (Single Detached (Medium Density) Residential) zone (see Appendix C), to permit a future subdivision into two lots, not less than 557m<sup>2</sup> (5,996 ft<sup>2</sup>) in area (see Appendix D). The proposed lot sizes of 739m<sup>2</sup> (7,954 ft<sup>2</sup>) and 760 m<sup>2</sup> (8,180 ft<sup>2</sup>) meet the minimum area requirements of the RS-1b (Single Detached (Medium Density) Residential) zone. The existing structures on the property will be demolished as a condition of rezoning. Access for each lot will be provided from River Road.

## 3. Planning Analysis:

### i. Official Community Plan:

The subject property is located in West Maple Ridge, and is currently designated *Urban Residential* in the Official Community Plan (OCP). River Road is designated as a Major Corridor within the OCP, therefore the *Urban Residential – Major Corridor* policies apply. The *Urban Residential - Major Corridor* designation allows for building forms such as: single family, duplex, triplex, fourplex, courtyard, townhouse and apartment, subject to satisfying compatibility criteria in the OCP. These compatibility criteria include respecting and reinforcing the physical patterns and characteristics of its established neighbourhood.

The subject property is located within the Fraser River Escarpment Area. Council policies 6.23 and 6.24 have been established relating to building construction within the Fraser River Escarpment Area. When a property is located within the Fraser River Escarpment Area, additional construction, engineering and covenants may apply, depending on the property's location. The purpose of these policies is to set out conditions under which subdivision of, or building on land can be considered within the escarpment area without compromising the stability of the escarpment, and to have control of surficial and groundwater discharge in the area. As part of the rezoning, connections to the existing storm sewer will be required.

### ii. Zoning Bylaw:

The current application proposes to rezone the subject property from the RS-1 (Single Detached Residential) zone to the RS-1b (Single Detached (Medium Density) Residential) zone to permit the future subdivision into two lots. The minimum lot size for the proposed RS-1b (Single Detached (Medium Density) Residential) zone is 557m<sup>2</sup> (5,996 ft<sup>2</sup>) with a minimum lot width of 15.0 m (49.2 ft). The applicant is proposing two lots that are slightly under the 15.0 m (49.2 ft.) width requirement; therefore, a Development Variance Permit application is required to vary the width.

*Zone Amending Bylaw No. 7503-2018* has been amended since first reading to reflect the changes to amend *Zoning Bylaw No. 7600-2019*, which was adopted in December 2020.

**iii. Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following variance:

- *To reduce the minimum lot width from 15.0 m (49.2 ft.) to 14.9 m (48.9 ft.).*

The requested variance to the RS-1b (Single Detached (Medium Density) Residential) zone will be the subject of a future Council report.

**iv. Advisory Design Panel:**

This application does not need to be reviewed by the Advisory Design Panel because a Form and Character Development Permit is not required.

**v. Development Information Meeting:**

A Development Information Meeting is not required for this application, as there are fewer than five dwelling units being proposed.

**4. Traffic Impact:**

As the subject property is located within 800m of the Lougheed Highway, Ministry of Transportation and Infrastructure approval of the *Zone Amending Bylaw No. 7503-2018* will be required as a condition of final reading. At this time, the Ministry has granted preliminary approval of the Zone Amending Bylaw.

**5. Interdepartmental Implications:**

**i. Engineering Department:**

The Engineering Department requires the following items be addressed:

- a) Road dedication, as required, to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*;
- b) Utility servicing, as required, to meet the design criteria of the *Subdivision and Development Servicing Bylaw No. 4800-1993*, which will be a condition of the future subdivision.
- c) Frontage upgrades to the applicable road standard, which will be a condition of the future subdivision.

**ii. Building Department:**

All groundwater, landscaping, surface and building drainage must be connected to the Municipal storm drainage system for properties within the Fraser River Escarpment Area.

**CONCLUSION:**

It is recommended that second reading be given to *Zone Amending Bylaw No. 7503-2018*, and that application 2018-349-RZ be forwarded to Public Hearing.

“Original signed by Charles Goddard” for

---

*Prepared by:* **Therese Melser**  
**Planning Technician**

“Original signed by Charles Goddard”

---

*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

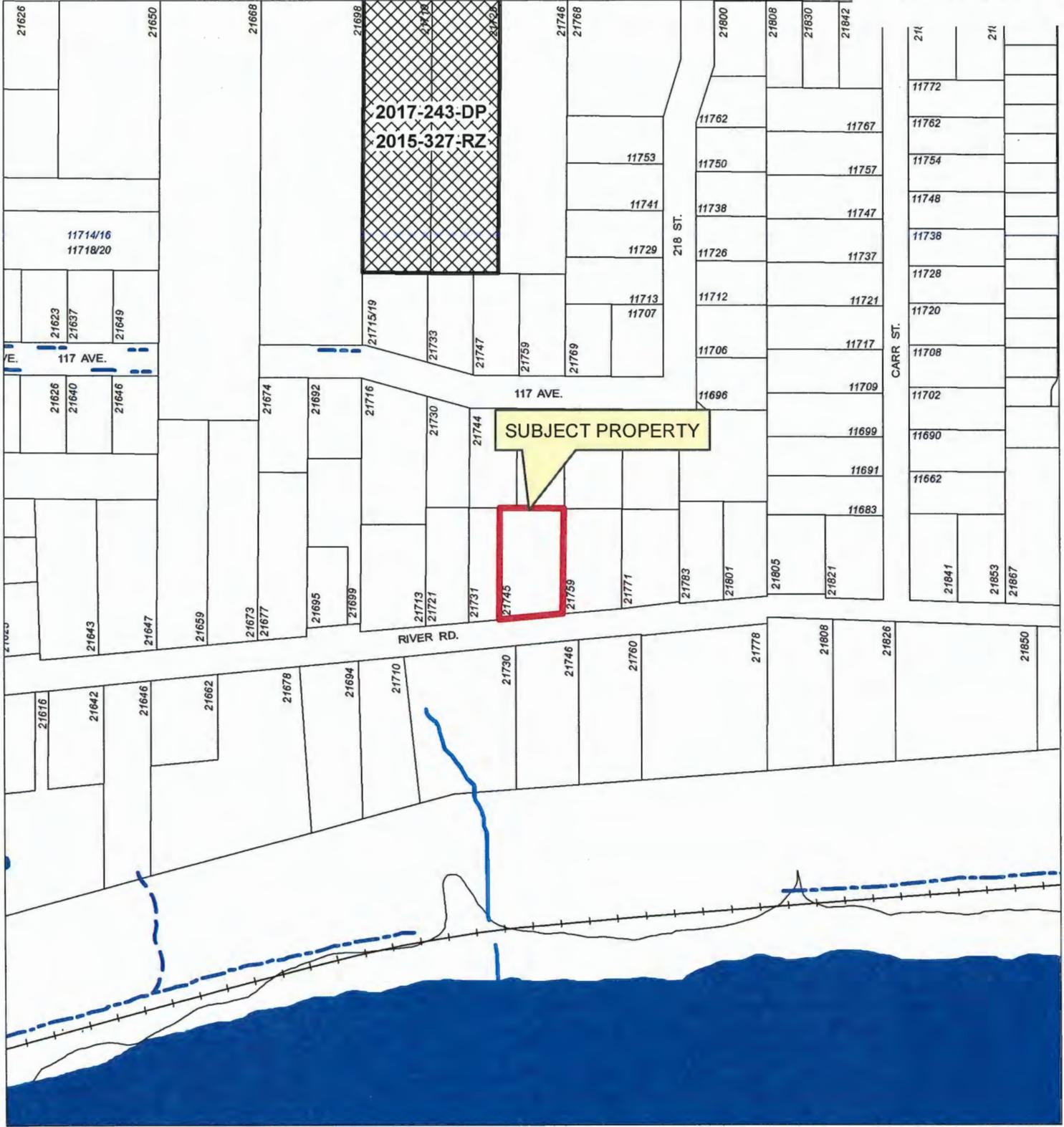
“Original signed by Scott Hartman”

---

*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Zone Amending Bylaw No. 7503-2018
- Appendix D – Proposed Subdivision Plan



Scale: 1:2,500

**Legend**

-  Stream
-  Ditch Centreline
-  Edge of River
-  Indefinite Creek
-  Lake or Reservoir
-  River
-  Railway (Generalized)
-  Major Rivers & Lakes

**21745 RIVER ROAD**

PLANNING DEPARTMENT



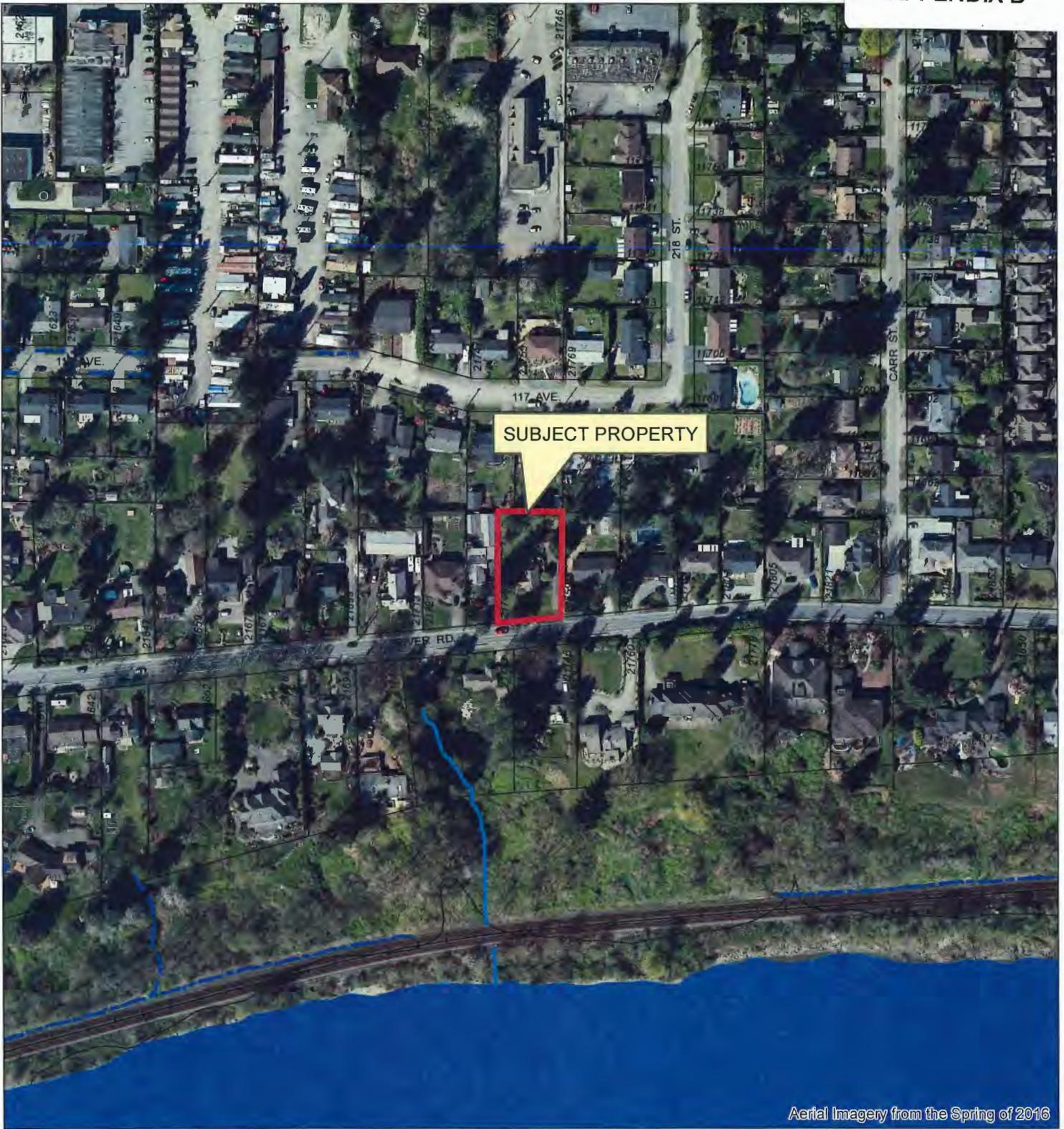
**MAPLE RIDGE**

British Columbia

**mapleridge.ca**

FILE: 2018-349-RZ  
DATE: Aug 28, 2018

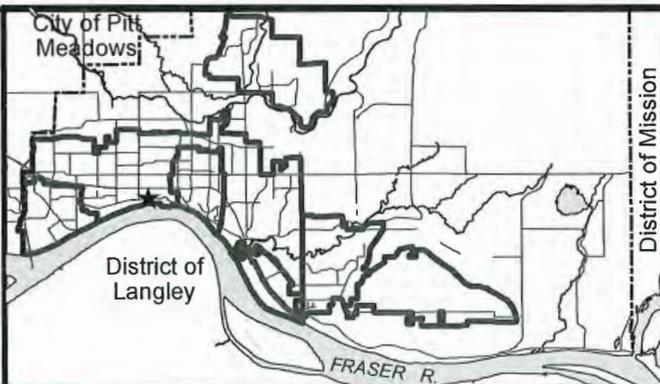
BY: LP



Aerial Imagery from the Spring of 2016



Scale: 1:2,500



21745 RIVER ROAD

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2018-349-RZ  
DATE: Aug 28, 2018

BY: LP

CITY OF MAPLE RIDGE  
BYLAW NO. 7503-2018

A Bylaw to amend Schedule "A" forming part of Zoning Bylaw No. 7600-2019, as amended

---

**WHEREAS**, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended;

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7503-2018."

2. That parcel or tract of land and premises known and described as:

Lot 82 District Lot 247 Group 1 New Westminster District Plan 32510

and outlined in heavy black line on Map No. 1778 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RS-1b (Single Detached (Medium Density) Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019, as amended and Schedule "A" attached thereto are hereby amended accordingly.

**READ** a first time the 27<sup>th</sup> day of November, 2018.

**READ** a second time, as amended, the            day of            , 20

**PUBLIC HEARING** held the            day of            , 20

**READ** a third time the            day of            , 20

**APPROVED** by the Ministry of Transportation and Infrastructure this            day of            , 20

**ADOPTED**, the            day of            , 20

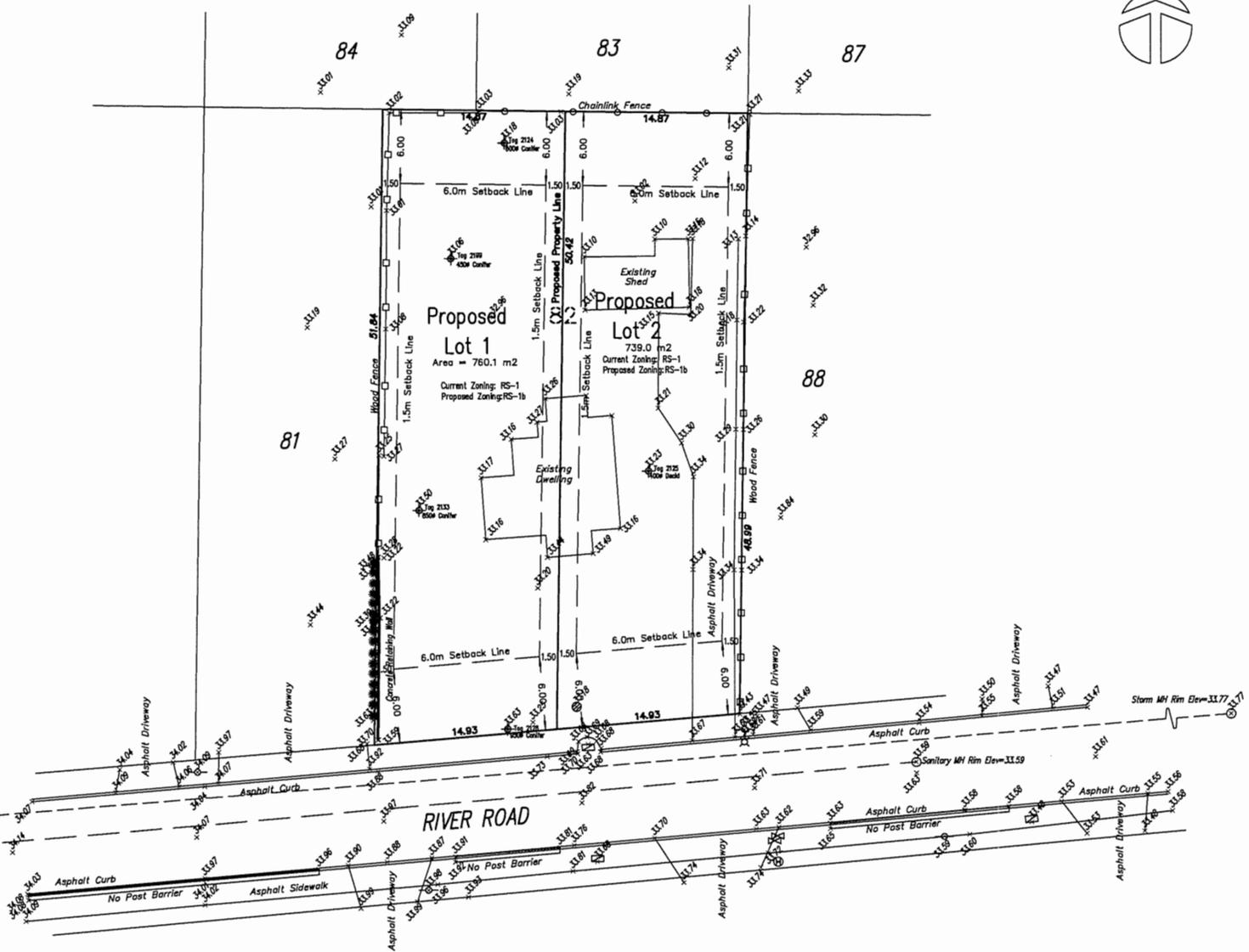
---

PRESIDING MEMBER

---

CORPORATE OFFICER



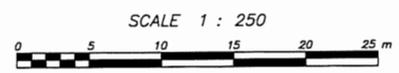


**Terra Pacific**  
Land Surveying Ltd  
22371 St Arns Avenue, Maple Ridge, BC  
Phone: 604-463-2509 Fax: 604-463-4501

Drawing Title  
**Topographic Survey Plan Of  
Lot 82 DL 247 G. 1  
NWD PLAN 32510**

Project  
**21745 River Road  
Maple Ridge, BC**

Notes:  
All Dimensions Are in Meters.  
Lot Dimensions Are Based On Current Legal Survey.  
Elevations Are Geodetic.  
Referred to Monument 0282449.  
Monument Elev = 33.755 m  
Manholes Inverts not surveyed due to high traffic volume at time of survey.



<b>Legend</b>	Water Valve	File: MR18-1927DPO_REV
⊕	Fire Hydrant	Certified Correct
⊗	Ground Elevation	This 10th Day Of August, 2018
○	Manhole	
▬	Hedge	
⊠	Catch Basin	
⊙	Lawn Drain	
⊕	Tree	
⊖	Power Pole	
⊕	Power Pole with Light	
		Mike Bernemann, BCLS



**mapleridge.ca**

**City of Maple Ridge**

**TO:** His Worship Mayor Michael Morden  
and Members of Council

**FROM:** Chief Administrative Officer

**MEETING DATE:** July 19, 2022

**FILE NO:** 2019-392-RZ

**MEETING:** Public Hearing

**SUBJECT: ADDENDUM to Second Reading Report dated June 15, 2021  
22904, 22910 and 22922 Dewdney Trunk Road**

**EXECUTIVE SUMMARY:**

Revisions to the plans included in the second reading report for application 2019-392-RZ to permit the future construction of a six-storey, mixed-use building with 127 units of apartment housing and approximately 180m<sup>2</sup> of commercial space, have been received and feature certain changes due to access issues with the proposal. The previous plans featured access from a rear lane that would need to be constructed over a portion of the property located at 22882 Dewdney Trunk Road to the west. The new proposal features access from a temporary lane connecting the rear of the property to Dewdney Trunk Road, over the property located at 22936 Dewdney Trunk Road, located immediately to the east of the subject site. The property to the east is part of Application No. 2021-281-RZ, which is anticipated to receive second reading in July of 2022. As a result of this new access arrangement, the following changes to the proposal have been made:

1. The rear entrance to the underground parking relocated to the west side of the building.
2. The circulation within the underground parkade has been adjusted and the location of the bicycle parking has been changed by bringing some of the parking to the main floor.
3. The grade at the front (north) of the building has been raised slightly.
4. The location of the indoor amenity areas on the main floor of the building had been brought closer to the centre of the building and the at-grade parking adjusted.

**CONCLUSION:**

The modifications to the design of the proposal do not change the overall form and character of the building and do not change the use or density of this application. There are no changes to the Zone Amending Bylaw; therefore, the application can continue from second reading to Public Hearing. The Development Permit for the building is subject to Council approval and will be the subject of a future report to Council.

“Original signed by Rene Tardif”  
*Prepared by:* **Rene Tardif, BA, M.PL**  
**Planner 1**

“Original signed by Charles Goddard”  
*Reviewed by:* **Charles R. Goddard, BA, MA**  
**Director of Planning**

“Original signed by Christine Carter”  
*Approved by:* **Christine Carter, M.PL, MCIP, RPP**  
**GM Planning & Development Services**

“Original signed by Scott Hartman”  
*Concurrence:* **Scott Hartman**  
**Chief Administrative Officer**

The following appendices are attached hereto:  
 Appendix A – Subject Map  
 Appendix B – Ortho Map  
 Appendix C – Updated Architectural and Landscape Plans  
 Appendix D – Application 2019-392-RZ Second Reading Report dated June 15, 2021



**SUBJECT PROPERTIES**

22904/10/22 DEWDNEY TRUNK ROAD  
 PID'S: 005-703-018, 005-562-171 &  
 005-649-617

PLANNING DEPARTMENT



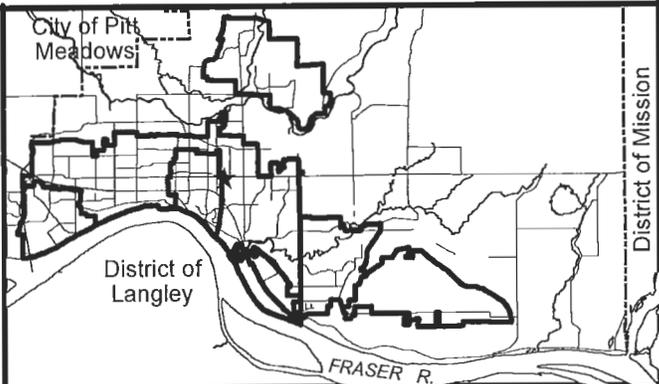
[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-392-RZ  
 DATE: Nov 15, 2019

BY: PC



Scale: 1:2,500



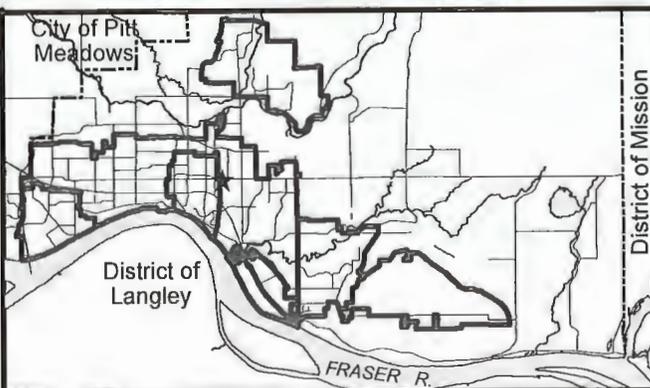


SUBJECT PROPERTIES

Aerial Imagery from the Spring of 2018



Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
 PID'S: 005-703-018, 005-562-171 &  
 005-649-617

PLANNING DEPARTMENT



[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-392-RZ  
 DATE: Nov 15, 2019

BY: PC

# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD  
MAPLE RIDGE, BRITISH COLUMBIA



*Prepared by*

Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)



Billard Architecture Inc. <sup>o</sup>

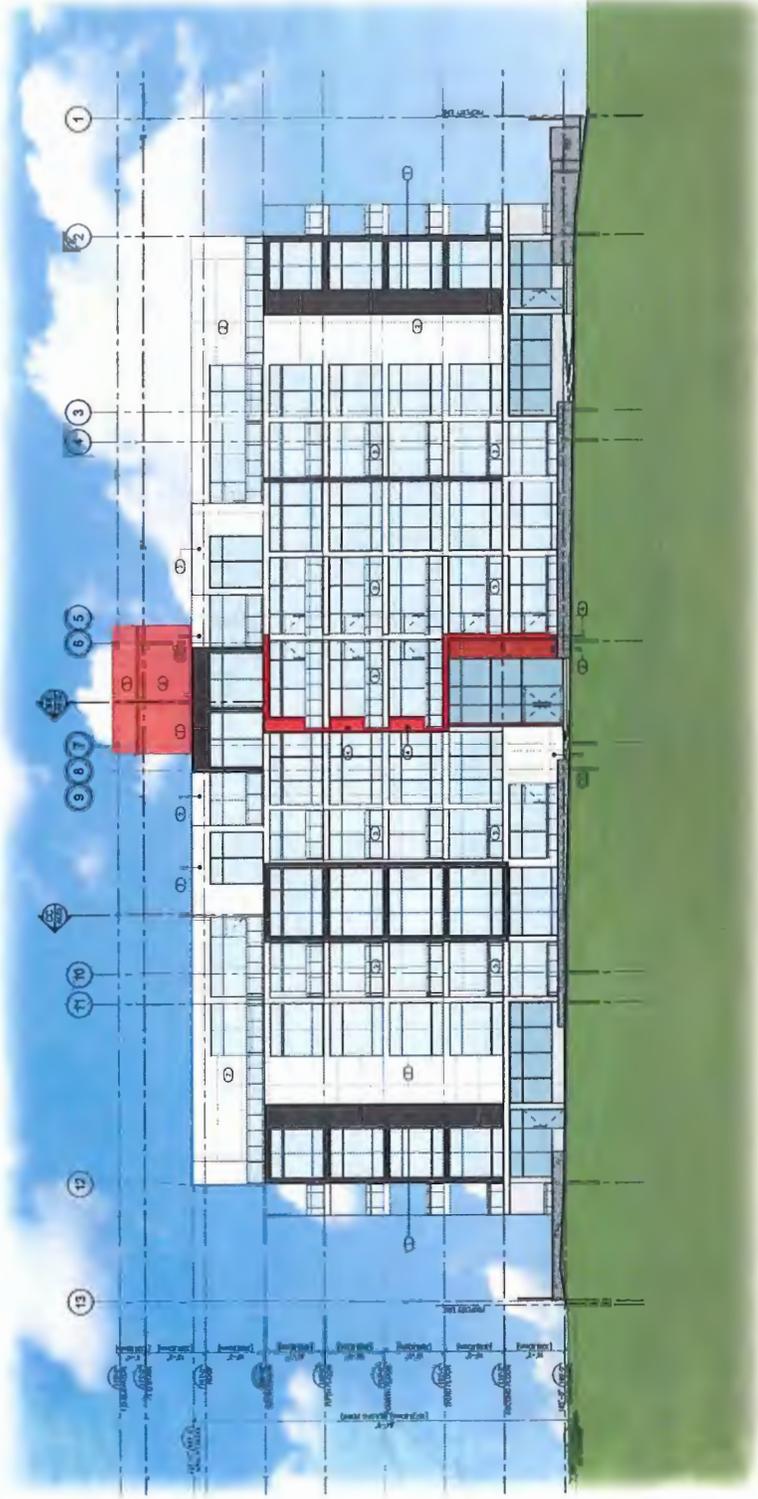


# MASSING

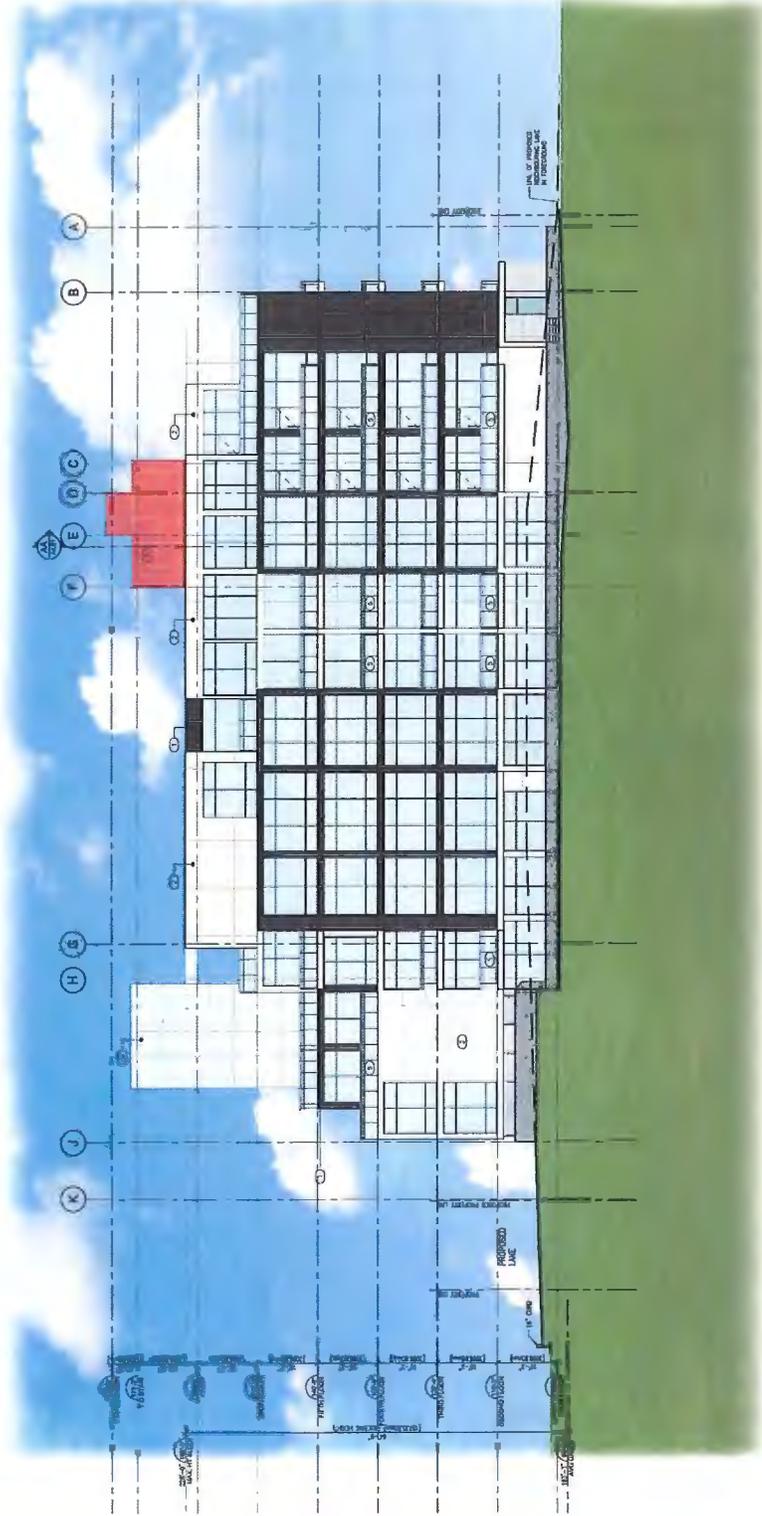
- **5.1.27** Vertical elements should be included to break down the horizontal scale of the building
- **8.7.1 (2)** Transitional development should be used to bridge areas of low and high densities, through means such as stepped building heights
- **8.7.2 (A) 2** Residential buildings should front or appear to front onto public roads through the use of appropriate treatment of exteriors
- **8.7.2 (A) 4** Be designed to maximize privacy and minimize views onto adjoining site
- **8.7.2 (A) 4** Create a transition in building mass and form towards the setbacks of the adjacent neighbourhood
- **8.7.2 (A) 5** Incorporate components that express strong unit identity and incorporate direct access to grade for ground-floor units
- **8.7.2 (A) 5** Provide variation in the façades to help reduce the visual length of individual buildings
- **8.7.2 (A) 10** Garage doors should not face public streets



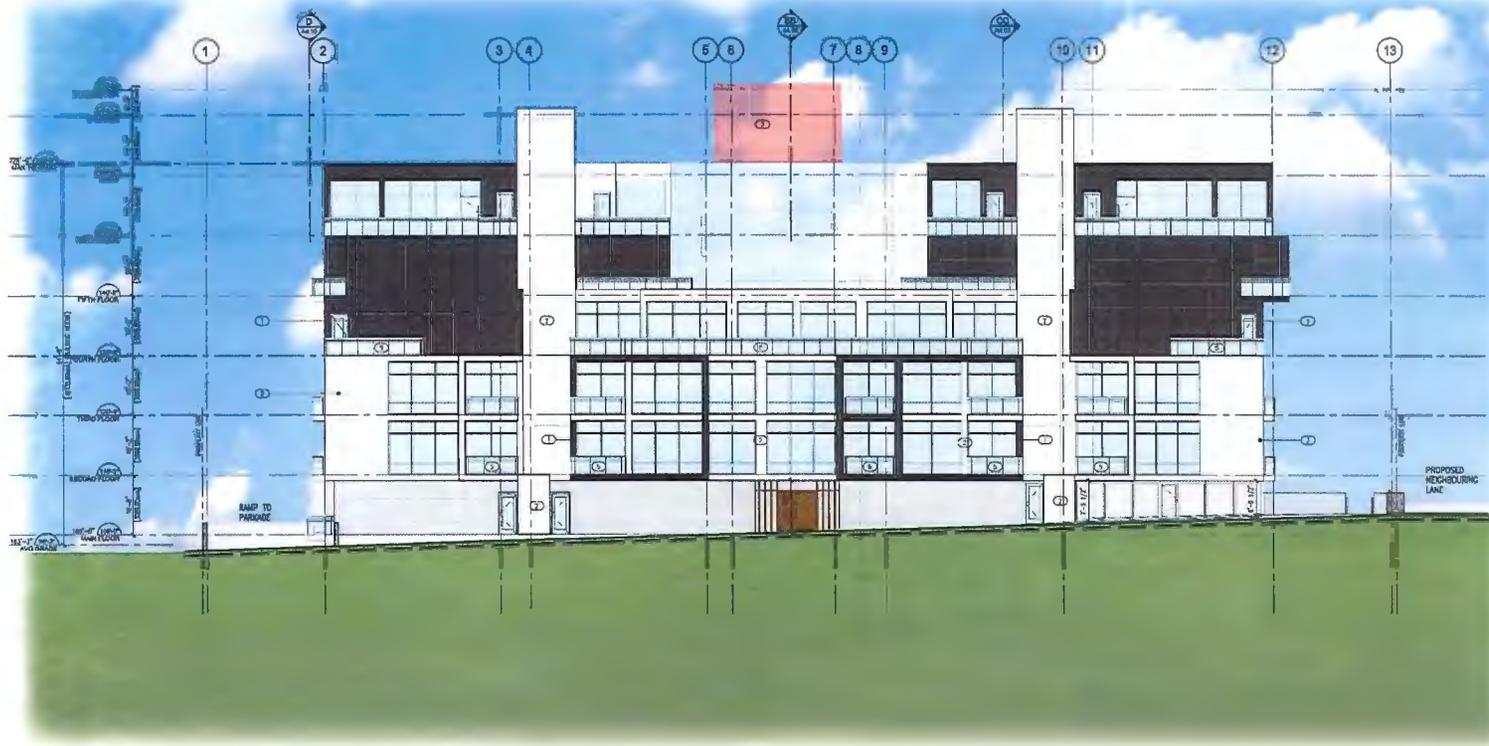
# ELEVATIONS - NORTH



# ELEVATIONS - EAST

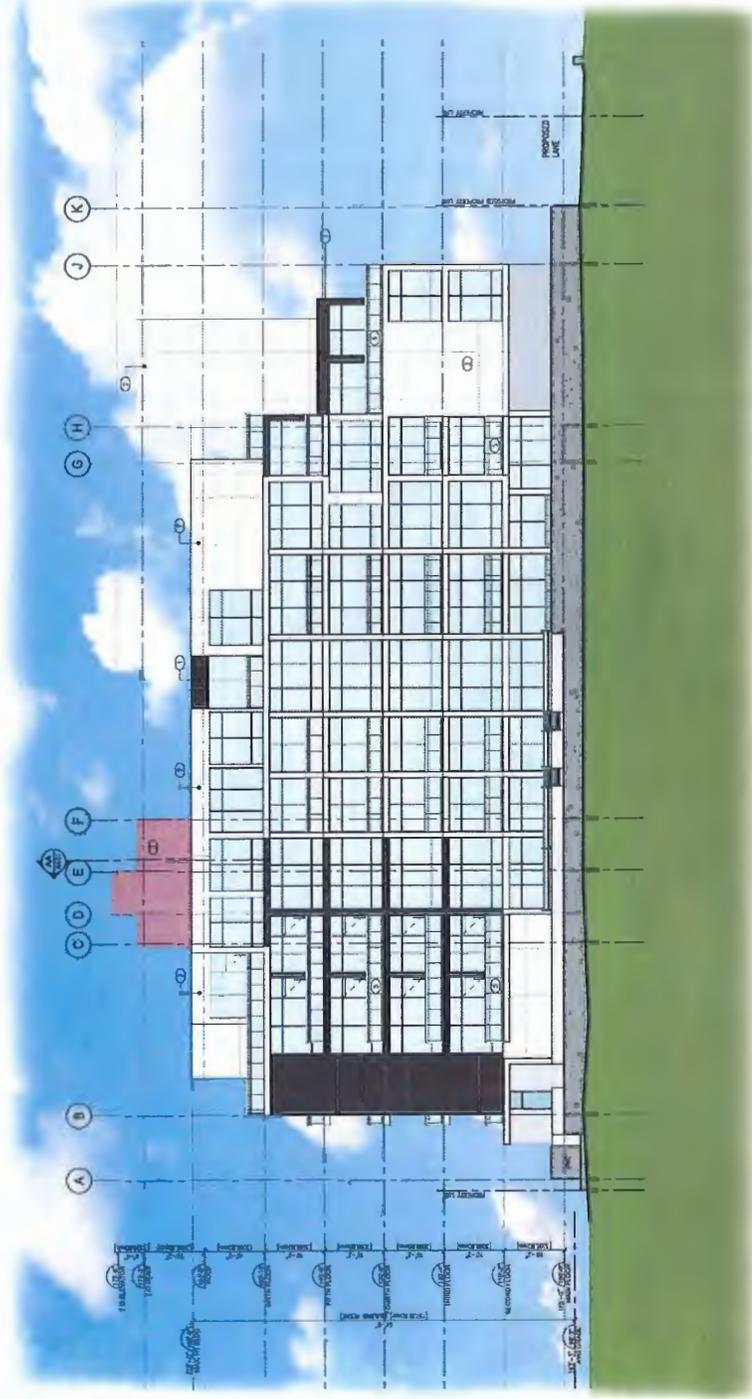


# ELEVATIONS - SOUTH



**Note:** Sunshades to be installed above windows on this elevation to reduce solar heat gain.

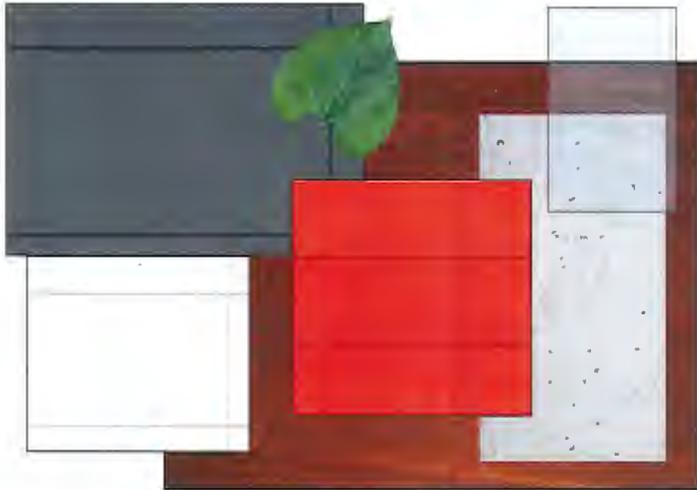
# ELEVATIONS - WEST



# CONTEXT ELEVATIONS - DEWDNEY TRUNK ROAD



# MATERIAL BOARD



**METAL COMPOSITE PANEL - BLACK w/ REVEAL**



**METAL COMPOSITE PANEL - WHITE w/ REVEAL**



**CONCRETE PLANTERS**



**GLASS AND ALUMINUM GUARDS**



**METAL COMPOSITE PANEL- RED w/ REVEAL**



**ALUMINUM PLANK – WOODGRAIN**

# DATA

## Dewdney Trunk Multi-Residential

FLOOR	GROSS AREA		RESIDENTIAL GROSS AREA		COMMERCIAL GROSS AREA		INDOOR AMENITY		OUTDOOR AMENITY		INDOOR CORRIDOR		STAIR / ELEVATOR CORE		BALCONY AREA	
	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT	SO M	SO FT
1	1224.53	13241.23	1164.11	12545.82	1224.53	13241.23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	1769.29	19047.77	1460.40	15774.27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	1777.48	19089.27	1521.82	16385.29	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	1777.90	19090.82	1444.23	15644.48	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	1437.80	15426.79	1212.34	13049.52	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	1740.95	18478.72	1622.77	17421.92	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
<b>TOTAL</b>	<b>8433.12</b>	<b>91449.10</b>	<b>7659.67</b>	<b>82441.64</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

### RESIDENTIAL UNIT BREAKDOWN

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
1	101	251.15	2702.00	2 BDR
1	102	251.15	2702.00	1
1	103	251.15	2702.00	1
1	104	251.15	2702.00	1
1	105	251.15	2702.00	1 BDR
1	106	251.15	2702.00	1
1	107	251.15	2702.00	1
1	108	251.15	2702.00	1 BDR
1	109	251.15	2702.00	1
1	110	251.15	2702.00	1
1	111	251.15	2702.00	1
1	112	251.15	2702.00	1
1	113	251.15	2702.00	1
1	114	251.15	2702.00	1
1	115	251.15	2702.00	1
1	116	251.15	2702.00	1
1	117	251.15	2702.00	1
1	118	251.15	2702.00	1 BDR
# OF UNITS	18	4520.7	48636.3	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
2	201	251.15	2702.00	1
2	202	251.15	2702.00	1
2	203	251.15	2702.00	1
2	204	251.15	2702.00	1
2	205	251.15	2702.00	1
2	206	251.15	2702.00	1 BDR
2	207	251.15	2702.00	1
2	208	251.15	2702.00	1 BDR
2	209	251.15	2702.00	1
2	210	251.15	2702.00	1
2	211	251.15	2702.00	1
2	212	251.15	2702.00	1
2	213	251.15	2702.00	1
2	214	251.15	2702.00	1
2	215	251.15	2702.00	1
2	216	251.15	2702.00	1
2	217	251.15	2702.00	1
2	218	251.15	2702.00	1 BDR
2	219	251.15	2702.00	1 BDR
2	220	251.15	2702.00	1 BDR
2	221	251.15	2702.00	1
2	222	251.15	2702.00	1
2	223	251.15	2702.00	1
2	224	251.15	2702.00	1
2	225	251.15	2702.00	1 BDR
2	226	251.15	2702.00	1 BDR
# OF UNITS	26	6730.0	72352.6	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
3	301	251.15	2702.00	1
3	302	251.15	2702.00	1
3	303	251.15	2702.00	1
3	304	251.15	2702.00	1
3	305	251.15	2702.00	1 BDR
3	306	251.15	2702.00	1 BDR
3	307	251.15	2702.00	1 BDR
3	308	251.15	2702.00	1 BDR
3	309	251.15	2702.00	1 BDR
3	310	251.15	2702.00	1
3	311	251.15	2702.00	1
3	312	251.15	2702.00	1
3	313	251.15	2702.00	1
3	314	251.15	2702.00	1
3	315	251.15	2702.00	1
3	316	251.15	2702.00	1
3	317	251.15	2702.00	1
3	318	251.15	2702.00	1
3	319	251.15	2702.00	1
3	320	251.15	2702.00	1 BDR
3	321	251.15	2702.00	1
3	322	251.15	2702.00	1
3	323	251.15	2702.00	1
3	324	251.15	2702.00	1
3	325	251.15	2702.00	1
3	326	251.15	2702.00	1
3	327	251.15	2702.00	1
3	328	251.15	2702.00	1
3	329	251.15	2702.00	1
3	330	251.15	2702.00	1
# OF UNITS	27	5801.9	62461.6	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
4	401	251.15	2702.00	1
4	402	251.15	2702.00	1
4	403	251.15	2702.00	1
4	404	251.15	2702.00	1
4	405	251.15	2702.00	1
4	406	251.15	2702.00	1 BDR
4	407	251.15	2702.00	1 BDR
4	408	251.15	2702.00	1 BDR
4	409	251.15	2702.00	1 BDR
4	410	251.15	2702.00	1 BDR
4	411	251.15	2702.00	1
4	412	251.15	2702.00	1
4	413	251.15	2702.00	1
4	414	251.15	2702.00	1
4	415	251.15	2702.00	1
4	416	251.15	2702.00	1
4	417	251.15	2702.00	1 BDR
4	418	251.15	2702.00	1
4	419	251.15	2702.00	1
4	420	251.15	2702.00	1
4	421	251.15	2702.00	1
4	422	251.15	2702.00	1
4	423	251.15	2702.00	1 BDR
4	424	251.15	2702.00	1 BDR
# OF UNITS	24	5801.9	62461.6	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
5	501	251.15	2702.00	1
5	502	251.15	2702.00	1
5	503	251.15	2702.00	1
5	504	251.15	2702.00	1
5	505	251.15	2702.00	1
5	506	251.15	2702.00	1 BDR
5	507	251.15	2702.00	1
5	508	251.15	2702.00	1 BDR
5	509	251.15	2702.00	1 BDR
5	510	251.15	2702.00	1 BDR
5	511	251.15	2702.00	1
5	512	251.15	2702.00	1
5	513	251.15	2702.00	1
5	514	251.15	2702.00	1 BDR
5	515	251.15	2702.00	1 BDR
5	516	251.15	2702.00	1
5	517	251.15	2702.00	1
5	518	251.15	2702.00	1
5	519	251.15	2702.00	1
5	520	251.15	2702.00	1 BDR
5	521	251.15	2702.00	1 BDR
5	522	251.15	2702.00	1 BDR
# OF UNITS	22	4825.3	51849.5	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)	# OF BEDROOMS
6	601	251.15	2702.00	1
6	602	251.15	2702.00	1
6	603	251.15	2702.00	1
6	604	251.15	2702.00	1
6	605	251.15	2702.00	1
6	606	251.15	2702.00	1
6	607	251.15	2702.00	1
6	608	251.15	2702.00	1
6	609	251.15	2702.00	1
6	610	251.15	2702.00	1
# OF UNITS	10	2511.5	27020.0	

FLOOR	UNIT #	GROSS AREA (SQ M)	GROSS AREA (SQ FT)
1	1	89.59	964.57
# OF UNITS	2	179.18	1929.14

INDOOR AMENITY	REQUIRED	PROVIDED
	381.00	88.57

DETRACKS	REQUIRED	PROPOSED	COMMENT
ACCESS	14.3' (4.5 m)		MAIN ENTR
COMMON			
DRIVE	12.2' (3.9 m)		COMMERCIAL
POST OFFICE	14.3' (4.5 m)		
PLST WALKWAY	25.0' (8.1 m)		
CONTR. PLANE	3.8' (1.2 m)		STAIR, ELEV. CORE

ZONING INFO	SO M	SO FT
AREA (GROSS)	8433.12	91449.10
AREA (NET)	1175.07	12641.52
EXIST. ZONING	R1	
PROPOSED ZONING	CU	

SITE INFORMATION	SO M	SO FT
SITE AREA (EXIST.)	2445.00	26373.60
SITE AREA (PROPD.)	2104.00	22654.00

LOT COVERAGE	SO M	SO FT
UNIT AREA	251.15	2702.00
BUILDING FOOTPRINT	254.00	2741.20
% COVERAGE (EXIST.)	10.62%	45.0%
% COVERAGE (PROPD.)	8.76%	48.70%

NEIGH	PROPOSED	EXIST. USE	SO FT
BUILDING	ALLOWED	PROPOSED	17.1' (5.2 m) (5.0m)

TOTAL NUMBER OF UNITS	122
UNIT MIX	
1 BDR	21
1 BDR	21
2 BDR	20
3 BDR	8
	122

EFFICIENCY	RESIDENTIAL	7630.07
COMMERCIAL	179.18	
AMENITY	66.57	
TOTAL	7875.82	
% BLDG EFFICIENCY	84.12%	

FLOOR AREAS	SO M	SO FT
BUILDING	8433.12	91449.10
AMENITY	88.57	952.11
INDOOR CORRIDOR	280.22	3014.85
STAIRS	381.00	4102.44
TOTAL EXIST.	1448.81	15572.72
AREA FOR 15%	974.51	10566.98

IFSR AREA	SO M	SO FT	1.5%
ALLOWED	784.51	8456.25	1.5%
PROPOSED	784.51	8456.25	1.5%

# DATA

REQUIRED VEHICLE PARKING (MAPLE RIDGE)		UNITS	STALLS	REFERENCE
STUDIO	0.8 / UNIT	31	26	SCHEDULE "A" (10.2)
1 BED	1.3 / UNIT	51	51	SCHEDULE "A" (10.2)
2 BED	1.1 / UNIT	20	22	SCHEDULE "A" (10.2)
3 BED	1.2 / UNIT	16	23	SCHEDULE "A" (10.2)
<b>VISITOR</b>				
	0.2 / UNIT	127	24	SCHEDULE "A" (10.2)
COMMERCIAL	1 STALL PER UNIT BELOW 100m	170.37 SQ M	2	SCHEDULE "A" (10.3)
LOADING	1 / BUILDING		1	5.1
<b>ACCESSIBLE</b>				
	3 ACC STALL FOR 100-200 STALLS		3	4.2.1
<b>TOTAL STALLS REQUIRED</b>			<b>187 STALLS REQUIRED</b>	
			3 OF WHICH MUST BE ACCESSIBLE	

PARKING SPACE BREAKDOWN (MAPLE RIDGE)	DIMENSIONS	ALLOWABLE / REQUIRED	PROPOSED	REFERENCE
RESIDENTIAL COMPACT (10%)	2.4 M X 4.9 M	15 MAX	22	4.1.1.1b
RESIDENTIAL STANDARD	2.8 M X 5.3 M	125 MIN	126	4.1.1.1.8
RESIDENTIAL ACCESSIBLE	3.8 M X 5.5 M	3 TOTAL	1	4.2.2
VISITOR ACCESSIBLE	3.8 M X 5.5 M		2	
VISITOR COMPACT (10%)	2.4 M X 4.9 M	20 MIN	8	4.1.1.1.1b
VISITOR STANDARD	2.8 M X 5.5 M		13	4.1.1.1.8
LOADING	3.7 M X 9.0 M	1	1	5.1
ELECTRIC VEHICLE CHARGING	EACH NON-VISITOR	33	33	SCHEDULE "C"
<b>TOTAL</b>			<b>167 STALLS PROPOSED</b>	

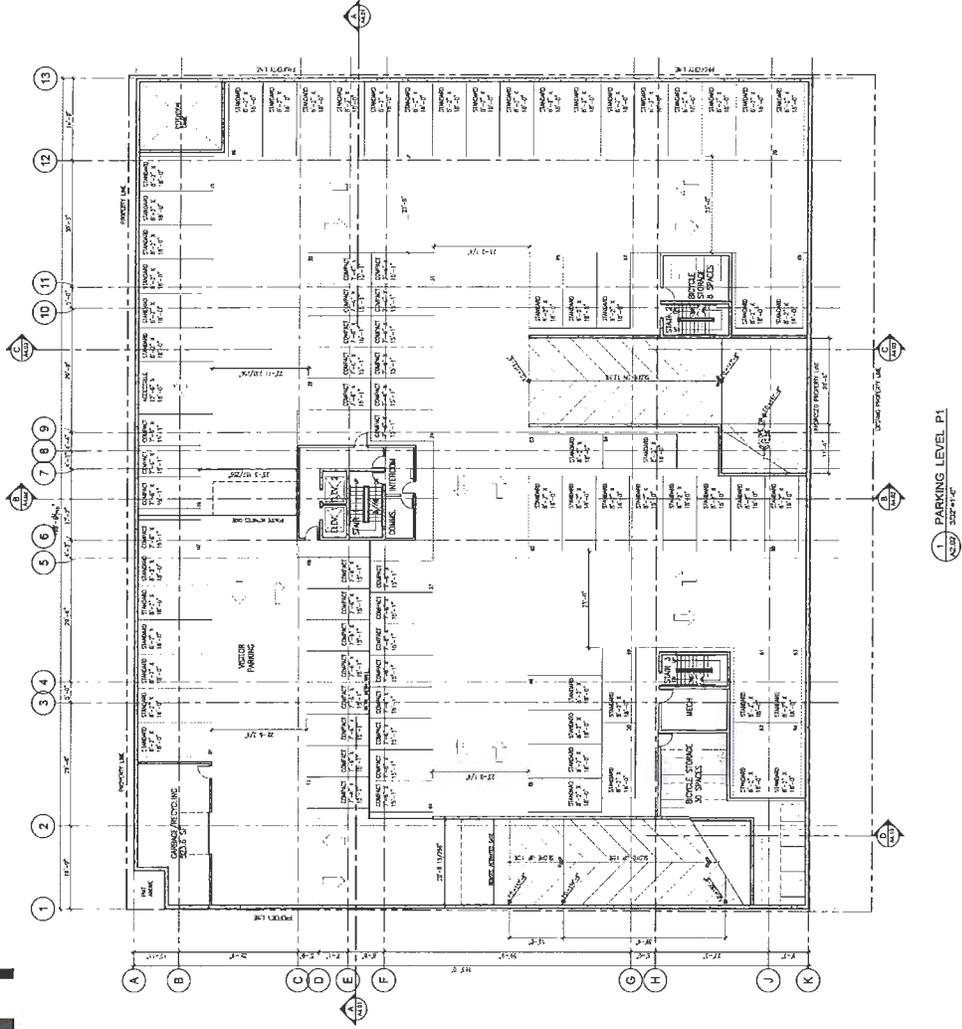
NOTE: REDUCED OFF-STREET PARKING SPACES PROVIDED AS PER 3.4 OF BYLAW NO.4350 - 1990

PARKING BICYCLE BREAKDOWN (MAPLE RIDGE)	DIMENSIONS	ALLOWABLE / REQUIRED	PROPOSED	REFERENCE
CLASS 1 BICYCLE ALTERNATIVE	-	40% MAX	0	10.4.2.b
CLASS 1 BICYCLE SPACE	0.6 M X 1.8 M	-	67	10.4.2.a



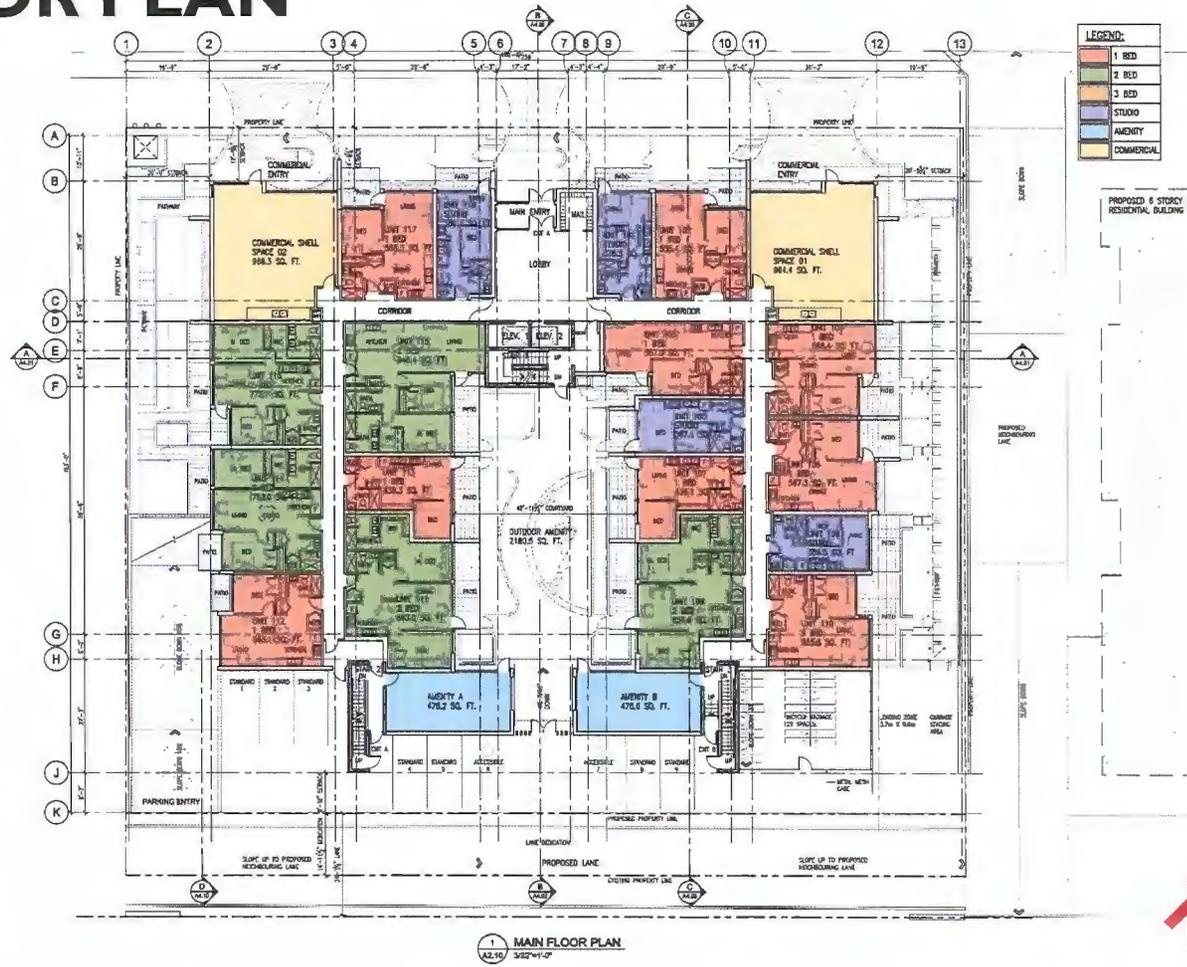


# PARKING - P1

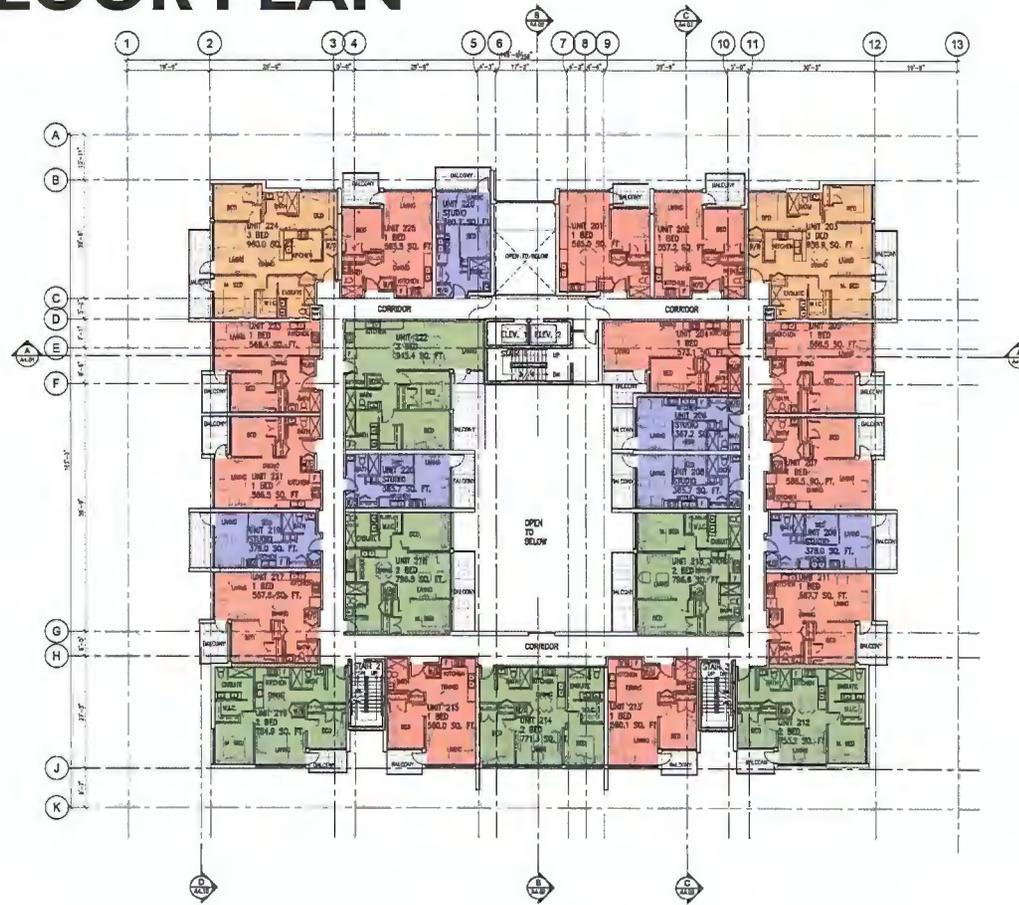


1 PARKING LEVEL P1  
2020 11-11

# MAIN FLOOR PLAN



# SECOND FLOOR PLAN



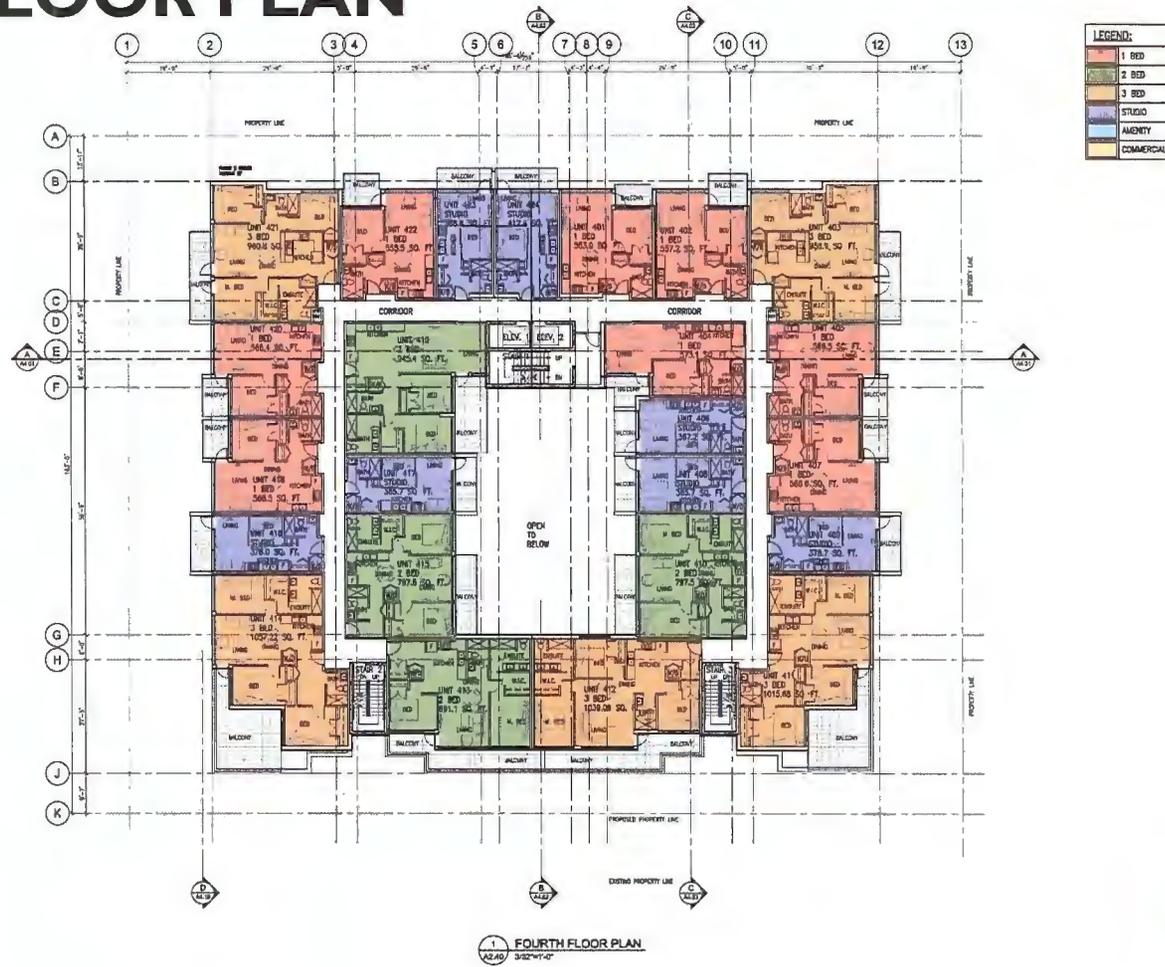
LEGEND:	
[Red Box]	1 BED
[Green Box]	2 BED
[Orange Box]	3 BED
[Blue Box]	STUDIO
[Purple Box]	AMENITY
[Yellow Box]	COMMERCIAL

1 SECOND FLOOR PLAN  
AS 30 3/32"=1'-0"

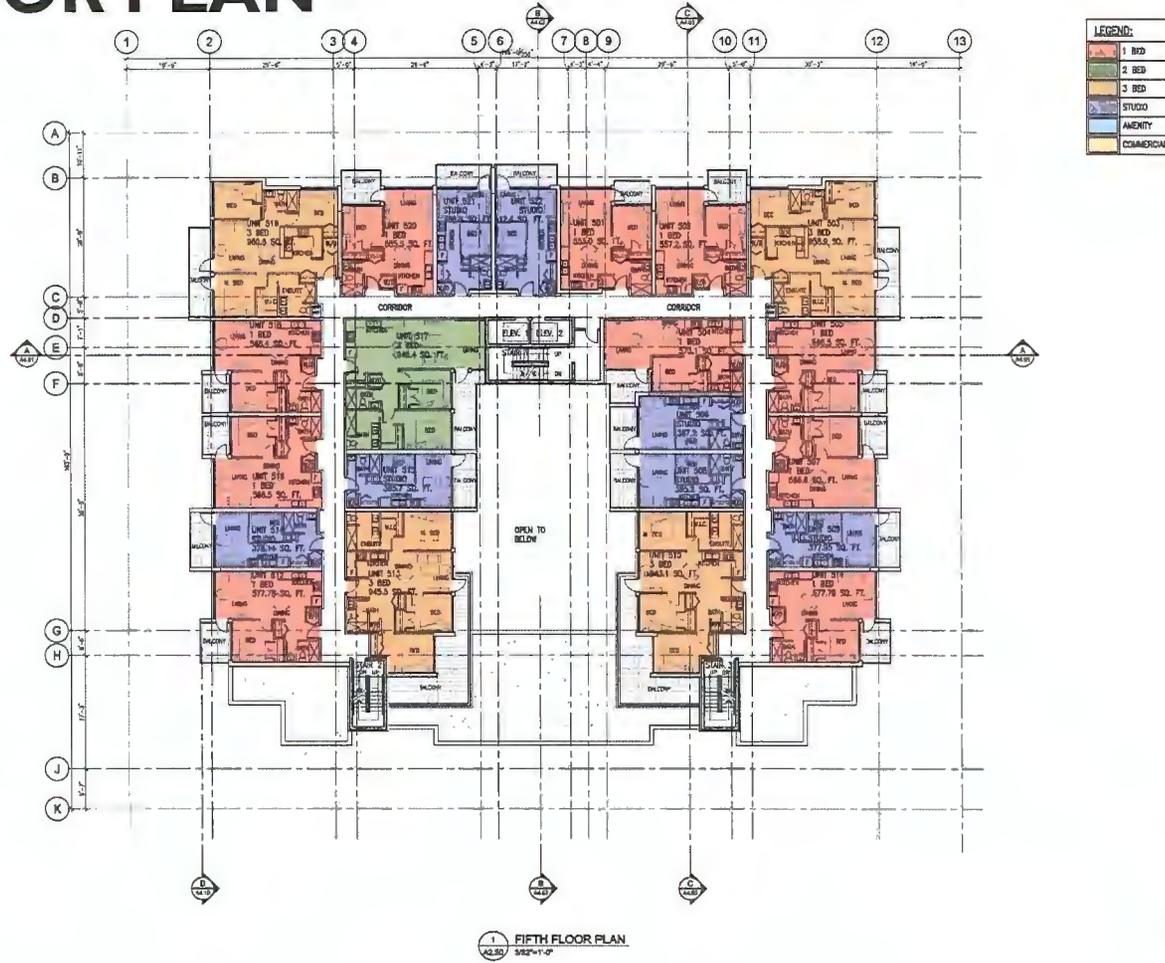




# FOURTH FLOOR PLAN



# FIFTH FLOOR PLAN



# SIXTH FLOOR PLAN

LEGEND:	
1 BED	2 BED
3 BED	STUDIO
HANDBY	COMMERCIAL

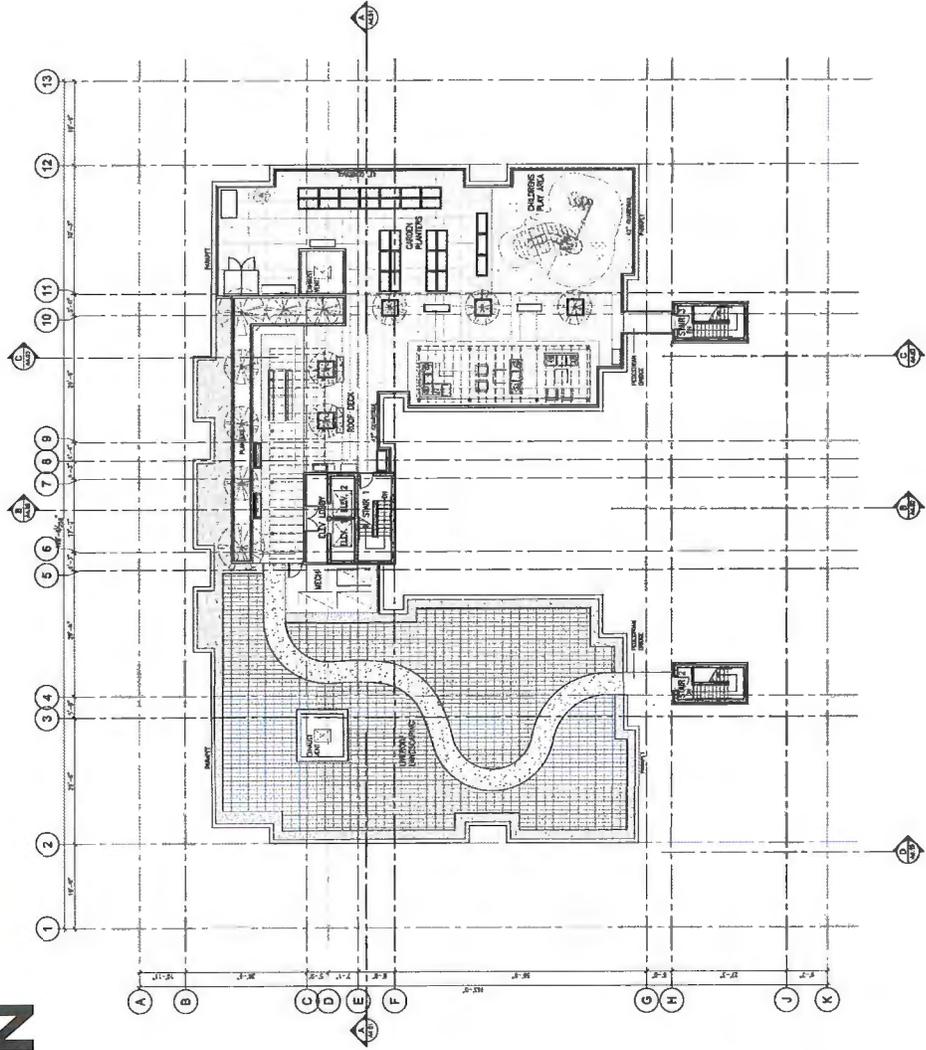


1 SIXTH FLOOR PLAN  
2022-11-14

# ROOF PLAN

LEGEND:

1 BED
2 BED
3 BED
STUDIO
AMENITY
COMMERCIAL

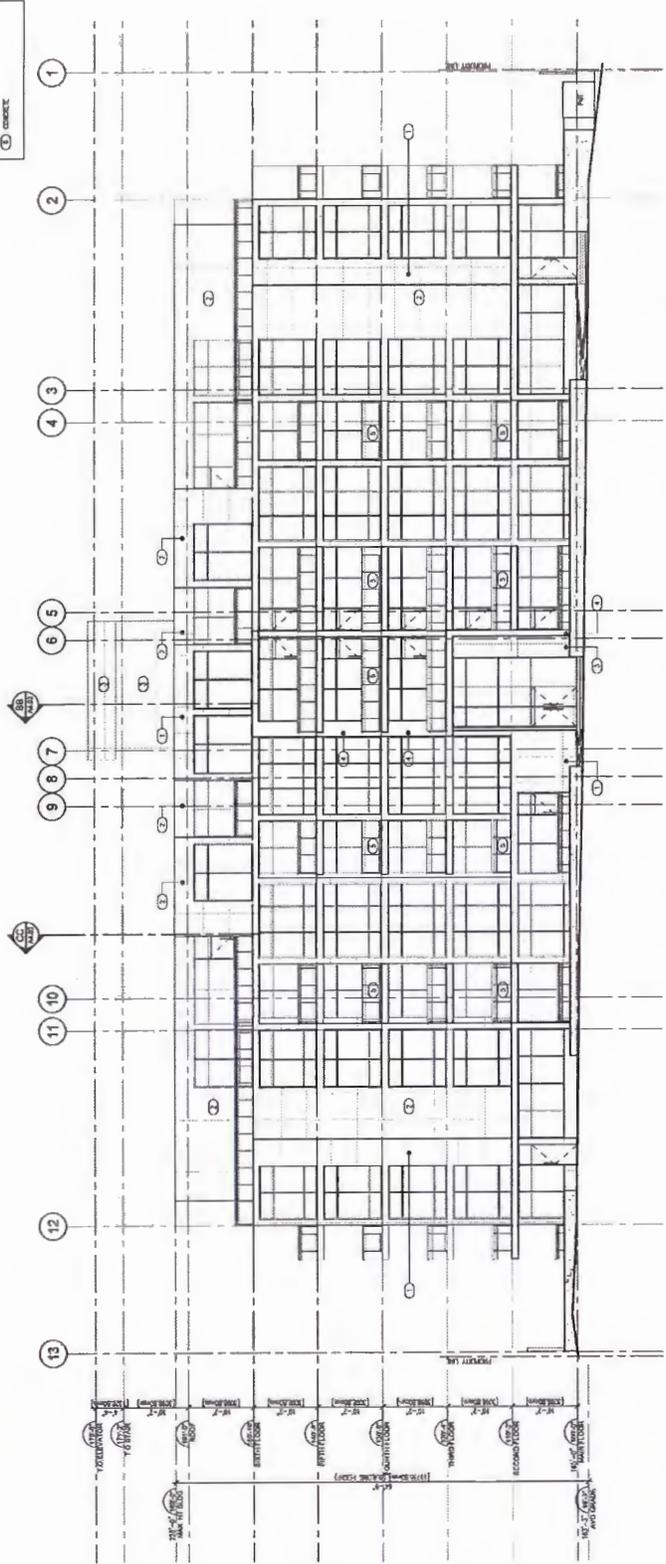


1. ROOF PLAN  
V2.3.0  
2022.07.02



# ELEVATION NORTH

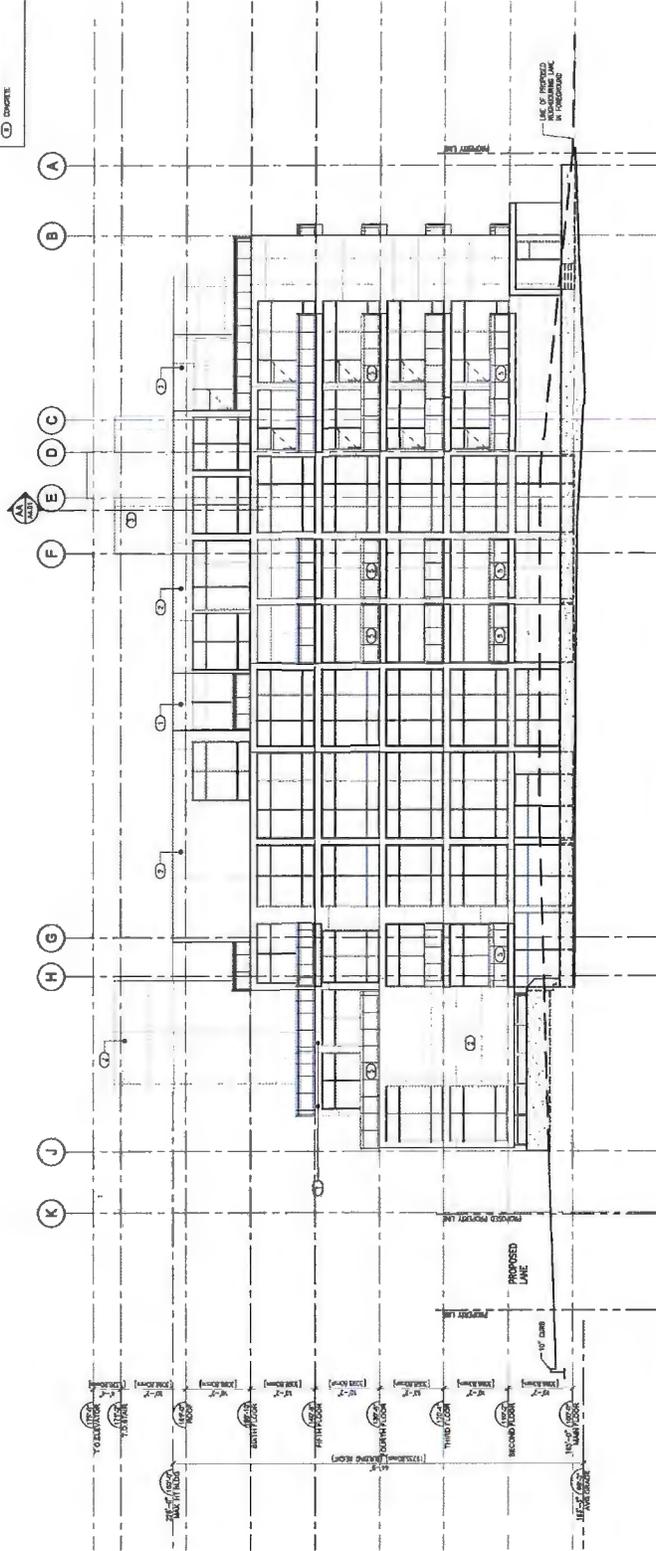
- EXTENSION FINISHES**
- ① COMPOSITE METAL PANEL - BLACK
  - ② COMPOSITE METAL PANEL - WHITE
  - ③ COMPOSITE METAL PANEL - RED
  - ④ HORIZONTAL CLAY FINISH RED COAR
  - ⑤ TYPICAL CLAY CLUM QUARD
  - ⑥ CERAMIC



1 NORTH ELEVATION  
1/8"=1'-0"

# ELEVATION EAST

- EXTENSIONSES:**
- (1) COMPOSITE WOOD PANEL - BLACK
  - (2) COMPOSITE WOOD PANEL - WHITE
  - (3) COMPOSITE WOOD PANEL - BRITE
  - (4) COMPOSITE WOOD PANEL - RED
  - (5) FIBERGLASS CLEAR FINISH FIBER GLASS
  - (6) TYPED BLUE SLATE CLAMP
  - (7) CONCRETE

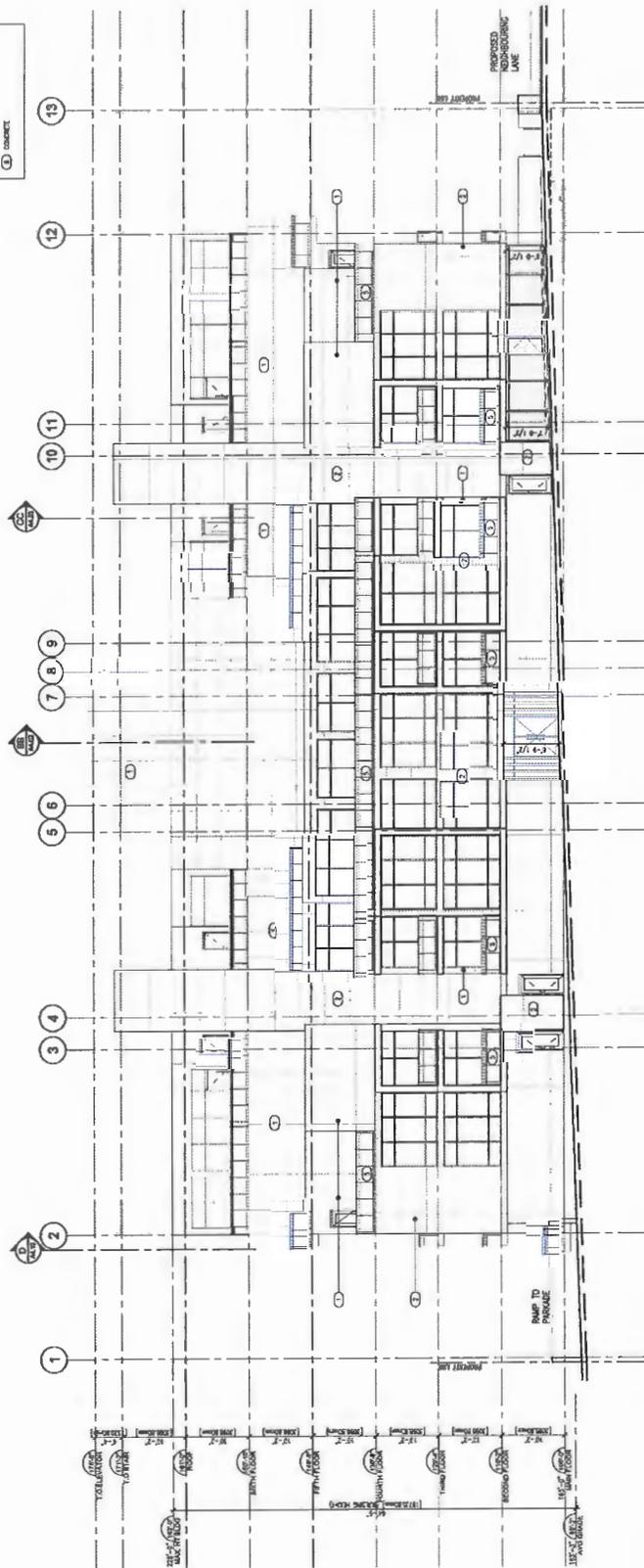


2 EAST ELEVATION  
1/8"=1'-0"

# ELEVATION SOUTH

**EXTERIOR FINISHES:**

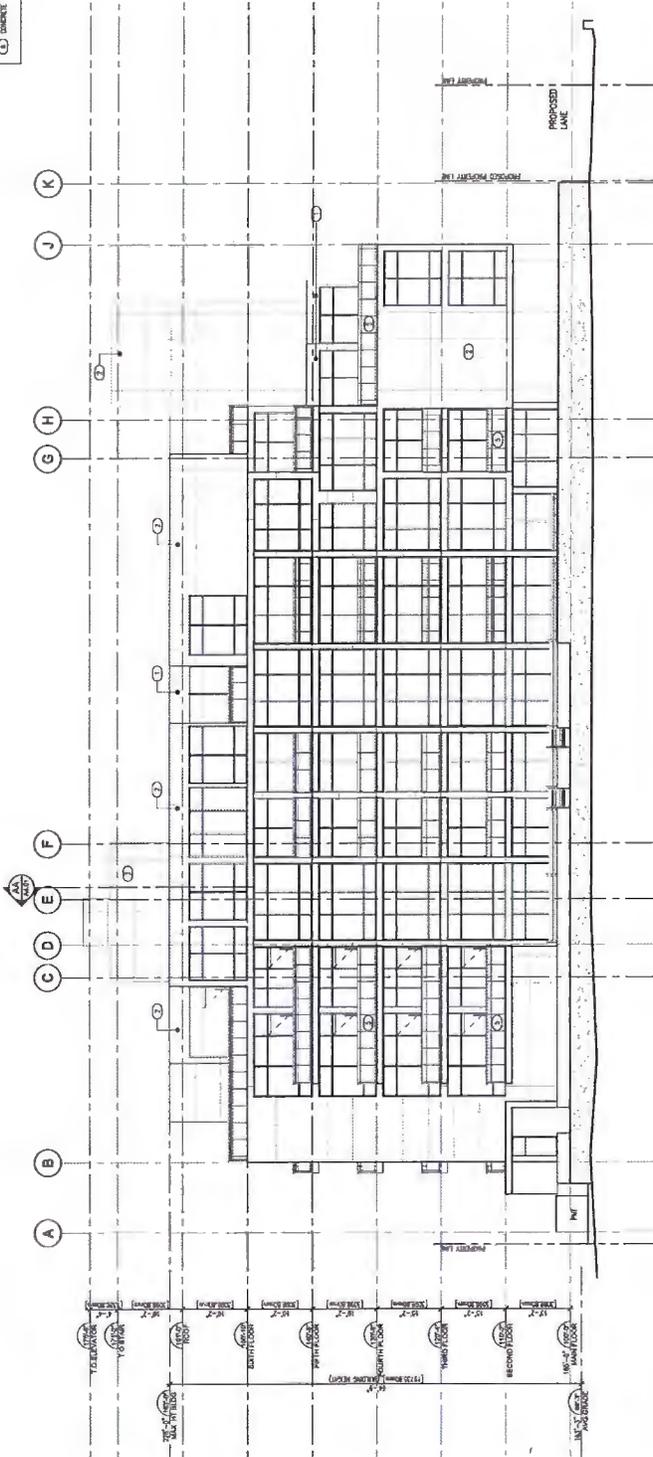
①	COMPACT GRAN. PAVEL. - BLACK
②	COMPACT GRAN. PAVEL. - WHITE
③	COMPACT GRAN. PAVEL. - RED
④	PERGOLA, CLEAR FINISH AND COLORED
⑤	TYPICAL CLEAR GLASS SLIP
⑥	CONCRETE



3 SOUTH ELEVATION  
1/8" = 1'-0"

# ELEVATION WEST

- EXTERIOR FINISHES:**
- (1) COMPOSITE METAL PANEL - BLAZ
  - (2) COMPOSITE METAL PANEL - WHITE
  - (3) COMPOSITE METAL PANEL - RED
  - (4) HORIZONTAL CLASH FINISH 1/2" CORR
  - (5) THINWALL CLASH BLANK CLAMP
  - (6) BRICK



4 WEST ELEVATION  
1/8"=1'-0"

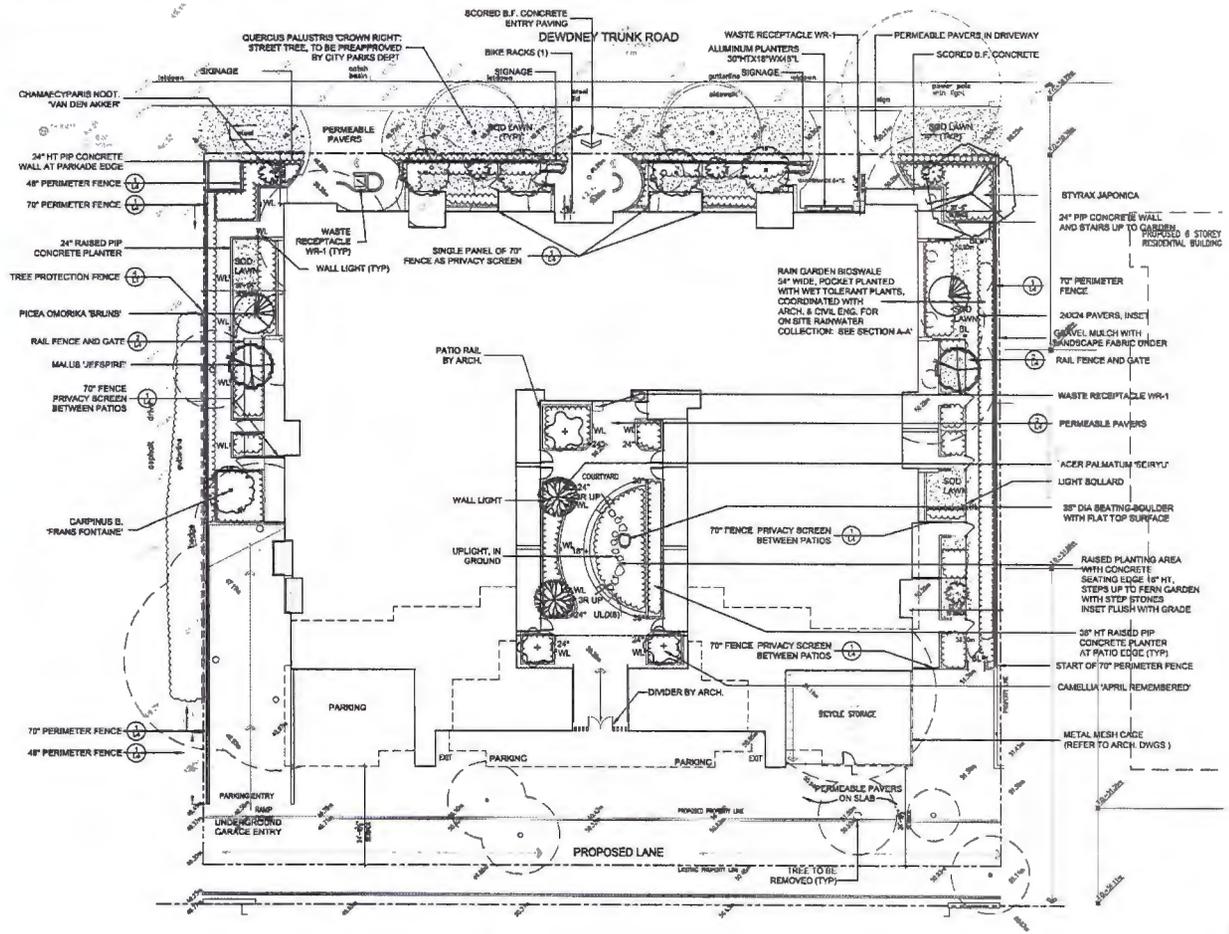
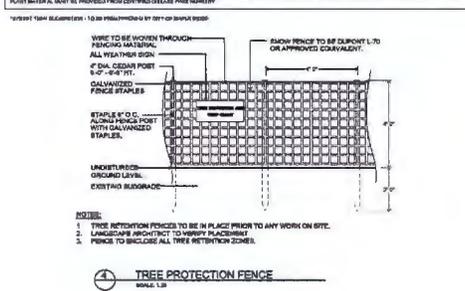
# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - MAIN

Details provided by PMG Landscape Architects.

PLANT SCHEDULE	PARTY NO. TREE AND SPECIES	PROPOSED NUMBER, SHADE	PLANTER OR CONTAINER
SYT	SYMBOL, NAME	SYMBOL, NAME	SYMBOL, NAME
1	ACIA PALMARIUM	1	75# 10" 30" 30"
2	ACIA PALMARIUM	1	75# 10" 30" 30"
3	ACIA PALMARIUM	1	75# 10" 30" 30"
4	ACIA PALMARIUM	1	75# 10" 30" 30"
5	ACIA PALMARIUM	1	75# 10" 30" 30"
6	ACIA PALMARIUM	1	75# 10" 30" 30"
7	ACIA PALMARIUM	1	75# 10" 30" 30"
8	ACIA PALMARIUM	1	75# 10" 30" 30"
9	ACIA PALMARIUM	1	75# 10" 30" 30"
10	ACIA PALMARIUM	1	75# 10" 30" 30"
11	ACIA PALMARIUM	1	75# 10" 30" 30"
12	ACIA PALMARIUM	1	75# 10" 30" 30"
13	ACIA PALMARIUM	1	75# 10" 30" 30"
14	ACIA PALMARIUM	1	75# 10" 30" 30"
15	ACIA PALMARIUM	1	75# 10" 30" 30"
16	ACIA PALMARIUM	1	75# 10" 30" 30"
17	ACIA PALMARIUM	1	75# 10" 30" 30"
18	ACIA PALMARIUM	1	75# 10" 30" 30"
19	ACIA PALMARIUM	1	75# 10" 30" 30"
20	ACIA PALMARIUM	1	75# 10" 30" 30"
21	ACIA PALMARIUM	1	75# 10" 30" 30"
22	ACIA PALMARIUM	1	75# 10" 30" 30"
23	ACIA PALMARIUM	1	75# 10" 30" 30"
24	ACIA PALMARIUM	1	75# 10" 30" 30"
25	ACIA PALMARIUM	1	75# 10" 30" 30"
26	ACIA PALMARIUM	1	75# 10" 30" 30"
27	ACIA PALMARIUM	1	75# 10" 30" 30"
28	ACIA PALMARIUM	1	75# 10" 30" 30"
29	ACIA PALMARIUM	1	75# 10" 30" 30"
30	ACIA PALMARIUM	1	75# 10" 30" 30"
31	ACIA PALMARIUM	1	75# 10" 30" 30"
32	ACIA PALMARIUM	1	75# 10" 30" 30"
33	ACIA PALMARIUM	1	75# 10" 30" 30"
34	ACIA PALMARIUM	1	75# 10" 30" 30"
35	ACIA PALMARIUM	1	75# 10" 30" 30"
36	ACIA PALMARIUM	1	75# 10" 30" 30"
37	ACIA PALMARIUM	1	75# 10" 30" 30"
38	ACIA PALMARIUM	1	75# 10" 30" 30"
39	ACIA PALMARIUM	1	75# 10" 30" 30"
40	ACIA PALMARIUM	1	75# 10" 30" 30"
41	ACIA PALMARIUM	1	75# 10" 30" 30"
42	ACIA PALMARIUM	1	75# 10" 30" 30"
43	ACIA PALMARIUM	1	75# 10" 30" 30"
44	ACIA PALMARIUM	1	75# 10" 30" 30"
45	ACIA PALMARIUM	1	75# 10" 30" 30"
46	ACIA PALMARIUM	1	75# 10" 30" 30"
47	ACIA PALMARIUM	1	75# 10" 30" 30"
48	ACIA PALMARIUM	1	75# 10" 30" 30"
49	ACIA PALMARIUM	1	75# 10" 30" 30"
50	ACIA PALMARIUM	1	75# 10" 30" 30"

PLANT SCHEDULE	PARTY NO. SHALBA, FERNALLA & BRUNDAZONES	PROPOSED NUMBER, SHADE	PLANTER OR CONTAINER
SYT	SYMBOL, NAME	SYMBOL, NAME	SYMBOL, NAME
51	ACIA PALMARIUM	1	75# 10" 30" 30"
52	ACIA PALMARIUM	1	75# 10" 30" 30"
53	ACIA PALMARIUM	1	75# 10" 30" 30"
54	ACIA PALMARIUM	1	75# 10" 30" 30"
55	ACIA PALMARIUM	1	75# 10" 30" 30"
56	ACIA PALMARIUM	1	75# 10" 30" 30"
57	ACIA PALMARIUM	1	75# 10" 30" 30"
58	ACIA PALMARIUM	1	75# 10" 30" 30"
59	ACIA PALMARIUM	1	75# 10" 30" 30"
60	ACIA PALMARIUM	1	75# 10" 30" 30"
61	ACIA PALMARIUM	1	75# 10" 30" 30"
62	ACIA PALMARIUM	1	75# 10" 30" 30"
63	ACIA PALMARIUM	1	75# 10" 30" 30"
64	ACIA PALMARIUM	1	75# 10" 30" 30"
65	ACIA PALMARIUM	1	75# 10" 30" 30"
66	ACIA PALMARIUM	1	75# 10" 30" 30"
67	ACIA PALMARIUM	1	75# 10" 30" 30"
68	ACIA PALMARIUM	1	75# 10" 30" 30"
69	ACIA PALMARIUM	1	75# 10" 30" 30"
70	ACIA PALMARIUM	1	75# 10" 30" 30"
71	ACIA PALMARIUM	1	75# 10" 30" 30"
72	ACIA PALMARIUM	1	75# 10" 30" 30"
73	ACIA PALMARIUM	1	75# 10" 30" 30"
74	ACIA PALMARIUM	1	75# 10" 30" 30"
75	ACIA PALMARIUM	1	75# 10" 30" 30"
76	ACIA PALMARIUM	1	75# 10" 30" 30"
77	ACIA PALMARIUM	1	75# 10" 30" 30"
78	ACIA PALMARIUM	1	75# 10" 30" 30"
79	ACIA PALMARIUM	1	75# 10" 30" 30"
80	ACIA PALMARIUM	1	75# 10" 30" 30"
81	ACIA PALMARIUM	1	75# 10" 30" 30"
82	ACIA PALMARIUM	1	75# 10" 30" 30"
83	ACIA PALMARIUM	1	75# 10" 30" 30"
84	ACIA PALMARIUM	1	75# 10" 30" 30"
85	ACIA PALMARIUM	1	75# 10" 30" 30"
86	ACIA PALMARIUM	1	75# 10" 30" 30"
87	ACIA PALMARIUM	1	75# 10" 30" 30"
88	ACIA PALMARIUM	1	75# 10" 30" 30"
89	ACIA PALMARIUM	1	75# 10" 30" 30"
90	ACIA PALMARIUM	1	75# 10" 30" 30"
91	ACIA PALMARIUM	1	75# 10" 30" 30"
92	ACIA PALMARIUM	1	75# 10" 30" 30"
93	ACIA PALMARIUM	1	75# 10" 30" 30"
94	ACIA PALMARIUM	1	75# 10" 30" 30"
95	ACIA PALMARIUM	1	75# 10" 30" 30"
96	ACIA PALMARIUM	1	75# 10" 30" 30"
97	ACIA PALMARIUM	1	75# 10" 30" 30"
98	ACIA PALMARIUM	1	75# 10" 30" 30"
99	ACIA PALMARIUM	1	75# 10" 30" 30"
100	ACIA PALMARIUM	1	75# 10" 30" 30"





# LANDSCAPE ROOF DECK

The roof deck will provide space for residents to have private social gatherings, a children's play area, and personal gardens.

Utilizing sustainable methods for shade and cooling, the roof will support the heating/cooling of the building naturally.

Final plans will be made in consultation with **PMG Landscape Architects**.







## City of Maple Ridge

**TO:** His Worship Mayor Michael Morden  
 and Members of Council  
**FROM:** Chief Administrative Officer  
**SUBJECT:** First and Second Reading  
 Official Community Plan Amending Bylaw No. 7759-2021;  
 First and Second Reading  
 Zone Amending Bylaw No. 7760-2021;  
 First and Second Reading  
 Off-Street Parking and Loading Bylaw Amending Bylaw No. 7763-2021;  
 Second Reading  
 Zone Amending Bylaw No. 7627-2020;  
 22904, 22910 and 22922 Dewdney Trunk Road

**MEETING DATE:** June 15, 2021  
**FILE NO:** 2019-392-RZ  
**MEETING:** C o W

**EXECUTIVE SUMMARY:**

An application has been received to rezone the subject properties located at 22904, 22910 and 22922 Dewdney Trunk Road from RS-1 (Single Detached Residential) to CD-2-20 (Comprehensive Development), to permit the construction of a six-storey, mixed-use building with 127 units of apartment housing and approximately 180 m<sup>2</sup> of commercial space in two units on the ground floor. Council granted first reading to Zone Amending Bylaw No. 7627-2020 on March 31, 2020. This is being accompanied by Zone Amending Bylaw No. 7760-2021 to amend the Zoning Bylaw text to create the CD-2-20 Zone. Off-Street Parking and Loading Bylaw Amending Bylaw No. 7763-2021 is also being brought forward in order to establish a parking requirement for the new CD-2-20 Zone.

This application requires an amendment to the Official Community Plan (OCP) to re-designate the land use from Urban Residential to Commercial, and is being accompanied by Official Community Plan Amending Bylaw No. 7759-2021.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of (\$3,100.00 per apartment dwelling unit), for an estimated amount of \$393,700.00.

The applicant is proposing an increase in base density from 1.8 floor space ratio (FSR) to 2.6 FSR, which can be achieved through a cash contribution, typically applied in existing zones and contained in the proposed CD-2-20 Zone at \$161.46 per m<sup>2</sup> (\$15.00 per ft<sup>2</sup>). The cash contribution, which equates to 2,447.0 m<sup>2</sup> (26,339.0 ft<sup>2</sup>) of added floor area, would be approximately \$395,093.00. This proposed Amenity Contribution also aligns with Official Community Plan Policy 2-9, enabling Council the discretion to consider such an amenity contribution.

**RECOMMENDATIONS:**

- 1) That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7759-2021 on the municipal website and requiring that the applicant host a Virtual

Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

- 2) That Official Community Plan Amending Bylaw No. 7759-2021 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
- 3) That it be confirmed that Official Community Plan Amending Bylaw No. 7759-2021 is consistent with the Capital Expenditure Plan and Waste Management Plan;
- 4) That Official Community Plan Amending Bylaw No. 7759-2021 be given first and second readings and be forwarded to Public Hearing;
- 5) That Zone Amending Bylaw No. 7760-2021 be given first and second reading, and be forwarded to Public Hearing;
- 6) That Off-Street Parking and Loading Amending Bylaw No. 7763-2021 be given first and second reading;
- 7) That Zone Amending Bylaw No. 7627-2020 be given second reading as amended, and be forwarded to Public Hearing; and
- 8) That the following terms and conditions be met prior to final reading:
  - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
  - ii) Amendment to Official Community Plan Schedule "B";
  - iii) Road dedication for the lane as required;
  - iv) Consolidation of the subject properties;
  - v) Removal of the existing buildings;
  - vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property(ies) for the proposed development;
  - vii) Registration of a Statutory Right-of-Way plan and agreement for lane access over 22882 Dewdney Trunk Road;
  - viii) Registration of a Restrictive Covenant for protecting the Visitor Parking;
  - ix) Registration of a Restrictive Covenant for Stormwater Management including maintenance requirements;
  - x) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;
  - xi) That a voluntary contribution, in the amount of \$ 393,700.00 (\$3,100.00/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions;

- xii) That a voluntary contribution, in the amount of \$395,093.00.00 based on rate of \$161.46 per square metre (\$15.00 per square foot) for the additional density being sought in accordance with the proposed CD-2-20 zone in Zoning Bylaw No. 7600-2019; and
- xiii) That voluntary payment of \$16,000 be received in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 - 1990 as cash-in-lieu for two (2) off street parking spaces provided for residential use respecting the properties located at 22904, 22910 and 22922 Dewdney Trunk Road.

**DISCUSSION:**

**1) Background Context:**

Applicant: Billard Architecture Inc.

Legal Descriptions: Lot 220 Section 17 Township 12 New Westminster District Plan 57165; Lot 229 Section 17 Township 12 New Westminster District Plan 58011; and Parcel "One" (Explanatory Plan 13671) Except: Part Road on Plan 80199; of Parcel "A" (Reference Plan 13362) Lot 3 Section 17 Township 12 New Westminster District Plan 13178

OCP:  
 Existing: Urban Residential  
 Proposed: Commercial

Within Urban Area Boundary: Yes  
 OCP Major Corridor: Yes

Zoning:  
 Existing: RS-1 (Single Detached Residential)  
 Proposed: CD-2-00 (Comprehensive Development)

Surrounding Uses:

North:	Use:	Commercial
	Zone:	C-2 (Community Commercial) and CS-1 (Service Commercial)
	Designation:	Commercial
South:	Use:	Single Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
East:	Use:	Single Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
West:	Use:	Commercial, Service Station
	Zone:	CS-1 (Service Commercial)
	Designation:	Commercial

Existing Use of Property: Vacant  
 Proposed Use of Property: Commercial and Apartment  
 Site Area: 0.33 ha (0.8 acres)  
 Access: Rear Lane  
 Servicing requirement: Urban Standard  
 Companion Applications: 2019-392-DP/DVP

## **2) Background:**

The subject properties, located at 22904, 22910 and 22922 Dewdney Trunk Road (see Appendices A and B), are located south of Dewdney Trunk Road, east of Burnett Street and west of 230 Street. The subject properties are located outside of the Town Centre Area Plan. Consolidation of the subject properties will be a condition of final reading, which will have a combined area of approximately 0.33 ha (0.8 acres). All three lots are currently vacant, relatively flat, and have a combination of grasses, shrubs and trees located throughout each property.

This application was deferred at the February 11, 2020 Council meeting. The deferred application was proposing a 119 unit, five-storey apartment building with a proposed floor area of 7,246m<sup>2</sup> (78,002 ft<sup>2</sup>) and a floor space ratio (FSR) of 2.37. Council had suggested the applicant consider the addition of commercial at this location, as part of the subject development. Council had also suggested an increase in height to six storeys, which the applicant was willing to explore. Discussions with the applicant has resulted in two commercial units being included on the ground floor of this development, as well as a sixth floor with residential dwelling units being added to the building.

## **3) Project Description:**

This application is for a 127 unit, six-storey apartment building with a proposed floor area of 7,986m<sup>2</sup> (78,002 ft<sup>2</sup>) and a floor space ratio (FSR) of 2.6. The allowable base FSR in the proposed CD-2-20 (Comprehensive Development) zone is 1.8, which is based on the RM-2 (Medium Density Apartment Residential) zone, on which the application was made. The applicant will exceed the allowable base FSR; therefore, the density bonus provisions will apply.

The applicant intends to bridge the current mid-century style of the adjacent single family homes with an apartment building design that will use modern materials and other forms inspired by new residential development within the community. The building is proposed to be stepped back at the third storey, along the southern elevation, providing both natural light for the outdoor courtyard space and to limit the impact on those adjacent single family lots to the south. The proposed building will contain a mix of studio, one, two and three bedroom units. Residential parking will be located in two underground parking levels and accessed via a rear lane loading from Burnett Street.

The proposed building will feature two (2) indoor amenity areas on the southern portion of the ground floor of the building. A prominent ground floor courtyard space will provide for an outdoor amenity area that is planned to be programmed as a children's play area and will feature natural surveillance from the interior units that face the courtyard space.

The landscape plan provides for a variety of trees, including Japanese maples, Serbian spruce, robin hill serviceberry and purple spire crabapple. These trees are accompanied by a large variety of shrubs that are generously spread throughout the ground floor of the development, providing for ample amounts of privacy for ground floor units. The rooftop amenity area is well programmed with a variety of seating areas, including a social seating area for larger gatherings of residents and backless benches that can accommodate smaller groups of residents.

#### 4) Planning Analysis:

##### i) Official Community Plan:

The subject properties are located along Dewdney Trunk Road, where the OCP currently designates the subject properties *Urban Residential*, and development of the properties are subject to the *Major Corridor* infill policies of the OCP. The *Major Corridor* policies identify the various types of housing forms which are encouraged along major road corridors including apartments such as those being proposed. These policies also require that development be compatible with the surrounding neighbourhood, with particular attention given to site design, setbacks, and lot configuration with the existing pattern of development in the area.

An OCP amendment is required to re-designate the subject properties from *Urban Residential* to *Commercial* based on the addition of commercial units to the proposed building. This brings the commercially designated land east from the existing Husky Gas Station, located on the corner of Burnett Street and Dewdney Trunk Road, to include the subject properties (see Appendix B).

The redesignation of the subject land would reflect the existing General Commercial area identified in OCP Policy 6-23 on the north side of Dewdney Trunk Road to the subject site directly on the south side of Dewdney Trunk Road. This proposed development helps to support OCP Policy 6-25 by providing centres that accommodate the automobile, pedestrian and transit services and will integrate into the emerging character of the area.

##### ii) Zoning Bylaw:

The applicant had initially proposed to rezone the three subject properties from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment Residential) to allow for a five-storey building with approximately 119 units. This proposal included a mix of studio, one, two and three bedroom units. Council initially deferred the application and subsequently suggested, at the time of first reading, that the applicant consider the addition of commercial at this location, as well as the additional of a sixth floor to the building. As a result of these suggestions the applicant has updated their plan to include a six (6) storey building with two (2) commercial units on the ground floor.

The addition of commercial at this location, outside of the Town Centre, has necessitated a rezoning to a CD (Comprehensive Development) zone. The applicant is proposing to rezone the subject properties to a CD-2-20, which is being based on the RM-2 (Medium Density Apartment Residential) Zone, allowing a number of comparable commercial uses from the C-3 (Town Centre Commercial) zone. A comparison of the density, lot coverage, setbacks, building height, parking and permitted uses in the proposed CD-2-20 zone are provided in the following table:

Zone	RM-2 Zone	Proposed CD Zone
FSR	1.8 up to 2.5 with density bonus	1.8 up to 2.6 with density bonus
Lot Coverage	N/A	N/A
Setbacks	7.5 metres from all lot lines	Front - 4.5 metres Side - 6.1 metres Rear - 3.0 metres
Height	11 metres or 4 storeys outside of the Town Centre	22 metres or 6 storeys
Principal Permitted Uses	Apartment Residential	Apartment Residential, Assembly, Business Services, Cannabis Retail, Civic, Convenience Store, Financial Services, Indoor Commercial Recreation, Licensed Retail Store, Light Industrial (limited to Microbrewery), Liquor Primary Establishment, Media Production Studio, Personal Repair Services, Personal Services, Place of Worship, Private Hospital, Professional Services, Public Market, Restaurant, Retail (excluding Highway Retail) and Tourist Accommodation.
Parking	1.7 spaces per unit (including visitor)	1.2 spaces per unit (including visitor) *** This is the same rate as the C-3 and other mixed-use zones

The applicant is proposing an increase in base density from 1.8 floor space ratio (FSR) to 2.6 FSR, which can be achieved through cash contribution, at \$161.46 per m<sup>2</sup> (\$15.00 per ft<sup>2</sup>). The cash contribution, which equates to 2447.0 m<sup>2</sup> (26,339.0 ft<sup>2</sup>) of added floor area, would be approximately \$395,093.00. This proposed Amenity Contribution aligns with Official Community Plan Policy 2-9 in the OCP, as follows:

- 2-9 *Community Amenity Contribution and density bonuses may also be considered at Council's discretion for all Official Community Plan and Zoning Bylaw amending applications that are seeking a higher density than is envisioned in Schedule "A" and/or Schedule "B", to help provide a variety of amenities and facilities throughout the municipality.*

**iii) Housing Action Plan:**

City's Housing Action Plan (HAP) was endorsed by Council in 2014. It seeks to increase access to "safe, affordable, and appropriate housing that meets the diverse and changing needs of the community". The HAP also speaks of the need to provide a range of non-market, affordable and special needs housing. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September, 2015.

The subject application does provide a mix of unit sizes to help in achieving housing diversity. This includes the following breakdown:

- 31 studio suites (24.41%)
- 51 one bedroom suites (40.16%);
- 26 two bedroom suites (20.47%); and
- 19 three bedroom suites (14.96%).

**iv) Off-Street Parking And Loading Bylaw:**

The proposed CD-2-20 Zone will have a similar parking requirement as other mixed-use zones, such as the C-3 (Town Centre Commercial) and C-2 (Community Commercial) Zones. The CD-2-20 Zone will require 1.0 concealed space per dwelling unit, plus 0.2 concealed spaces per dwelling unit designated for visitors. Commercial uses, such as retail or personal service uses, will need to provide 1 space per 30 m<sup>2</sup> gross floor area, the same as in the C-3 and C-2 Zones.

The following parking is being provided:

- The Off-Street Parking and Loading Bylaw requires 159 spaces; however, 157 parking spaces are being provided, seeking a reduction of two (2) parking spaces;
- 11 of the parking spaces are at grade, while 146 are located in two levels of underground parking;
- Four (4) of the spaces underground are in a tandem configuration;
- Three (3) of the above spaces are to be designed as accessible parking spaces. This has been provided in accordance with the bylaw;
- A total of twenty-nine (29) of the required parking spaces are designed to be small car spaces, which exceeds the 10% restriction in the Bylaw and will require a variance; and
- Thirty-one (31) long-term bicycle spaces and three (3) short term spaces.

With respect to the reduction of two (2) parking spaces, a variance is not required. Instead the applicant has elected to make a \$8,000.00 per space payment-in-lieu in accordance with the Off-Street Parking and Loading Bylaw. On this basis, the total payment for two (2) spaces totals \$16,000.00. The applicant is also proposing twenty-nine (29) small car spaces, which amounts to 18.5% of all spaces which will require a variance. The reduction of two (2) parking spaces is permitted by the Bylaw because:

- The cash-in lieu payment will contribute to a future municipal parking facility; and
- The site is located adjacent to the Town Centre Area, where residents can walk or cycle to stores, offices and recreation, and transit services already exist along the Dewdney Trunk Road within convenient walking distance.

The project will also comply with the electric vehicle charging requirements by having roughed-in infrastructure capable of providing Level 2 charging outlets for each residential parking space, and one Level 2 outlet each for every two (2) of the visitor parking spaces (i.e. at least 50%).

v) **Proposed Variances:**

A Development Variance Permit application has been received for this project and involves the following relaxations:

- *To permit up to 20% of all parking spaces to be small car or compact spaces.*

The requested relatively small variance will be the subject of a future Council report and represents an increase in thirteen (13) small car spaces from the 10% permitted in the Bylaw.

vi) **Development Permits:**

Pursuant to Section 8.5 of the OCP, a Commercial Development Permit application is required to address the current proposal's compatibility with adjacent development, and to enhance the unique character of the community. Accordingly, prior to final zoning approval, the Development Permit must be reviewed and approved. An application for the Development Permit has been received. Adherence of this project to the guidelines will be the subject of a future report to Council and a security will be taken as a condition of the issuance of the Development Permit to ensure that the Development Permit Area guidelines are met.

vii) **Advisory Design Panel:**

The Advisory Design Panel (ADP) reviewed the form and character of the proposed development and the landscaping plans at a meeting held on May 12, 2021 (see Appendices G, H and I).

The ADP concerns have been addressed and are reflected in the current plans. A summary of the resolutions and how the developer addressed the resolutions has been provided (see Appendix J). A detailed description of how these items were incorporated into the design will be included in a future development permit report to Council.

viii) **Development Information Meeting:**

Due to the COVID-19 pandemic, it was not possible for the developer to host an in-person Development Information Meeting. In lieu of Development Information Meetings, an interim process has been established to allow for a ten day Public Comment Opportunity. The notification requirements are the same as for the Development Information Meeting and include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and the Public Comment period.

The Public Comment Opportunity was held between May 18 and May 28 2021. The developer received correspondence from one resident. A summary of the Public Comment Opportunity is attached to this report as Appendix K.

**5) Interdepartmental Implications:**

**i) Engineering Department:**

The Engineering Department has identified the following improvements for this development to proceed:

- The rear lane will need to be constructed, complete with road drainage, to meet lane standard.
- Street trees are required along Dewdney Trunk Road.
- A Statutory Right-of-Way will be required with the site to the west (Husky Site) to facilitate access to the rear lane.

**ii) Building Department**

The Building Department has reviewed the development application and has provided comments related to Building Code requirements which have been forwarded to the developer. These comments will be reviewed again at the Building Permit stage.

**6) School District No. 42 Comments:**

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 and the following comments were received:

*"The proposed application would affect the student population for the catchment areas currently served by Golden Ears Elementary and Thomas Haney Secondary School.*

*Golden Ears Elementary has an operating capacity of 517 students. For the 2019-20 school year the student enrolment at Golden Ears Elementary is 529 students (102% utilization) including 161 students from out of catchment.*

*Thomas Haney Secondary school has an operating capacity of 1200 students. For the 2019-20 school year the student enrollment at Thomas Haney Secondary School is 1156 students (96% utilization) including 650 students from out of catchment."*

**7) Intergovernmental Issues:**

**i) Local Government Act:**

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The amendment required for this application, OCP Amending Bylaw No. 7759-2021, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

**CONCLUSION:**

It is recommended that first and second reading be given to OCP Amending Bylaw No 7759-2021, Zoning Text Amendment Bylaw No. 7760-2021, Off-Street Parking and Loading Amending Bylaw No. 7763-2021 and that second reading be given to Zone Amending Bylaw No. 7627-2020, and that application 2019-392-RZ be forwarded to Public Hearing.

“Original signed by René Tardif”

---

*Prepared by:* **Rene Tardif, BA, M.PL  
Planner 1**

“Original signed by Chuck Goddard”

---

*Reviewed by:* **Charles R. Goddard, BA, MA  
Director of Planning**

“Original signed by Christine Carter”

---

*Approved by:* **Christine Carter, M.PL, MCIP, RPP  
GM Planning & Development Services**

“Original signed by Al Horsman”

---

*Concurrence:* **Al Horsman  
Chief Administrative Officer**

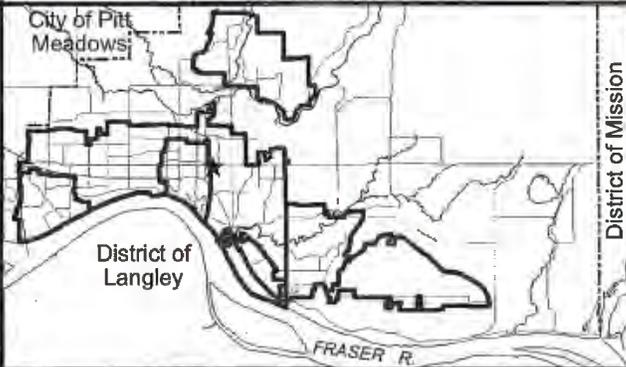
The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – OCP Amending Bylaw No. 7759-2021
- Appendix D – Zone Text Amendment Bylaw No. 7760-2021
- Appendix E – Off-Street Parking and Loading Amending Bylaw No. 7763-2021
- Appendix F – Zone Amending Bylaw No. 7627-2020
- Appendix G – Site Plan
- Appendix H – Building Elevation Plans
- Appendix I – Landscape Plan
- Appendix J – ADP design comments
- Appendix K – Public Comment Opportunity Comment





Scale: 1:2,500



22904/10/22 DEWDNEY TRUNK ROAD  
 PID'S: 005-703-018, 005-562-171 &  
 005-649-617

PLANNING DEPARTMENT

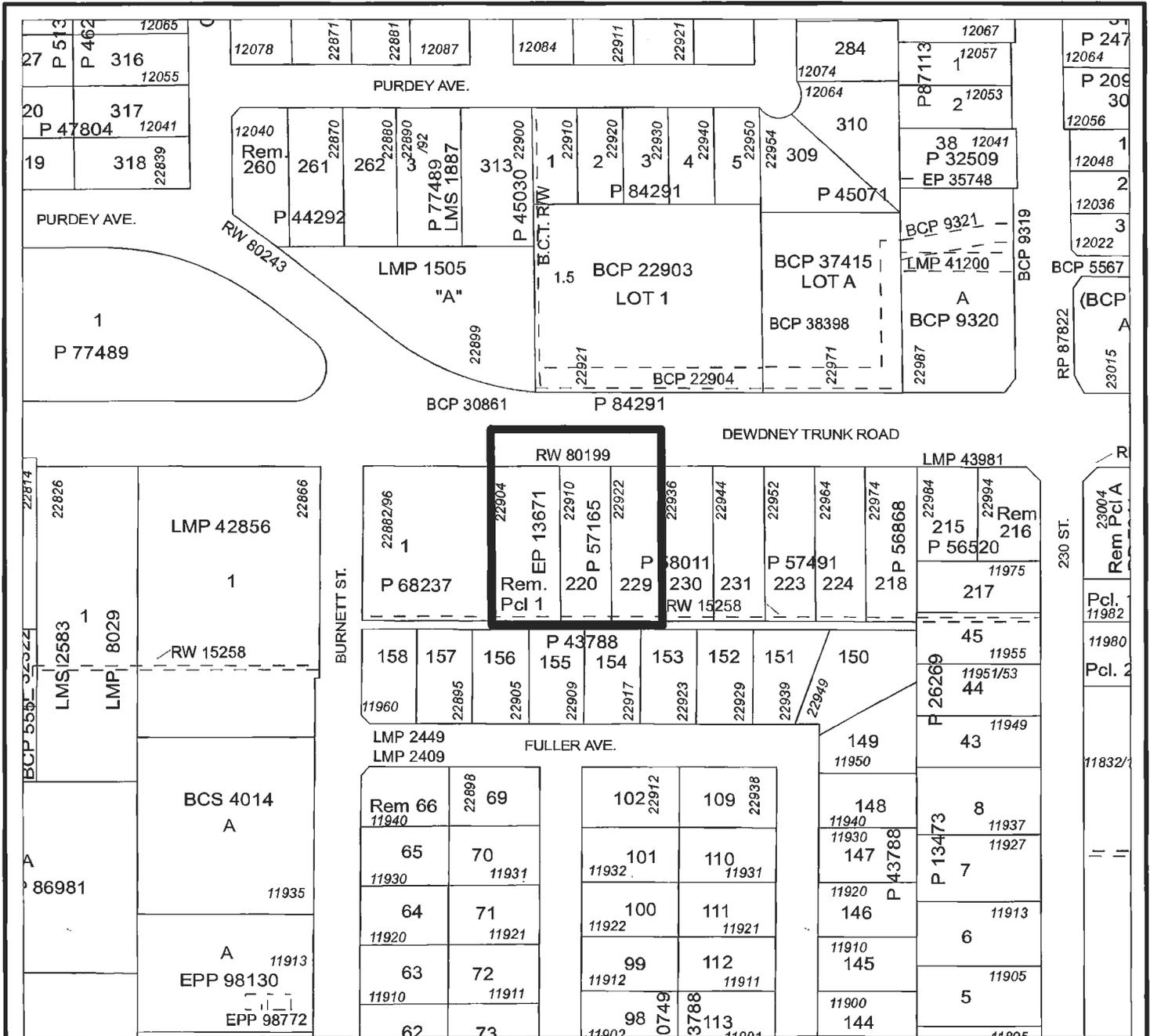


[mapleridge.ca](http://mapleridge.ca)

FILE: 2019-392-RZ  
 DATE: Nov 15, 2019

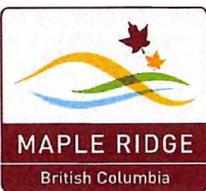
BY: PC





# MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7759-2021  
 Map No. 1043  
 From: Urban Residential  
 To: Commercial



**CITY OF MAPLE RIDGE  
BYLAW NO. 7760-2021**

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

**WHEREAS**, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

**NOW THEREFORE**, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as “Maple Ridge Zone Amending Bylaw No. 7760-2021”.
2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended as follows:
3. PART 10, COMPREHENSIVE DEVELOPMENT ZONES, is amended by adding the following section in the correct sequential order:

**SECTION 10                      CD-2-20**

**PURPOSE**

1. This Zone provides for a range of Commercial, service and Residential Uses with a maximum Building Height of four (4) to six (6) Storeys.

**PRINCIPAL USES**

1. The following Principal Uses shall be permitted in this Zone:
  - a. Apartment Residential;
  - b. Assembly;
  - c. Business Services;
  - d. Cannabis Retail;
  - e. Civic;
  - f. Convenience Store;
  - g. Financial Services;
  - h. Indoor Commercial Recreation;
  - i. Licensee Retail Store;
  - j. Light Industrial, limited to Microbrewery, Microwinery and Microdistillery;
  - k. Liquor Primary Establishment;
  - l. Media Production Studio;
  - m. Personal Repair Services;
  - n. Personal Services;
  - o. Place of Worship;
  - p. Private Hospital;

- q. Professional Services;
- r. Public Market;
- s. Restaurant;
- t. Retail, excluding Highway Commercial; and
- u. Tourist Accommodation.

#### ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
  - a. Boarding; and
  - b. Home Occupation.
2. Refer to Sections 401 and 402 of this Bylaw for additional information.

#### LOT AREA and DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than:
 

a. in <u>Lot Area</u>	1,300.0 square metres
b. in <u>Lot Width</u>	30.0 metres
c. in <u>Lot Depth</u>	not applicable
2. Refer to Section 407 (Building Envelope) of the Bylaw for required minimum Building Envelope dimensions.

#### DENSITY

1. Floor Space Ratio shall not exceed a base Density of 1.8 times the Lot Area.
2. Additional Density, up to a maximum of 2.6 times the Lot Area, may be obtained with the following provisions:
  - a. an amount equal to 0.1 times the Lot Area may be added to the Floor Space Ratio for providing all parking spaces in an Underground Structure for parking; and
  - b. for Lots located within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw or located adjacent to a "Major Corridor" as identified in Chapter 3 and Figure 4 in Schedule "A" of the Maple Ridge Official Community Plan Bylaw No. 7060-2014, an amount not to exceed 0.8 times the Lot Area may be added to the Floor Space Ratio for providing a cash contribution at a rate of \$161.46 per square metres (\$15.00 per square foot) as a Density Bonus. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
3. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

## LOT COVERAGE

1. Not applicable.

## SETBACKS

1. Minimum Setbacks for all Principal Buildings and Principal Structures shall be not less than:
  - a. from a Front Lot Line 4.5 metres
  - b. from a Rear Lot Line 3.0 metres
  - c. from an Interior Side Lot Line 6.1 metres
  - d. from an Exterior Side Lot Line 7.5 metres
2. Minimum Setbacks for an Off-Street Parking provided in an Underground Structure for parking that extends not more than 0.8 metres above Average Finished Grade and which is Landscaped and integrated to become a useable part of the yard area shall be not less than:
  - a. from a Front Lot Line 1.5 metres
  - b. from a Rear Lot Line 0.0 metres
  - c. from an Interior Side Lot Line 0.0 metres
  - d. from an Exterior Side Lot Line 1.5 metres
3. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

## HEIGHT

1. Building Height for Principal Buildings and Principal Structures shall not exceed 22.0 metres nor 6 Storeys, and shall be not less than 11.0 metres.
2. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.
3. Refer to Section 403 (Building Height) of this Bylaw.

## LANDSCAPING and SCREENING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.

## PARKING and LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
2. Accessory Off-Street Parking, except for that provided as visitor parking space, shall be Concealed Parking that extends no more than 0.8 metres above Average Finished Grade and which is Landscaped and integrated to become a useable part of the yard area.
3. Refer to Section 402 of this Bylaw.

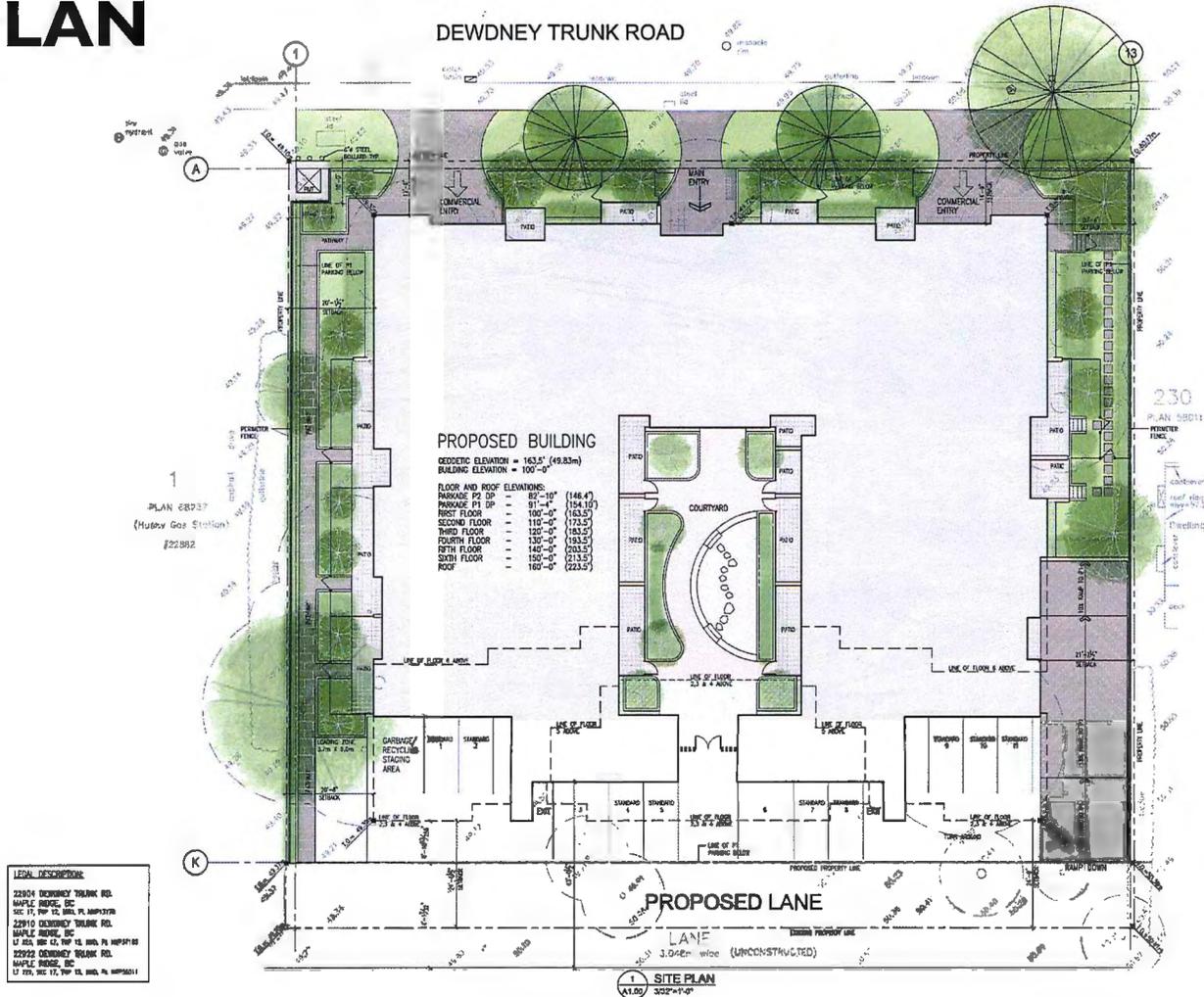








# SITE PLAN



APPENDIX G



# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD

MAPLE RIDGE, BRITISH COLUMBIA

*Prepared by*

Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)



# ELEVATIONS - NORTH



# ELEVATIONS - EAST

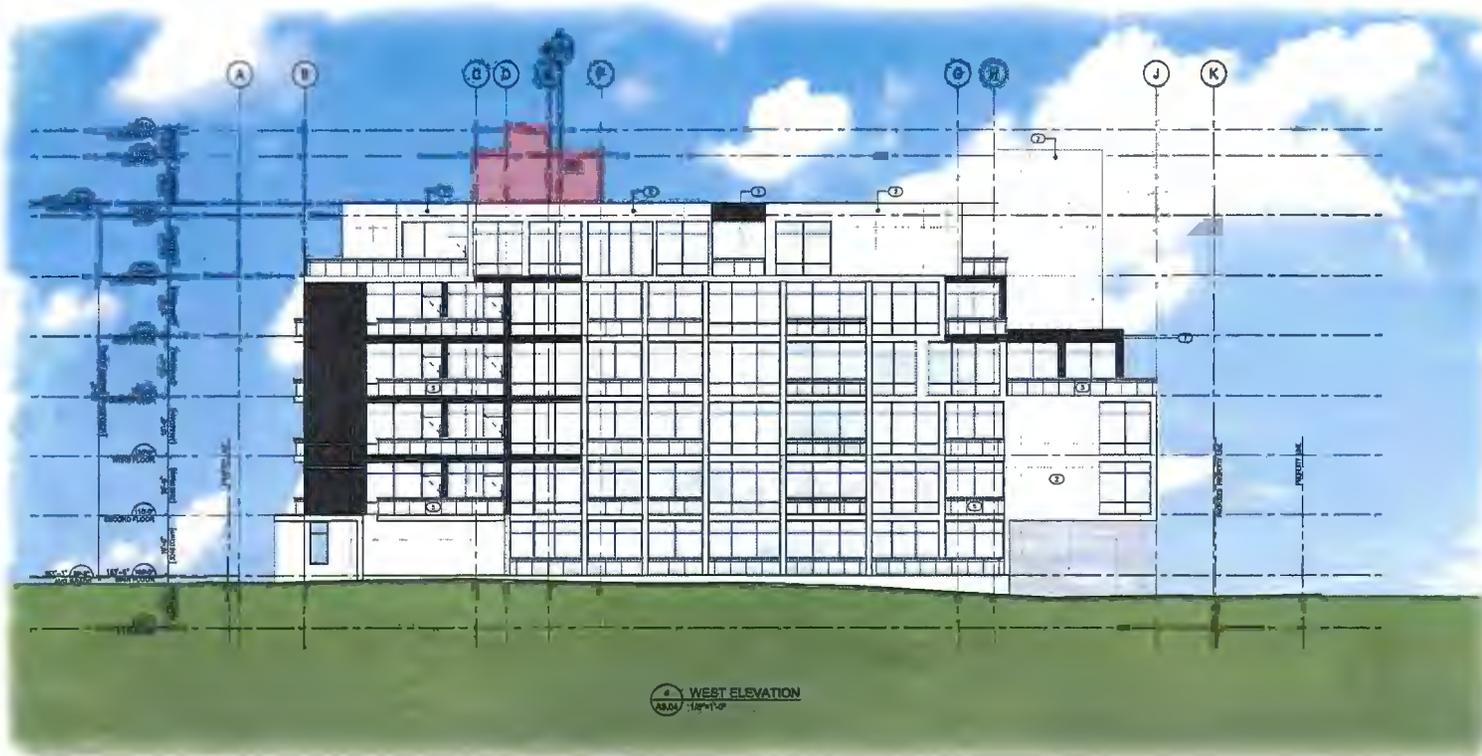


# ELEVATIONS - SOUTH



**Note:** Sunshades to be installed above windows on this elevation to reduce solar heat gain.

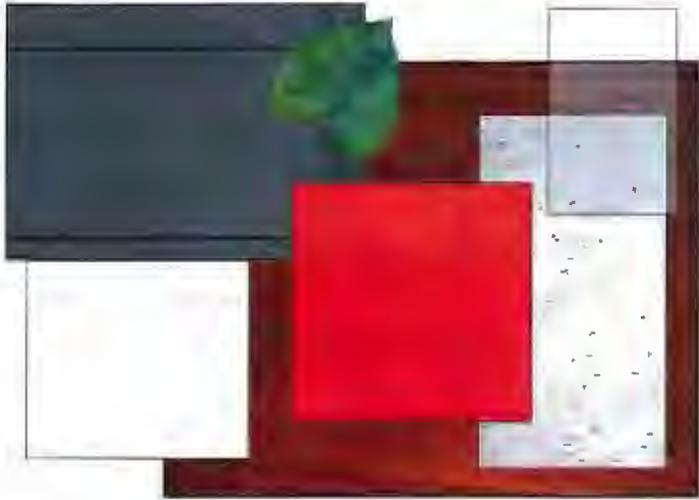
# ELEVATIONS – WEST



# CONTEXT ELEVATIONS – DEWDNEY TRUNK ROAD



# MATERIAL BOARD



METAL COMPOSITE PANEL - BLACK w/ REVEAL



METAL COMPOSITE PANEL - WHITE w/ REVEAL



CONCRETE PLANTERS



GLASS AND ALUMINUM GUARDS



METAL COMPOSITE PANEL- RED w/ REVEAL

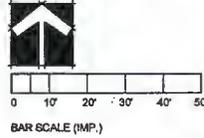


ALUMINUM PLANK – WOODGRAIN

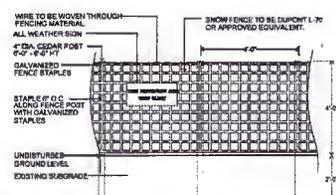
# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - MAIN

Details provided by PMG Landscape Architects.



PLANT SCHEDULE	PLANT NAME	PLANT SIZE
1	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
2	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
3	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
4	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
5	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
6	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
7	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
8	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
9	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
10	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
11	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
12	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
13	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
14	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
15	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
16	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
17	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
18	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
19	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
20	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
21	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
22	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
23	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
24	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
25	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
26	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
27	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
28	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
29	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
30	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
31	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
32	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
33	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
34	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
35	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
36	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
37	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
38	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
39	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
40	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
41	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
42	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
43	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
44	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
45	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
46	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
47	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
48	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
49	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
50	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
51	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
52	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
53	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
54	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
55	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
56	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
57	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
58	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
59	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
60	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
61	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
62	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
63	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
64	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
65	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
66	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
67	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
68	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
69	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
70	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
71	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
72	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
73	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
74	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
75	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
76	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
77	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
78	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
79	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
80	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
81	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
82	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
83	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
84	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
85	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
86	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
87	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
88	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
89	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
90	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
91	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
92	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
93	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
94	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
95	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
96	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
97	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
98	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
99	ACER PALMATUM 'SEIRYU'	2 1/2" DBH
100	ACER PALMATUM 'SEIRYU'	2 1/2" DBH



- NOTES:
1. TREE RESTRICTION FENCES TO BE IN PLACE PRIOR TO ANY WORK ON SITE.
  2. LANDSCAPE ARCHITECT TO VERIFY PLACEMENT.
  3. FENCES TO ENCLOSE ALL TREE RESTRICTION ZONES.

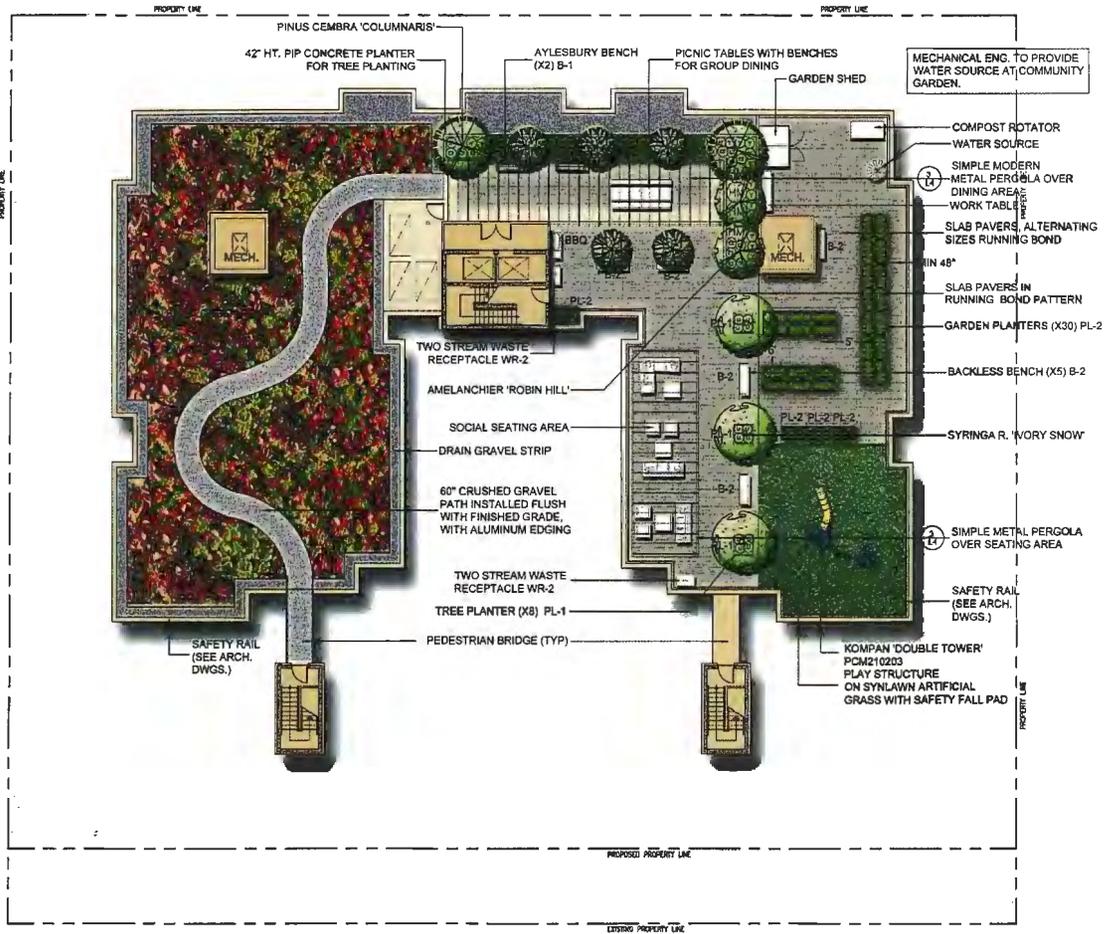


# LANDSCAPE TREE MANAGEMENT

## PROPOSED PLANTING - ROOF

Details provided by PMG Landscape Architects.

NO.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTED SIZE / FINISHED
1	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
2	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
3	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
4	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
5	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
6	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
7	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
8	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
9	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
10	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
11	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
12	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
13	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
14	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
15	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
16	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
17	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
18	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
19	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
20	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
21	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
22	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
23	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
24	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
25	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
26	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
27	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
28	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
29	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
30	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
31	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
32	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
33	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
34	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
35	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
36	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
37	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
38	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
39	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
40	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
41	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
42	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
43	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
44	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
45	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
46	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
47	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
48	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
49	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.
50	(Symbol)	ACONITUM NAUSEOSUM	JAPANESE MONARDRA	2 1/2" HT. 1" DIA.



# LANDSCAPE ROOF DECK

The roof deck will provide space for residents to have private social gatherings, a children's play area, and personal gardens.

Utilizing sustainable methods for shade and cooling, the roof will support the heating/cooling of the building naturally.

Final plans will be made in consultation with **PMG Landscape Architects**.



Project: 2019-393-F Z 22904-22922 Dewdney Trunk Road

Date: May 21, 2021

To: City of Maple Ridge, Advisory Design Panel Review Response

Dear Panel,

Following the second Design Review on May 12<sup>th</sup>, 2021, please see our responses to the comments provided. These responses should be reviewed in conjunction with our revised drawings submitted On May 20, 2021

2019-392-R Z 22904 - 22922 Dewdney Trunk Road		
Item	Architectural Comments	Response
1	Reconsider commercial component; OCP suggest multi-family residential. Proposed parking at rear is awkward and compromises potential for green space;	Presently, the commercial components are provided at the request of Council. In terms of moving the together adjacent the gas station, we feel that their present location provides better symmetry for the building and, given the development of the adjacent site, having commercial closer to that larger residential building will be more appropriate.
2	Renderings are not consistent with coloured elevations. Please coordinate all plans;	Completed
3	Generally the site is over built. Livability is compromised. Consider a larger courtyard and or removing units at the south to create a U-shaped building. Over shadowing will be a concern.;	We have been able to widen the courtyard and have redesigned access to it from adjacent residents. We have also stepped back the fifth floor more from the courtyard in order to allow more light. Care has been taken to provide ample outdoor space for all residents in either the courtyard, the ample patios and the very large roof top amenity. This project has, by far, more outdoor space provided than many other similar projects on just 3 lots.
4	Over heating will be of a concern on the south and west elevations. Consider greater overhangs and or solar shading device;	Greater overhangs and sun shading will be provided. Vertical shading elements will be considered for areas of the West facade.
5	Consider locating the indoor amenity room with direct access to the outdoor amenity.	Completed. This has further benefited the functionality of the courtyard.
Item	Landscape Comments	Response
1	Provide a coordinated Landscape submission. Submission needs to be consistent with the Architect Plan;	Completed
2	Provide more pedestrian circulation and access to the courtyard. Strongly suggest to include gates from adjacent residential units;	Completed

3	In conjunction with the reconsideration of the commercial space consider where additional green space could be added to enhance livability and complement the courtyard;	The courtyard has been redesigned to make it more inviting. It also, now, has direct access to both amenity rooms while keeping the gate through to the parking. With Engineering's request to remove additional pathways to the sidewalk, this has again provided more area for planting.
<b>Item</b>	<b>Engineering Comments</b>	<b>Response</b>
1	It is doubtful that you can retain the trees along the west and east p/l as proposed as they are taking their parkade to p/l. Ownership should be established and permission granted to remove if needed prior to going to final adoption.	Agreed. Agreement will be sought. as the properties to the west are presently in the design phase for a larger development, this can easily be achieved.
2	The 2 extra sidewalk connections on the east and west should be removed. These are proposed inside the City's ROW and Engineering would like only 1 sidewalk connection to the building.	Agreed. To be Completed through further discussion with Engineering.
3	Please show Hydro transmission lines on their renderings and highlight to their architect to consider them.	These will be added to the rendering.
4	Your excavation plan cannot anticipate encroaching into the City's ROW and impacting the sidewalk.	Agreed

If you have any questions please contact Robert Billard at 604-619-0529, extension #1003.

Regards,



Robert G. Billard, Architect, AIBC, MRAIC, LEED AP  
 Principle/Chief Architect  
 Billard Architecture Inc.

# DEWDNEY TRUNK ROAD

22904-22922 DEWDNEY TRUNK ROAD

MAPLE RIDGE, BRITISH COLUMBIA

## Public Comment Opportunity Report

FILE NO: 2019-392-RZ

LOCATION: 22904 - 22922 Dewdney Trunk Road, Maple Ridge

PUBLIC COMMENT OPPORTUNITY: May 18 – 27, 2021

*Prepared by*

Billard Architecture Inc.

[Billardarchitecture.ca](http://Billardarchitecture.ca)



# NOTIFICATION TO THE PUBLIC – NEWSPAPER ADVERTISEMENTS

The Public Comment Opportunity for 2019-392-RZ, 22904 - 22922 Dewdney Trunk Road, Maple Ridge was advertised in the Maple Ridge-Pitt Meadows News in the May 7, 2021 edition both in print and online <https://issuu.com/blackpress/docs/i20210507020307455/26>

The Public Comment Opportunity was advertised in the Maple Ridge-Pitt Meadows News again on May 14, 2021 edition in print and online <https://issuu.com/blackpress/docs/i20210514020006154/10>

A26 Friday, May 7, 2021

The Maple Ridge Pitt Meadows News

**Public Comment Opportunity for Proposed Development**

You are invited to participate in a Public Comment Opportunity where representatives of Billard Architecture are available by email or phone to provide details on rezoning Application 2019-392-RZ.

**Development Application No. 2019-392-RZ**

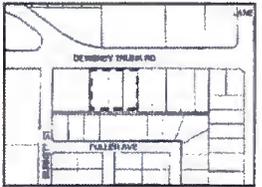
**Development Site Address: 22904-22922 Dewdney Trunk Rd., Maple Ridge**

**Public Comment Opportunity Period: May 18 to May 27, 2021**

**Email or call for info and to provide comments:**  
info@billardarchitecture.ca or 604-919-0529

Proposals of the Applicants to develop 22904-22922 Dewdney Trunk Road into a 6-lot, mixed-use multi-family property with 127 units and 2 commercial spaces. The intent of the Public Comment Opportunity is to seek input from the area residents on the proposed application and address any questions which may arise.

Your thoughts are important to us. If you would like information regarding this proposal, please contact Billard Architecture at 604-919-0529, info@billardarchitecture.com, or the City of Maple Ridge Planning Department, at 604-467-7341.



## Arts&life

### Studio hol

Artist interviews, demonstrations

Colleen Flanagan  
cflanagan@mapleridge.ca

Vicinia Art Studio is holding a Virtual Spring Art Show with artist interviews, demonstrations, door prizes, and the recent completed work of its creative talents.

"The spring art show will showcase our artists' latest and best works. Through art-making, our artists can stay grounded and optimistic," said studio director Dhanita Lee.

Vicinia Art Studio is owned and operated by the Ridge Meadows Association for Community Living, and is supported by funding from the provincial



Michelle Collinson

A18 Today, May 14, 2021

The Maple Ridge Pitt Meadows News

### WE BUY GOLD & SILVERWARE

At a special price! We buy gold, silver, platinum, diamonds, pearls, rubies, sapphires, emeralds, and more. Free appraisal. Free shipping. Free insurance. Free tax advice. Free gold/silver bars. Free gold/silver coins. Free gold/silver jewelry. Free gold/silver watches. Free gold/silver figurines. Free gold/silver collectibles. Free gold/silver antiques. Free gold/silver art. Free gold/silver memorabilia. Free gold/silver numismatics. Free gold/silver philately. Free gold/silver heraldry. Free gold/silver genealogy. Free gold/silver heraldry. Free gold/silver genealogy. Free gold/silver heraldry. Free gold/silver genealogy.

Maple Ridge - Surrey - Burnaby - Langley - Richmond - Delta

### FOOT CARE

Your health is important to us!

By appointment only!

Dr. David Dixon, Podiatrist  
163-22541 Dewdney Trunk Rd., Maple Ridge  
604-477-0999

**Public Comment Opportunity for Proposed Development**

You are invited to participate in a Public Comment Opportunity where representatives of Billard Architecture are available by email or phone to provide details on rezoning Application 2019-392-RZ.

**Development Site Address: 22904-22922 Dewdney Trunk Rd., Maple Ridge**

**Public Comment Opportunity Period: May 18 to May 27, 2021**

**Email or call for info and to provide comments:**  
info@billardarchitecture.ca or 604-919-0529

Proposals of the Applicants to develop 22904-22922 Dewdney Trunk Road into a 6-lot, mixed-use multi-family property with 127 units and 2 commercial spaces. The intent of the Public Comment Opportunity is to seek input from the area residents on the proposed application and address any questions which may arise.

Your thoughts are important to us. If you would like information regarding this proposal, please contact Billard Architecture at 604-919-0529, info@billardarchitecture.com, or the City of Maple Ridge Planning Department, at 604-467-7341.



## Auditor

Yousef, Robson say a plan

The city councillor, who is also a member of the Maple Ridge council, reported to the public that the city is planning to build a new auditorium. The project is estimated to cost \$15 million and is expected to be completed by 2025.

The city councillor, who is also a member of the Maple Ridge council, reported to the public that the city is planning to build a new auditorium. The project is estimated to cost \$15 million and is expected to be completed by 2025.

## RCMP lead

Supl. Wendy Mehat to be new officer in charge

Supl. Wendy Mehat has been named as the new officer in charge of the RCMP detachment in Maple Ridge. Mehat has over 20 years of experience in law enforcement and will be taking over from the current officer in charge.

# NOTIFICATION TO THE PUBLIC – SITE SIGN & MAILOUT

A sticker was placed on the site sign informing the public of the Public Comment Opportunity on May 7, 2021



## Public Comment Opportunity for Proposed Development

May 7, 2021

2019-392-RZ

### Public Comment Opportunity for Proposed Development at 22904 - 22922 Dewdney Trunk Road

Dear Neighbour,

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 22904 - 22922 Dewdney Trunk Road, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

The proposal includes the following components as attached to this letter:

- Official Community Plan - Urban Residential, no change
- Rezoning from RS-1 to CD
- 6-storey mixed-use building with 127 strata units, and two commercial units to replace 3 single-family dwellings
- Lot size 3330.0am



PUBLIC COMMENT OPPORTUNITY  
DATE: May 18 - 27, 2021

EMAIL FOR INFO & TO PROVIDE COMMENTS:  
info@billardarchitecture.ca  
604-619-0529 ext 1001

To view the presentation and provide comments  
online, type the following link into an internet  
browser:  
<https://forms.gle/Qwcfb9XQ7BA4V78AA>

Your thoughts are important to us. If you require additional information or and/or would like to provide your comments, please do not hesitate to contact the undersigned at info@billardarchitecture.ca 604-619-0529 ext 1001 or the City of Maple Ridge Planning Department 604-467-7341.

Sincerely,

Billard Architecture

Please note that all comment and attendance sheets produced as a result of this Public Comment Opportunity will be provided to the City of Maple Ridge and form part of the public record that is available for viewing by the public upon request.

On May 7, 2021 notices were mailed to 191 neighbours within 100 metres of the development site, inviting the public to provide feedback by email, phone, and a Google webform.

# PRESENTATION MATERIALS



## Public Comment Opportunity for Proposed Development at 22904 - 22922 Dewdney Trunk Road

2019-392-RZ

\*Required

- The web address in the mailout provided a link to a Google webform which displayed information about the Public Comment Opportunity, project details, the City's mandatory disclaimer, as well as a link to view and download the presentation and a form to provide feedback

### PUBLIC COMMENT OPPORTUNITY: MAY 18 - 27, 2021

You are invited to participate in Public Comment Opportunity to review and provide comments on the proposed development at 22904 - 22922 Dewdney Trunk Road, Maple Ridge. The intent of this opportunity is to seek input from the area residents on the proposed amendments and address any questions which may arise.

The proposal includes the following components:

- Official Community Plan - Urban Residential, no change
- Rezoning from RS-1 to CD
- 6-storey mixed-use building with 127 strata units, and two commercial units to replace 3 single-family dwellings
- Lot size 3330.0sm

The presentation is available to view here

<https://www.dropbox.com/s/gqn8udya606hb9y/Public%20Comment%20Opportunity%20-%202019-392-RZ%2022904-22922%20Dewdney%20Trunk%20RD.pdf?dl=0>

Your thoughts are important to us. If you require information in addition to the following presentation or and/or would like to provide your comments, please do not hesitate to contact the undersigned at [info@billardarchitecture.ca](mailto:info@billardarchitecture.ca) and/or 604-619-0529 ext 1001, or the City of Maple Ridge Planning Department 604-467-7341.

Sincerely,

Billard Architecture

Please note that all comment and attendance sheets produced as a result of this Public Comment Opportunity will be provided to the City of Maple Ridge and form part of the public record that is available for viewing by the public upon request.

---

# ANALYSIS AND RESPONSE TO COMMENTS

There was one neighbour that provided comments by phone, webform, and email.

Question/Concern	Response
The neighbour has concerns regarding privacy and visibility into their yard.	The design of the project has taken great care to step back away from the neighbouring properties to the south. It steps back significantly at each floor above the third storey. In addition, the design has oriented most of its windows to the east and west to avoid overlook. Finally, with the addition of the lane, the building has been moved as far away from the neighbouring properties as possible.
The neighbour has concerns that the height will completely diminish the sunlight.	The building is located to the north of the neighbouring properties .Therefore no sunlight falling on the neighbouring properties will be impacted.
The neighbour has concerns that the development will devalue their property.	This project fits the Official Community Plan and as such the community as a whole has determined that this form of project is beneficial to the neighbourhood. Additionally, studies have shown that adding quality multifamily homes to an area increases neighbourhood amenities and other advantages. There has been no indication that providing such housing decreases property values.
The neighbour has concerns about how waste management will be handled and is concerned about an increase in rodents and dumpster diving.	The project has located its garbage staging area against the eastern edge of the property adjacent the Husky Gas Station. This area is just used on the day of garbage and recycling pick-up. The private hauler collects the bins from the underground garbage and recycling room, brings them to the staging area outside on the day of collection. The bins are then returned to the underground garbage/recycling room after collection. As such there is very little chance of interference with the bins.
The neighbour has concerns about the noise from waste management service vehicles.	As the garbage and recycling schedule would fall on the same day as for the existing properties, there would be no increase in disruption.

---

# RESPONSE TO COMMENTS

---

## Question/Concern

The neighbour is concerned about the availability of street parking with increased density.

The neighbour claims that the Husky Gas station owners are concerned about additional with traffic from this laneway interfering with RV and trailer line-ups at the dumping station.

The neighbour has concerns about increased traffic and safety and noted that there are no traffic lights at nearby intersection.

The neighbour is concerned that current infrastructure of the neighbourhood is inadequate to support the size of the development.

The neighbour is concerned about the number of deliveries that the commercial units will be requiring for operation and that the noise from the delivery and commercial trucks will be intrusive.

The neighbour is concerned about noise and exhaust pollution from the laneway traffic.

## Response

The projects meets the city's off street parking bylaws in terms of the number of stall required.

The creation of the laneway is mandated by the City of Maple Ridge. Its creation and use is independent of this project. The Husky Station has already entered into a Memorandum of Understanding with the developer.

A comprehensive traffic study has been completed by professional traffic engineers and has been reviewed by the City of Maple Ridge Engineering Department.

The City of Maple Ridge Engineering Department has reviewed the project's Civil Engineering reports and designs as they pertain to loads on the existing infrastructure and have determined that the project will comply.

The two commercial units are very small and are intended to be neighbourhood cafés or of similar use. As such, the requirement for significant deliveries is very small. In addition, given the deliveries and servicing to the existing Husky Gas Station, any additional deliveries will not equate to any significant or noticeable increase.

The creation of the laneway is mandated by the City of Maple Ridge. Its creation and use is independent of this project. It is not anticipated that there would be a significant amount of disruption from the lane. Certainly, any amount of exhaust pollution would be very small by comparison to the existing Husky Gas Station.

---

# RESPONSE TO COMMENTS

---

## Question/Concern

## Response

The neighbour is concerned about light pollution from the exterior lighting.

As mentioned, the project dramatically steps back away from the neighbouring properties. In addition, care will be taken to specify lighting that not only protects residents in the lane, deters loitering and does not shed light onto the neighbouring properties. This is a standard process in today's lighting design.

The neighbour is concerned about potential criminal activity in the lane.

As noted, the design of the lighting and access to the building will be designed in such a way as to deter any unwanted activity in and around the lane.

The neighbour is concerned about potential loitering and homeless individuals using building overhangs for shelter.

As noted, the design of the lighting and access to the building will be designed in such a way as to deter any unwanted activity in and around the lane.

The neighbour is concerned the design does not fit into the neighbourhood.

This project fits the Official Community Plan and as such the community as a whole has determined that this form of project is beneficial to the neighbourhood.

The neighbour would like to know if it is possible to use the lane to provide access to a future coach house.

The City of Maple Ridge would need to be consulted on this. However, it is generally accepted that laneways provide the opportunity for the neighbours to create laneway homes.

The neighbour is concerned about the noise from construction and the duration of construction.

The project will be subject to the noise bylaws of the City of Maple Ridge and care will be taken to build a positive relationship with the neighbours and to minimize impact during construction.

---

## CONCLUSION

- The Public Comment Opportunity has concluded, and we have received comments by phone, email, and webform from one neighbour. We have adequately addressed their concerns and we will continue to work with the community to ensure the success of the neighbourhood.

