

COUNCIL MEETING AGENDA

March 13, 2018

7:00 p.m.

Council Chamber

MEETING DECORUM

Council would like to remind all people present tonight that serious issues are decided at Council meetings which affect many people's lives. Therefore, we ask that you act with the appropriate decorum that a Council Meeting deserves. Commentary and conversations by the public are distracting. Should anyone disrupt the Council Meeting in any way, the meeting will be stopped and that person's behavior will be reprimanded. *The meeting is live streamed and recorded by the City of Maple Ridge.*

Note: This Agenda is also posted on the City's Web Site at www.mapleridge.ca

The purpose of a Council meeting is to enact powers given to Council by using bylaws or resolutions. This is the final venue for debate of issues before voting on a bylaw or resolution.

100 ***CALL TO ORDER***

200 ***AMENDMENTS TO THE AGENDA***

300 ***APPROVAL OF THE AGENDA***

400 ***ADOPTION OF MINUTES***

401 Minutes of the Special Council Meeting of February 27, 2018 and the
Regular Council Meeting of February 27, 2018

402 Minutes of the Public Hearing of February 20, 2018

500 ***PRESENTATIONS AT THE REQUEST OF COUNCIL***

600 ***DELEGATIONS***

601 Boating BC Association
 • Lisa Geddes, Executive Director

650 ***QUESTIONS FROM THE PUBLIC***

Note: Questions from the Public are limited to 15 minutes unless extended
by a motion approved by the majority of Council

700 ***ITEMS ON CONSENT***

701 ***Minutes***

701.1 Development Agreements Committee Meetings - February 20, 2018 and
February 27, 2018

701.2 Minutes of Committees and Commissions of Council

- Advisory Design Panel - November 15, 2017 and January 17, 2018
- Agricultural Advisory Committee – November 23, 2017 and
January 25, 2018
- Public Art Steering Committee - September 26, 2017 and
November 28, 2017

702 ***Reports***

703 ***Correspondence***

704 ***Release of Items from Closed Council Status***

From the January 9, 2018 Special Closed Council Meeting

- Item 01.01 Appointment of Corporate Officer

From the February 27, 2018 Closed Council Meeting

- Item 04.03 Potential Sale of Property at 22300 River Road

800 ***UNFINISHED BUSINESS***

900 ***CORRESPONDENCE***

1000 ***BYLAWS***

Bylaws for Third Reading

Note: Item 1001 is from the March 13, 2018 Public Hearing

- 1001 **2017-527-RZ, 21322 121 Avenue
Maple Ridge Zone Amending Bylaw No. 7429-2018**
To rezone from RS-1 (One Family Urban Residential) to R-1 (Residential District). The current application is to permit a future subdivision of approximately 2 single family lots.
Third Reading

Bylaws for Adoption

- 1002 **2016-066-RZ, 24240 125 Avenue**
Staff report dated March 13, 2018 recommending adoption

Maple Ridge Zone Amending Bylaw No. 7239-2016
To rezone from RS-3 (One Family Rural Residential) to RS-2 (One Family Suburban Residential) to permit subdivision into two lots not less than 0.80 ha
Adoption
- 1003 **11893-227 Street; 11865 -227 Street; 22638-119 Avenue and 22633
Selkirk Avenue Housing Agreement Bylaw No. 7347-2017**
To allow the City of Maple Ridge to enter into a Housing Agreement
Adoption

1100 ***REPORTS AND RECOMMENDATIONS***

Public Works and Development Services

- 1101 **2017-390-RZ, 23084 and 23100 Lougheed Highway, RS-3 to RM-4**

Staff report dated March 13, 2018 recommending that Maple Ridge Zone Amending Bylaw No. 7442-2018 to rezone from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential) to permit a townhouse development with approximately 32 units in 6 buildings be given first reading and that the applicant provide further information as described on Schedules A, C, E, F and G of the Development Procedures Bylaw No. 5879-1999.

1102 2017-573-RZ, 11575, 11587 223 Street and 22300 River Road, RS-1 to RM-2

Staff report dated March 13, 2018 recommending that Maple Ridge Zone Amending Bylaw No. 7420-2018 to rezone from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment Residential) to allow future construction of a five storey residential building with approximately 36 units be given first reading and that the applicant provide further information as described on Schedules C, D and E of the Development Procedures Bylaw No. 5879-1999.

1103 2017-078-RZ, 22368 North Avenue, RM-3 to C-3

Staff report dated March 13, 2018 recommending that Maple Ridge Official Community Plan Amending Bylaw No. 7436-2018 to designate land use from Low-Rise Apartment to Town Centre Commercial be given first and second reading and be forwarded to Public Hearing and that Maple Ridge Zone Amending Bylaw No. 7316-2017 to rezone from RM-3 (High Density Apartment Residential) to C-3 (Town Centre Commercial) to permit construction of a four storey mixed-use building to serve as the new head office of the Ridge Meadows Community Living Foundation be given second reading as amended and be forwarded to Public Hearing.

1104 2016-066-DVP, 24240 125 Avenue

Staff report dated March 13, 2018 recommending that the Corporate Officer be authorized to sign and seal 2016-066-DVP to reduce the 125 Avenue local street rural standard width requirement and 125 Avenue local street rural standard asphalt width requirement to permit the creation of two RS-2 (One Family Suburban Residential) zoned lots.

1105 2017-501-DVP, 2017-500-DP, 11865 227 Street

Staff report dated March 13, 2018 recommending that the Corporate Officer be authorized to sign and seal 2017-501-DVP to reduce the front, rear, interior and exterior side yard setbacks along with variances to Off Street Parking and Loading Bylaw No. 4350-1990 and that the Corporate Officer be authorized to sign and seal 2017-500-DP to permit construction of Phase 3 of a four phased mixed use residential/commercial development located within the Town Centre.

1106 Maple Ridge Highway and Traffic Amending Bylaw and Maple Ridge Ticket Information Utilization Amending Bylaw

Staff Report dated March 13, 2018 recommending that Maple Ridge Highway and Traffic Amending Bylaw No. 7418-2018 to update regulations for compliance with currently parking and storage issues be given first, second and third readings and that Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018 be given first, second and third reading.

1107 Maple Ridge Business Licencing and Regulation Amending Bylaw

Staff report dated March 13, 2018 recommending that Maple Ridge Business Licencing and Regulation Amending Bylaw No. 7441-2018 to ensure definitions match amendments to the Zoning Bylaw to better support home occupations be given first, second and third reading.

1108 Maple Ridge Drinking Water Conservation Plan Bylaw and Maple Ridge Water Service Amending Bylaw

Staff report dated March 13, 2018 recommending that Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 to (description to be added) be given first, second and third readings and that Maple Ridge Water Service Amending Bylaw No. 7427-2018 to reference the Maple Ridge Drinking Water Conservation Plan Bylaw be given first, second and third reading.

1109 Contact Renewal Award: Electrical Contractor Services

Staff report dated March 13, 2018 recommending that the Electrical Contractor Services be awarded to Boileau Electric and Pole Line Limited for the final two year option period and that the Corporate Officer be authorized to execute the contract.

1110 Strategic Wildfire Prevention Initiative – Union of British Columbia Municipalities (“UBCM”) Funding

Staff report dated March 13, 2018 recommending that the application for FireSmart Planning & Activities Grant Program funding be supported.

Financial and Corporate Services (including Fire and Police)

1131

Parks, Recreation & Culture

1151

Administration

1171

Other Committee Issues

1191

1200 ***STAFF REPORTS***

1300 ***OTHER MATTERS DEEMED EXPEDIENT***

1400 ***NOTICES OF MOTION AND MATTERS FOR FUTURE MEETING***

1500 ***ADJOURNMENT***

QUESTIONS FROM THE PUBLIC

The purpose of the Question Period is to provide the public with an opportunity to ask questions of Council on items that are of concern to them, with the exception of Public Hearing bylaws which have not yet reached conclusion.

Council will not tolerate any derogatory remarks directed at Council or staff members.

Each person will be permitted 2 minutes to ask their question (a second opportunity is permitted if no one else is sitting in the chairs in front of the podium). Questions must be directed to the Chair of the meeting and not to individual members of Council. The total Question Period is limited to 15 minutes.

Council reserves the right to defer responding to a question in order to obtain the information required to provide a complete and accurate response.

Other opportunities are available to address Council including public hearings, delegations and community forum. The public may also make their views known to Council by writing or via email and by attending open houses, workshops and information meetings. Serving on an Advisory Committee is an excellent way to have a voice in the future of this community.

For more information on these opportunities contact:

Clerk's Department at **604-463-5221** or clerks@mapleridge.ca.

Mayor and Council at mayorandcouncil@mapleridge.ca.

Checked by: _____

Date: _____

400 Adoption and Receipt of Minutes

401 Minutes of Regular and Special Council Meetings

SPECIAL COUNCIL MEETING MINUTES

February 27, 2018

The Minutes of the Special City Council Meeting held on February 27, 2018 at 5:30 p.m. in the Blaney Room of the City Hall, 11995 Haney Place, Maple Ridge, British Columbia for the purpose of transacting regular City business.

PRESENT

Elected Officials

Mayor N. Read

Councillor C. Bell

Councillor B. Masse

Councillor G. Robson

Councillor T. Shymkiw

Councillor C. Speirs

Appointed Staff

P. Gill, Chief Administrative Officer

K. Swift, General Manager of Parks, Recreation & Culture

F. Quinn, General Manager of Public Works and
Development Services

T. Thompson, Interim Director of Finance

D. Denton, Acting Corporate Officer

ABSENT

Councillor Duncan

Note: These Minutes are also posted on the City's Web Site at www.mapleridge.ca

Note: Councillor Shymkiw participated in the meeting via telephone link.

1.0 *CALL TO ORDER*

2.0 *APPROVAL OF THE AGENDA*

R/2018-110

It was moved and seconded

That the agenda for the February 27, 2018 Special Council Meeting be approved.

CARRIED

3.0 *NOTICE OF CLOSED COUNCIL MEETING*

R/2018-111

It was moved and seconded

That the meeting following this meeting at 6:00 p.m. be closed to the public pursuant to Sections 90 (1) and 90 (2) of the Community Charter as the subject matter being considered relates to the following:

- Section 90(1)(e) The disposition of land if the council considers that disclosure might reasonably be expected to harm the interests of the municipality.
- Section 90(1)(f) Law enforcement, if the council considers that disclosure might reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment.
- Section 90(1)(g) Litigation or potential litigation affecting the municipality.
- Section 90(1)(i) Receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose.
- Section 90(2)(b) The consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government.

Any other matter that may be brought before the Council that meets the requirements for a meeting closed to the public pursuant to Sections 90 (1) and 90 (2) of the Community Charter or Freedom of Information and Protection of Privacy Act.

CARRIED

4.0 *ADJOURNMENT –*

N. Read, Mayor

Certified Correct

D. Denton, Acting Corporate Officer

City of Maple Ridge

COUNCIL MEETING MINUTES

February 27, 2018

The Minutes of the City Council Meeting held on February 27, 2018 at 7:10 p.m. in the Council Chamber of the City Hall, 11995 Haney Place, Maple Ridge, British Columbia for the purpose of transacting regular City business.

PRESENT

Elected Officials

Mayor N. Read
Councillor C. Bell
Councillor K. Duncan
Councillor B. Masse
Councillor G. Robson
Councillor T. Shymkiw
Councillor C. Speirs

Appointed Staff

P. Gill, Chief Administrative Officer
D. Boag, Acting General Manager of Parks, Recreation & Culture
F. Quinn, General Manager Public Works and Development Services
C. Carter, Director of Planning
D. Denton, Acting Corporate Officer
A. Gaunt, Confidential Secretary

Other staff as required

C. Goddard, Manager of Development and Environmental Services
R. MacNair, Manager of Bylaw and Licensing Services
C. Balatti, Recreation Manager Health & Wellness

Note: These Minutes are also posted on the City's Web Site at www.mapleridge.ca

The meeting was live streamed and recorded by the City of Maple Ridge

100 ***CALL TO ORDER***

200 ***AMENDMENTS TO THE AGENDA***

300 ***APPROVAL OF THE AGENDA***

R/2018-112

It was moved and seconded

That the February 27, 2018 Council Meeting agenda be approved as circulated.

CARRIED

400 ***ADOPTION AND RECEIPT OF MINUTES***

401 Minutes of the Special Council Meeting Minutes of February 13, 2018 and the Regular Meeting Minutes of February 13, 2018

R/2018-113

It was moved and seconded

That the minutes of the Special Council Meeting of February 13, 2018 and the Regular Council of February 13, 2018 be amended to indicate that Councillor Duncan chaired both meetings as Acting Mayor and that the minutes as amended be approved.

CARRIED

500 ***PRESENTATIONS AT THE REQUEST OF COUNCIL*** – Nil

600 ***DELEGATIONS***

601 **Alouette River Management Society Annual Report (“ARMS”)**

- Greta Borick-Cunningham, Executive Director
- Ken Stewart, President, Board of Directors

Ms. Borick-Cunningham gave a PowerPoint presentation providing information on an upcoming ARMS fundraiser and highlighting 2017 activities including volunteer and community engagement, community education, environmental monitoring, partnerships and committees, core funding and other partnerships and project funding. She outlined the events and activities planned for 2018 such as the strategic plan and upcoming projects and programming.

Mr. Stewart thanked Maple Ridge Council for the continued support of ARMS programs. He advised on the progress being made on the initiative for a fish passage.

602 **Maple Ridge Pitt Meadows Community Services - Youth Wellness Centre**

- Alicia Erenli, Youth Wellness Centre – Program Coordinator/Site Lead
- Shelley Grogan, Director of Fund Development

Ms. Erenli gave a PowerPoint presentation providing information on the initiative for the development of the Youth Wellness Centre and its purpose, the selection of the centre as a host site for Foundry and the resulting

expansion of the centre. She thanked various agencies for their support and highlighted current areas of service.

Ms. Grogan provided information on what is being done to continue to build funding for the Foundry project and outlined funding received from outside agencies as well as initiatives being undertaken for additional funding.

603 Leisure Centre Accommodation Plan

- Christa Balatti, Recreation Manager Health & Wellness

The Recreation Manager of Health & Wellness gave a PowerPoint presentation providing a history of the leisure pool, outlining the project plan and the plan to accommodate users during renovations. She also provided information on the improvements to the pool through renovations and the communication plan to be put into place during the pool closure to assist residents.

650 *QUESTIONS FROM THE PUBLIC*

Kathy Pring

Ms. Pring asked whether Council has been engaged in conversation with BC Housing or the MLA's regarding the placement of modular housing since the last information session held in January.

Mayor Read advised that no information has been provided by BC Housing.

Ms. Pring referred to a rezoning application for Burnett Street and asked whether Council will ask BC Housing not to put in any type of housing in Maple Ridge should the rezoning application be rejected.

The Mayor stated she cannot speak for individual Councillors. She advised that no application has been received from BC Housing.

700 *ITEMS ON CONSENT*

701 Minutes

701.1 Development Agreements Committee Meetings

- February 13, 2018

701.2 Minutes of Committees and Commissions of Council

- Maple Ridge Community Heritage Commission
 - December 14, 2017
 - January 11, 2018

702 **Reports**

702.1 **Disbursements for the month ended January 31, 2018**

Staff report dated February 27, 2018 recommending that the disbursements for the month ended January 31, 2018 be received for information.

702.2 **2017 Council Expenses**

Staff report dated February 27, 2018 recommending that Council expenses recorded to the end of December, 2017 be received for information.

703 **Correspondence**

704 **Release of Items from Closed Council Status**

From the January 30, 2018 Closed Council Meeting

04.01 Appointment to the Board of Variance ("BOV")

04.02 Maple Ridge Social Policy Advisory Committee Membership –
 2018 Member Appointments

From the February 13, 2018 Closed Council Meeting

04.01 Environmental Advisory Committee Membership – 2018 Member
 Appointments

R/2018-114

It was moved and seconded

That Items 701.1, 701.2, 702.1, 702.2 and 704 on the "Items on Consent" agenda be received into the record.

CARRIED

800 ***UNFINISHED BUSINESS*** – Nil

900 ***CORRESPONDENCE*** – Nil

1000 ***BYLAWS***

Note: Items 1001 to 1003 are from the February 20, 2018 Public Hearing

Bylaws for Third Reading

Note: Councillor Shymkiw excused himself from discussion of Item 1001 at 8:13 p.m. due to conflict of interest.

- 1001 **2016-004-RZ, 13245 236 Street**
Maple Ridge Zone Amending Bylaw No. 7211-2016
To rezone from RS-2 (One Family Suburban Residential) and RS-3 (One Family Rural Residential) to RM-1 (Townhouse Residential) to permit the future development of 31 townhouse units
Third reading

R/2018-115

It was moved and seconded

That Bylaw No. 7211-2016 be given third reading.

CARRIED

Note: Councillor Shymkiw returned to the meeting at 8:13 p.m.

- 1002 **2016-091-RZ, 14155 Marc Road**

- 1002.1 **Maple Ridge Official Community Plan Amending Bylaw No. 7416-2017**
To amend Silver Valley Area Plan Figure 2 from Eco Cluster and Conservation to Conservation, Eco Cluster and Neighbourhood Park; to Amend Silver Valley Area Plan Figure 4: Trail/Open Space as shown; to Add to Conservation, Add to Neighbourhood Park, to Remove from Conservation and Add to Trail
Third reading

R/2018-116

It was moved and seconded

That Bylaw No. 7416-2017 be given third reading.

CARRIED

- 1002.2 **Maple Ridge Zone Amending Bylaw No. 7254-2016**
To rezone from A-2 (Upland Agricultural) to R-1 (Residential District) and R-2 (Urban Residential District) to permit a future subdivision of approximately 109 lots
Third reading

R/2018-117

It was moved and seconded

That Bylaw No. 7254-2016 be given third reading.

CARRIED

- 1003 **2018-022-RZ, Text Amendment**
Maple Ridge Zone Amending Bylaw No. 7428-2018
To prohibit the retail sale of cannabis
Third reading

R/2018-118

It was moved and seconded

That Bylaw No. 7428-2018 be given third reading.

CARRIED

Councillor Speirs - OPPOSED

Bylaws for Adoption

- 1004 **2016-244-RZ, 11184, 11154 and 11080 240 Street Housing Agreement**
Bylaw No. 7434-2018
To authorize the protection of 8 second storey rental housing units in
perpetuity
Adoption

R/2018-119

It was moved and seconded

That Bylaw No. 7434-2018 be adopted.

CARRIED

- 1005 **2017-242-RZ, Maple Ridge Zone Amending Bylaw No. 7394-2017**
To amend Part 2 Interpretation and Part 4 General Regulations of the
Maple Ridge Zoning Bylaw No. 3510 – 1985 to expand and regulate home
occupation opportunities to better support home occupations throughout
the City
Adoption

R/2018-120

It was moved and seconded

That Bylaw No. 7394-2017 be adopted.

CARRIED

1100 ***REPORTS AND RECOMMENDATIONS***

Public Works and Development Services

Note: Item 1101 was withdrawn at the request of staff for further review and discussion.

1101 **2017-390-RZ, 23084 and 23100 Lougheed Highway, RS-3 to RM-4**

1102 **2017-432-RZ, 20234 Lorne Avenue, from RS-1 to RM-1**

Staff report dated February 27, 2018 recommending that Maple Ridge Zone Amending Bylaw No. 7398-2017 to rezone from RS-1 (One Family Urban Residential) to RM-1 (Townhouse Residential) to permit development of approximately 5 townhouse units be given first reading and that the applicant provide further information as described on Schedules C, D, and E of the Development Procedures Bylaw No. 5879-1999.

R/2018-121

It was moved and seconded

That Bylaw No. 7398-2017 be given first reading; and

That the applicant provide further information as described on Schedules C, D, and E of the Development Procedures Bylaw No. 5879-1999.

CARRIED

1103 **2017-473-RZ, 13616 and 13660 232 Street, RS-3 to RST-SV, R-3, R-1 and RS-1**

Staff report dated February 27, 2018 recommending that Maple Ridge Zone Amending Bylaw No. 7431-2018 to rezone from RS-3 (One Family Rural Residential) to RST-SV (Street Townhouse-Silver Valley), R-3 (Special Amenity Residential District), R-1 (Residential District) and RS-1 (One Family Urban Residential) to permit future development of approximately 10 street townhouse units and approximately 13 single family lots be given first reading and that the applicant provide further information as described on Schedules A through G and J of the Development Procedures Bylaw No. 5879-1999 along with information required for an Intensive Residential Development Permit and a Subdivision Application.

R/2018-122

It was moved and seconded

In respect of Section 475 of the Local Government Act, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:

- i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
- ii. The Board of any Regional District that is adjacent to the area covered by the plan;
- iii. The Council of any municipality that is adjacent to the area covered by the plan;
- iv. First Nations;
- v. Boards of Education, Greater Boards and Improvements District Boards; and
- vi. The Provincial and Federal Governments and their agencies.

and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment, and;

That Bylaw No. 7431-2018 be given first reading; and

That the applicant provide further information as described on Schedules A through G and J of the Development Procedures Bylaw No. 5879-1999, along with the information required for an Intensive Residential Development Permit and a Subdivision application.

CARRIED

Financial and Corporate Services (including Fire and Police)

1131 Community Emergency Preparedness Fund Grant Application

Staff report dated February 27, 2018 recommending that the Emergency Operations Centres & Training grant application be supported.

R/2018-123

It was moved and seconded

That the Emergency Operations Centres & Training grant application be supported.

CARRIED

1132 2018 Election – Appointment of Officers

Staff report dated February 27, 2018 recommending that Laura Benson, Corporate Officer be appointed as Chief Election Officer and that Tonya Polz be appointed as Deputy Chief Election Officer for the October 20, 2018 Maple Ridge general local election.

R/2018-124

It was moved and seconded

That pursuant to Section 58 (1) of the Local Government Act, Laura Benson, Corporate Officer be appointed Chief Election Officer for conducting the October 20, 2018 Maple Ridge general local election with power to appoint other election officials as required for the administration and conduct of the 2018 general local election; and further

That Tonya Polz be appointed Deputy Chief Election Officer for the October 20, 2018 Maple Ridge general local election.

CARRIED

Parks, Recreation & Culture

1151 Award of Contract - ITT-PL17-87: Maple Ridge Leisure Centre Upgrades

Staff report dated February 27, 2018 recommending that Contract ITT-PL17-87: Maple Ridge Leisure Centre Upgrades be awarded to Chandos Construction Ltd., that a contingency be established, that the Financial Plan be amended and that the Corporate Officer be authorized to execute the contract.

R/2018-125

It was moved and seconded

That contract ITT-PL17-87: Maple Ridge Leisure Centre Upgrades be awarded to Chandos Construction Ltd. in the amount of \$9,636,000.00 plus taxes;

That a contingency of 20% be established for this project;

That the Financial Plan be amended as set out in the report dated February 27, 2018 titled Award of

Contract – ITT-PL17-87: Maple Ridge Leisure Centre Upgrades; and

That the Corporate Officer be authorized to execute the contract.

CARRIED

Administration – Nil

Other Committee Issues – Nil

1200 ***STAFF REPORTS*** – Nil

1300 ***OTHER MATTERS DEEMED EXPEDIENT*** – Nil

1400 ***NOTICES OF MOTION AND MATTERS FOR FUTURE MEETINGS*** – Nil

1500 ***ADJOURNMENT*** – 9:04 p.m.

N. Read, Mayor

Certified Correct

D. Denton, Acting Corporate Officer

402 Minutes of the Public Hearing

City of Maple Ridge

PUBLIC HEARING

February 20, 2018

The Minutes of the Public Hearing held in the Council Chamber of City Hall, 11995 Haney Place, Maple Ridge, British Columbia on February 20, 2018 at 7:11 p.m.

PRESENT

Elected Officials

Mayor N. Read
Councillor C. Bell
Councillor K. Duncan
Councillor B. Masse
Councillor G. Robson
Councillor T. Shymkiw
Councillor C. Speirs

Appointed Staff

P. Gill, Chief Administrative Officer
F. Quinn, General Manager of Public Works and Development
L. Benson, Corporate Officer
C. Carter, Director of Planning
C. Goddard, Manager of Development and Environmental Services
A. Gaunt, Confidential Secretary
Other staff as required
D. Pollock, Municipal Engineer
D. Hall, Planner 2

Mayor Read called the meeting to order. The Corporate Officer explained the procedure and rules of order of the Public Hearing and advised that the bylaws will be considered further at the next Council Meeting on February 27, 2018.

The Mayor then called upon the Manager of Development and Environmental Services to present the following items on the agenda:

Note: Councillor Shymkiw excused himself from discussion of Item 1 at 7:12 p.m. due to conflict.

**1) 2016-004-RZ, 13245 236 Street
Maple Ridge Zone Amending Bylaw No. 7211-2016**

To rezone from RS-2 (One Family Suburban Residential) and RS-3 (One Family Rural Residential) to RM-1 (Townhouse Residential). The current application is to permit the future development of 31 townhouse units.

The Corporate Officer advised that no correspondence was received on this item.

The Manager of Development and Environmental Services gave a PowerPoint presentation providing the following information:

- Application Information
- Subject Map
- Official Community Plan Context
- Neighbourhood Context
- Site Characteristics
- Development Proposal
- Proposed Site Plan
- Proposed Elevations and Landscape Plans
- Terms and Conditions

The Mayor called for speakers three times.

There being no comment, the Mayor declared this item dealt with.

Note: Councilor Shymkiw Tyler returned to the meeting at 7:17 p.m.

2) 2016-091-RZ, 14155 Marc Road

Maple Ridge Official Community Plan Amending Bylaw No. 7416-2017

To amend Silver Valley Area Plan Figure 2 from Eco Cluster and Conservation to Conservation, Eco Cluster and Neighbourhood Park

To Amend Silver Valley Area Plan Figure 4: Trail/Open Space as shown; to Add to Conservation, Add to Neighbourhood Park, to Remove from Conservation and Add to Trail

Maple Ridge Zone Amending Bylaw No. 7254-2016

To rezone from A-2 (Upland Agricultural) to R-1 (Residential District) and R-2 (Urban Residential District). The current application is to permit a future subdivision of approximately 109 lots.

The Corporate Officer advised that correspondence in favour of the application was received from Evelyn O'Rourke, Brad Gardner, Cary and Shelley Armstrong, Quentin Boulton and Loretta Furtado, Cameron Brass, Clyde Fletcher, Myles Witter, WQC Mechanical, Shannon Blackburn, Tyler Law, Cheryl Power, Andrew Lawson, Mike Leto and Debbie Chabot, Adam Myles, Ron Chan & Deana Cherry and Sean Allan. She also advised that correspondence expressing concern or expressing opposition to the application was received from Salim Jamal and Hannah Garrett, Hayley and Philip, David and Sandra Eng, Phillip Yoon, Peter Boronco, Derek DiFant, Gord Weisflock and Crystal Wang and Val Bouillet.

The Planner gave a PowerPoint presentation providing the following information:

- Application Information
- Subject Map
- Official Community Plan Context
- Neighbourhood Context
- Site Characteristics
- Development Proposal
- Proposed Site Plan
- Terms and Conditions

The Mayor called for speakers for the first time.

David Ing

Mr. Ing spoke in opposition to the application. He outlined his concerns with the impact of the proposed development on environmentally sensitive areas, the increased traffic and congestion and the lack of infrastructure particularly for road access and local schools to support such a development. Mr. Ing also expressed concern with the negative impact on the quality of life in the neighbourhood and the possible impact on property values.

Rose Sky

Ms. Sky spoke in favour of the application as the developer has lowered proposed density, has allowed more space for neighbours and has preserved and donated other land for wildlife.

Jim Osborne

Mr. Osborne expressed concern with the lots directly on Marc Road which runs below his property and the extremely steep slope impacting the proposed lots. He asked whether City staff has looked at the property and assessed the slopes and encouraged Planning and Engineering staff to do so. Mr. Osborne felt it would be difficult to safely build houses on a slope of this nature.

The Manager of Development and Environmental Services provided clarification on the lots impacted by slopes.

Mr. Osborne reiterated his request that City staff go on site to check slopes.

Rebecca Kozol

Ms. Kozol spoke in favour of the application however she expressed concern with infrastructure, particularly the road and where water and sewer connections will be placed. One of Ms. Kozol's major concerns is the impact of the road on the driveway to her property should the roadway be narrowed. She explained that the driveway to her property is very steep and that the retention of turning space for vehicles pulling horse trailers is very important. Ms. Kozol sympathized for residents concerned with conservation however she indicated that as she has lived on her property for 43 years and recalled a time when the

Anderson Place subdivision was a space for wildlife. Her main concern is what will be done with the infrastructure around the area.

Mike Leto

Mr. Leto spoke in favour of the application. He stated that he has been a homeowner in the area for 18 years. He expressed that the developer has been very accommodating and felt that the current proposal will have the least impact on residents along Marc Road. He spoke to the issue of lack of city water along Marc Road and stated that he is looking forward to City water and sewer. He sees the proposed application as a benefit not a hindrance.

Gabriella Sacchetti

Ms. Sacchetti spoke in support of the development and is pleased with the current plan. She is satisfied with the interaction between the developer and the residents. Ms. Sacchetti is pleased with an existing access road being set aside for emergency access only however she would like to see the access designated as park rather than road to ensure it remains closed to all traffic other than emergency vehicles for the future.

Ryan Lucy, President of Morningstar

Mr. Lucy addressed concerns pertaining to the slope on Marc Road. He also provided further information on tree retention and the provision of water and sewer for the older lots along Marc Road.

Colin Downing

Mr. Downing spoke in favour of the application. He shared a story of a neighbour who runs out of water and indicated there are several residences along Marc Road in need of City water. He expressed appreciation with the time spent by the developer working with neighbours.

The Mayor called for speakers for the second time.

David Ing

Mr. Ing stated he is not adverse to change however he feels that growth in the area needs to be managed. He expressed concern that the proposed development is the cart in front of the horse and that infrastructure should be built first. He stated that more access other than 232 Street is needed for the area. Mr. Ing referred to a past incident of tree removal by the developer and asked for an update from staff on what was done in response to complaints.

The Manager of Development and Environmental Services provided clarification on the City's response to the tree clearing and on the resolution to the situation.

The Mayor called for speakers for the third time

There being no further comment, the Mayor declared this item dealt with.

3) 2018-022-RZ, Text Amendment

Maple Ridge Zone Amending Bylaw No. 7428-2018

PART 4, GENERAL REGULATIONS, SECTION 401 USES OF LAND, BUILDINGS AND STRUCTURES, Subsection (3) Prohibited Uses of Land, Buildings and Structures is amended as follows:

By inserting the following as item (h):

“(h) the retail sale of cannabis”

A bylaw to prohibit the retail sale of cannabis. The bylaw is an interim measure intended to prevent business operations establishing in advance of the Federal and Provincial regulations. Once the Provincial context is known, future zoning bylaw amendments may be warranted.

The Corporate Officer advised that correspondence opposed to or expressing concern with the application was received from Doug@shaw.ca

The Planner gave a PowerPoint presentation providing the following information:

- Application Information
- Jurisdictional Overview
- Next steps
- Terms and Conditions

The Mayor called for speakers for the first time

Keno Roy

Mr. Roy spoke in opposition to the proposed bylaw. He cited reasons to allow local dispensaries distributing medical cannabis to remain open. He spoke to the need for medical cannabis and expressed concern that the proposed zone amending bylaw is putting unnecessary red tape around cannabis as medicine, which will harm vulnerable residents.

Michael Joinson, President and Founder of TAGGS Dispensary

Mr. Joinson advised that he represents 5000 patients. He expressed concern with the way the Federal Government is legalizing cannabis, in particular with the lack of access to edibles and the negative impacts of sending prepackaged cannabis through the mail. Mr. Joinson provided information on how dispensaries for medical cannabis are run.

Janine Brooker

Ms. Brooker indicated that she does not have a vested interest in cannabis stores open in Maple Ridge however she expressed concern that closing down shops that have been in business for a number of years will negatively impact those who are sick and will force them to look outside the community or go through the black market for the product. She spoke on the medical benefits of cannabis and felt it irresponsible to close down existing shops. She suggested giving exemptions to businesses which have been in the community for a number of years.

Shane Escher - representative of Lotusland Cannabis Society

Mr. Escher provided information on the Lotusland Cannabis Society and advised on licensed locations of the society throughout the Lower Mainland. He advised on reasons for the society opening a dispensary in Maple Ridge and expressed concern with the methods by which the opening of the facility was dealt with by City Bylaws staff. Mr. Escher feels that dispensaries currently in Maple Ridge should be allowed to continue to operate.

Robert Davis – representative of Lotusland Cannabis Club, Dewdney Trunk Road

Mr. Davis provided background information on the Lotusland Cannabis Society and advised on locations throughout the Lower Mainland. He cited that the society has not had any police incidents in its 5 years history and referred to licenses in the Cities of Vancouver and Victoria. Mr. Davis outlined reasons as to why Lotusland has opened in Maple Ridge and expressed concern with methods used by the City of Maple Ridge Bylaws staff to deal with the dispensary opened on Dewdney Trunk Road. He feels the store is being targeted compared to other dispensaries which are not as visible. He requested that staff be directed to treat the Lotusland location in the same manner as other dispensaries in Maple Ridge.

Ken Wittenberg

Mr. Wittenberg spoke on his history with TAGGS dispensary and outlined the process involved in working with his doctor to allow him to be able to purchase medical cannabis. He expressed concern that he will have to go back to a compassion club in Vancouver for medical cannabis as a result of the proposed bylaw and asked that existing medical cannabis dispensaries such as TAGGS be allowed to remain.

Mark Napier

Mr. Napier spoke on his history with TAGGS, advised on his medical condition and the license he has received to purchase medical cannabis to help him cope with severe pain. Mr. Napier expressed concern with the Federal Government's decision to supply only cannabis to smoke rather than supporting edible cannabis. He expressed that the Supreme Court has ruled on rights for edible medicinal cannabis which is provided by dispensaries such as TAGGS. He feels it ridiculous that the City of Maple Ridge be thinking of banning medical cannabis dispensaries. He reiterated his concern with the Federal Government's approach to edible cannabis.

Gail Salconi

Ms. Salconi read from a written statement. She expressed concern that should retail sale of cannabis be banned, users will be forced to buy from sources which are not reputable and the product could be unsafe. She compared this to the environment and products provided by medical dispensaries. She stated that as Maple Ridge is its own City, it should have its own ideas as to how to regulate cannabis retail stores until July.

Dominique Nelson

Ms. Nelson stated she has worked at medical dispensaries for a number of years and feels that a main issue is how to educate patients on using a product. She expressed concern that taking away access to dispensary educated staff will hinder all patients.

The Mayor called for speakers for the second time.

Michael Joinson

Mr. Joinson advocated for patients in Maple Ridge who required local access to medical cannabis, stating that 75% of patients coming to see him are from the city. He spoke to his own medical history with medical cannabis and feels that the existing medical cannabis clubs serve patients in a way which is better than pharmaceuticals.

Shane Escher

Mr. Shane Escher spoke on behalf of the Lotusland Cannabis Society. He stated that bylaws have been complied with and requested that Council advise Maple Ridge Bylaws staff to treat the Lotusland Cannabis dispensary in the same manner as existing dispensaries.

Gail Salconi

Ms. Salconi identified herself as a staff member at Lotusland and outlined issues she has had with Bylaws officers.

Dominic Nelson

Ms. Nelson identified herself as the manager of all Lotusland dispensaries. She reiterated her statement on the importance of education of staff on the uses for medical cannabis.

The Mayor called for speakers for the third time.

Michael Joinson

Mr. Joinson advised that all patients and members of TAGGS come from a doctor with doctor's documentation. He also advised that product is not provided to persons based solely on a driver's license showing they are over 19.

Shane Escher

Mr. Escher stated that Lotusland is a member's only club and requires documentation as well as appropriate ID. He reiterated his concerns with enforcement by Bylaws staff. He asked why enforcement action is not being taken at the tent city and feels there are many drug problems in the City of Maple Ridge which are not being addressed.

Willow Lapointe

Ms. Lapointe identified herself as a volunteer at the Hammond Compassion Society. She advised that compassion societies help to educate the public on the use of cannabis for health issues as well as teach people how to use the product to help stop opioid use. She spoke on the types of persons coming into the club and how difficult it will be for these patients to go into Vancouver.

Brenda Eilee

Ms. Eilee expressed concern that persons currently working at existing medical cannabis will lose their jobs.

There being no further comment, the Mayor declared this item dealt with.

Having given all those persons whose interests were deemed affected by the matters contained herein a chance to be heard, the Mayor adjourned the Public Hearing at 8:34 p.m.

N. Read, Mayor

Certified Correct

L. Benson, Corporate Officer

700 *ITEMS ON CONSENT*

701.1 Development Agreements Committee

**CITY OF MAPLE RIDGE
DEVELOPMENT AGREEMENTS COMMITTEE**

February 20, 2018
Mayor's Office

CIRCULATED TO:

Nicole Read, Mayor
Chair

Paul Gill, Chief Administrative Officer
Member

Catherine Schmidt, Recording Secretary

1. 16-125319 BG

LEGAL: Lot 20 Section 32 Township 12 New Westminster District Plan
BCP33861

LOCATION: 22957 136 Avenue

OWNER: Jason Carver, Christopher Carver, Jacqueline Carver

REQUIRED AGREEMENTS: Temporary Residential Use Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 16-125319 BG.

CARRIED

2. 16-130595 BG

LEGAL: Strata Lot 42 Section 11 Township 12 New Westminster District
Strata Plan EPS234

LOCATION: 25540 Godwin Drive

OWNER: Tamin and Shabnam Aurom

REQUIRED AGREEMENTS: Secondary Suite Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 16-130595 BG.

CARRIED

3. 16-122830 BG

LEGAL: Lot 11 Section 15 Township 12 New Westminster District Plan
EPP56127

LOCATION: 11230 243 Street

OWNER: Baldev Singh Gill

REQUIRED AGREEMENTS: Secondary Suite Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 16-122830 BG.

CARRIED

4. 2017-125715 BG

LEGAL: Lot 3 Section 1 Township 12 New Westminster District Plan 5198

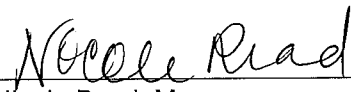
LOCATION: 26098 98 Avenue

OWNER: Hee Jin and Cameron Barber

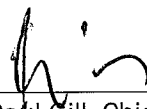
REQUIRED AGREEMENTS: Habitat Protection Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 2017-125715 BG.

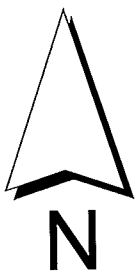
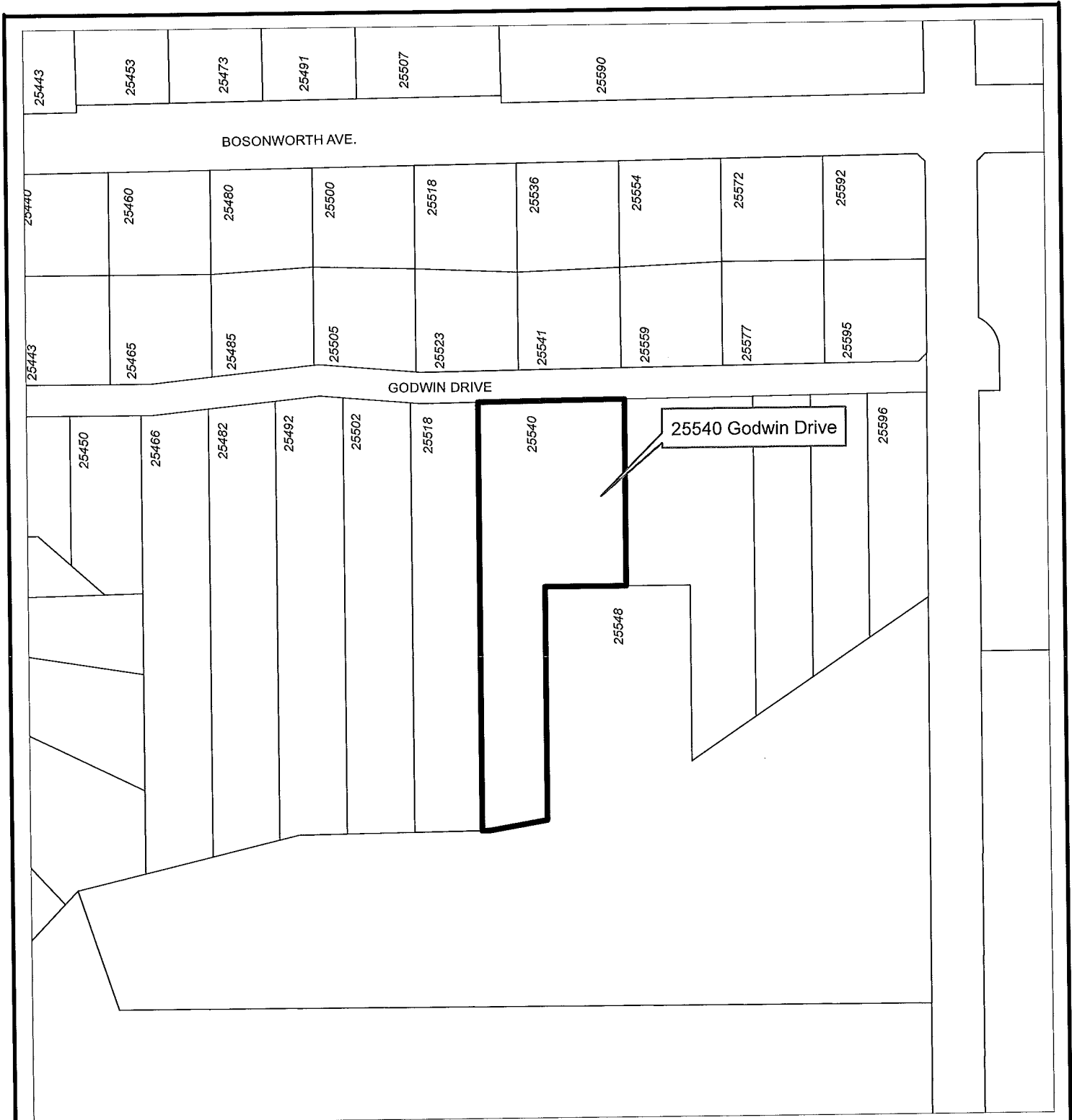
CARRIED



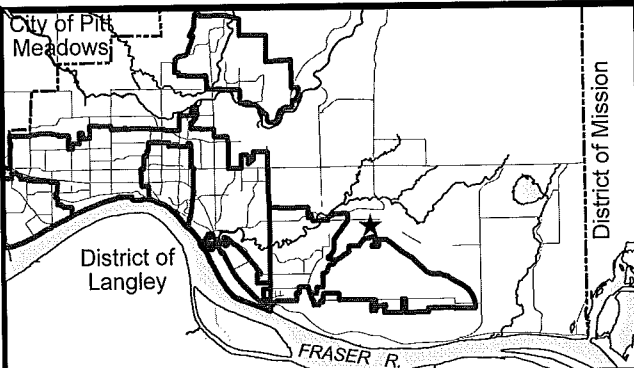
Nicole Read, Mayor
Chair



Paul Gill, Chief Administrative Officer
Member



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25540 Godwin Dr

ENGINEERING DEPARTMENT

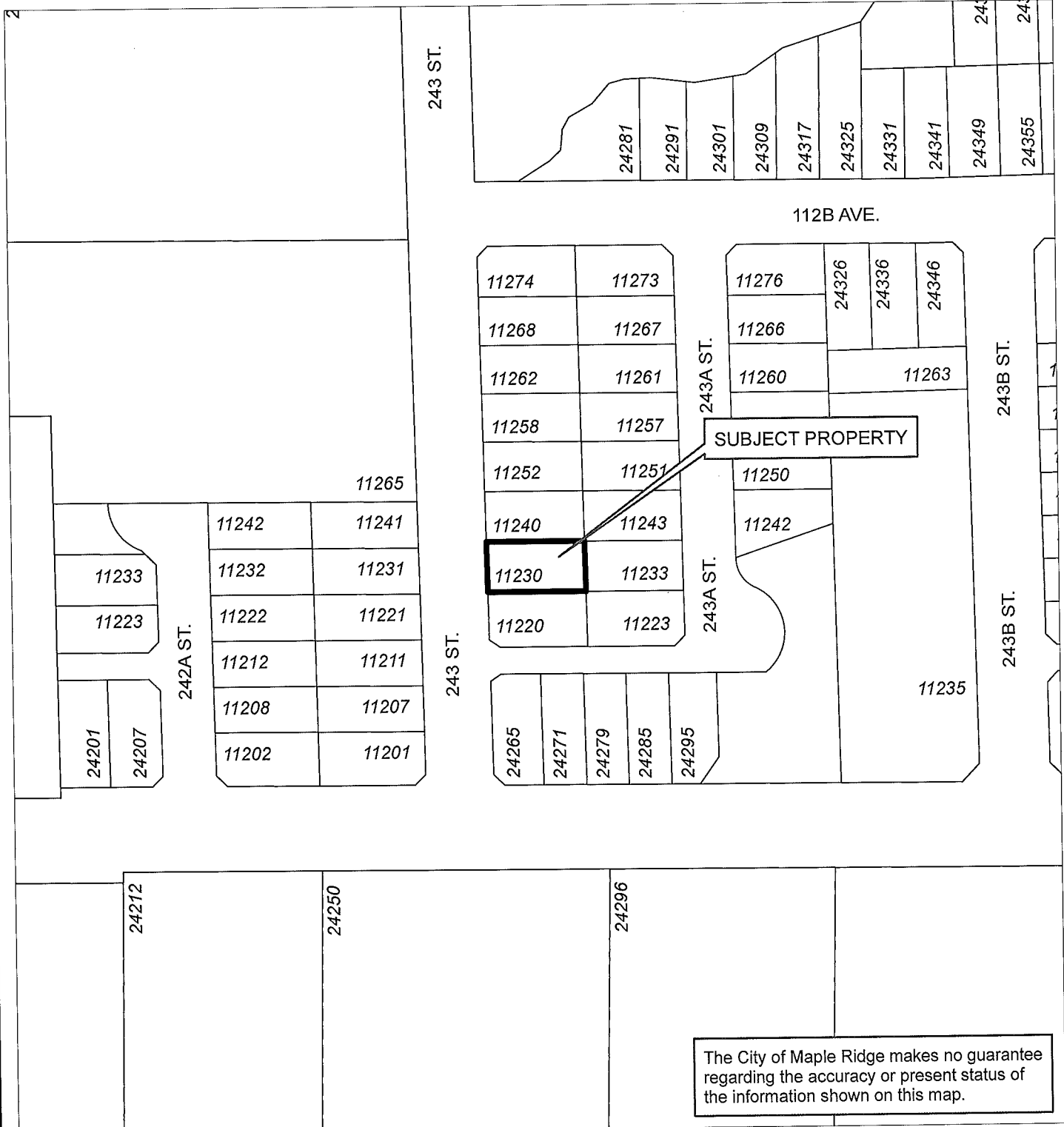


MAPLE RIDGE
British Columbia

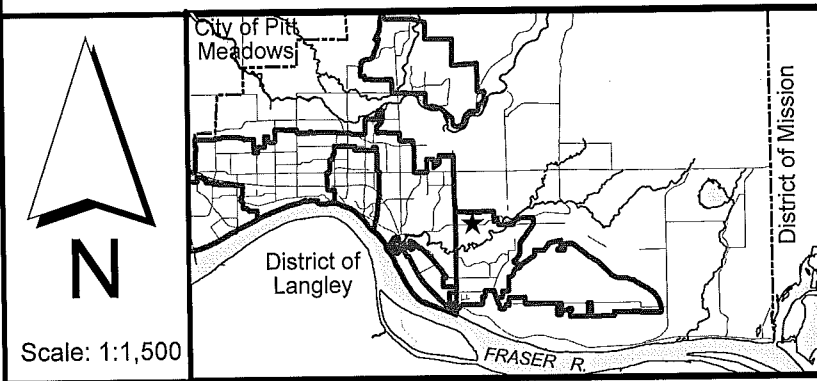
mapleridge.ca

FILE: Untitled
DATE: Feb 16, 2018

BY: MC



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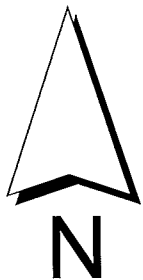
ENGINEERING DEPARTMENT

MAPLE RIDGE
British Columbia

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FILE: Untitled
DATE: Feb 14, 2018

BY: NV



Scale: 1:3,790

26098 98 Avenue

PLANNING DEPARTMENT



MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: base map.mxd
DATE: Feb 16, 2018

BY: GS

**CITY OF MAPLE RIDGE
DEVELOPMENT AGREEMENTS COMMITTEE**

February 27, 2018
Mayor's Office

CIRCULATED TO:

Nicole Read, Mayor
Chair

Paul Gill, Chief Administrative Officer
Member

Catherine Schmidt, Recording Secretary

1. 17-129334 BG

LEGAL:	Parcel A, Section 3 Township 4 Range 5 West of the Seventh Meridian New Westminster District Plan EPP72627
LOCATION:	14500 224 Street
OWNER:	Mehdi D. Zadeh
REQUIRED AGREEMENTS:	Slope Protection Covenant Geotechnical Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 17-129334 BG.

CARRIED

2. 15-124754 BG

LEGAL:	Parcel F, District Lots 243 and 284 Group 1 New Westminster District Reference Plan 3444 Except Parcels C and D with Fee Deposited 24823E and Plans 60736, 62286, 62954 and BCP52220
LOCATION:	12725 Laity Street
OWNER:	Kenneth, Tania, Douglas, Kaitlyn, and Jeffrey LAITY
REQUIRED AGREEMENTS:	Culvert Maintenance Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 15-124754 BG.

CARRIED

3. 2014-106-RZ

LEGAL: Lot A, Except: Part Subdivided by Plan LMP1144 Section 16
Township 12 New Westminster District Plan LMP806

LOCATION: 23882 Dewdney Trunk Road

OWNER: Stewart & Son Development Group Ltd, Tassong Development
Corporation, Norfolk Holdings Ltd.

REQUIRED AGREEMENTS: Stormwater Management Covenant

**THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING
DOCUMENT AS IT RELATES TO 2014-106-RZ.**

CARRIED

4. 2016-066-SD

LEGAL: Lots 1 and 2, Section 22 Township 12 New Westminster District
Plan EPP79032

LOCATION: 24240 125 Avenue

OWNER: Michael S. McBride

REQUIRED AGREEMENTS: Stormwater Management Covenant
Habitat Tree Protection Covenant

**THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING
DOCUMENT AS IT RELATES TO 2016-066-SD.**

CARRIED

5. 2016-034-SD

LEGAL: Lot B District Lot 245 New Westminster District
Plan NWP74894

LOCATION: 12358 216 Street

OWNER: Gurlal and Ravinder Rakhra

REQUIRED AGREEMENTS: Subdivision Servicing Agreement
Stormwater Management Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 2016-034-SD.

CARRIED

6. 17-124977 BG

LEGAL: Lot 27 Section 25 Township 12 New Westminster District Plan
BCP42202

LOCATION: 13140 Katonien Street

OWNER: 1074860 B.C. Ltd.

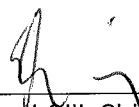
REQUIRED AGREEMENTS: Septic Field Covenant
Release of Covenant (BB809665)

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 17-124977 BG.

CARRIED



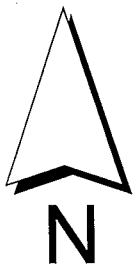
Nicole Read, Mayor
Chair



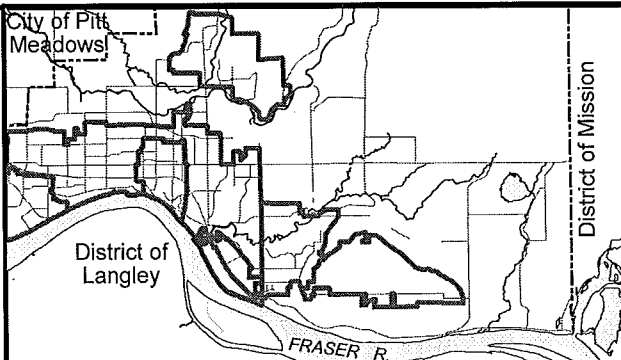
Paul Gill, Chief Administrative Officer
Member

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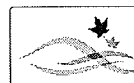


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14500 224 St.
Section 219 - Slope Protection Covenant
Section 219 - Geotech Covenant

LICENCES, PERMITS & BYLAWS DEPT.



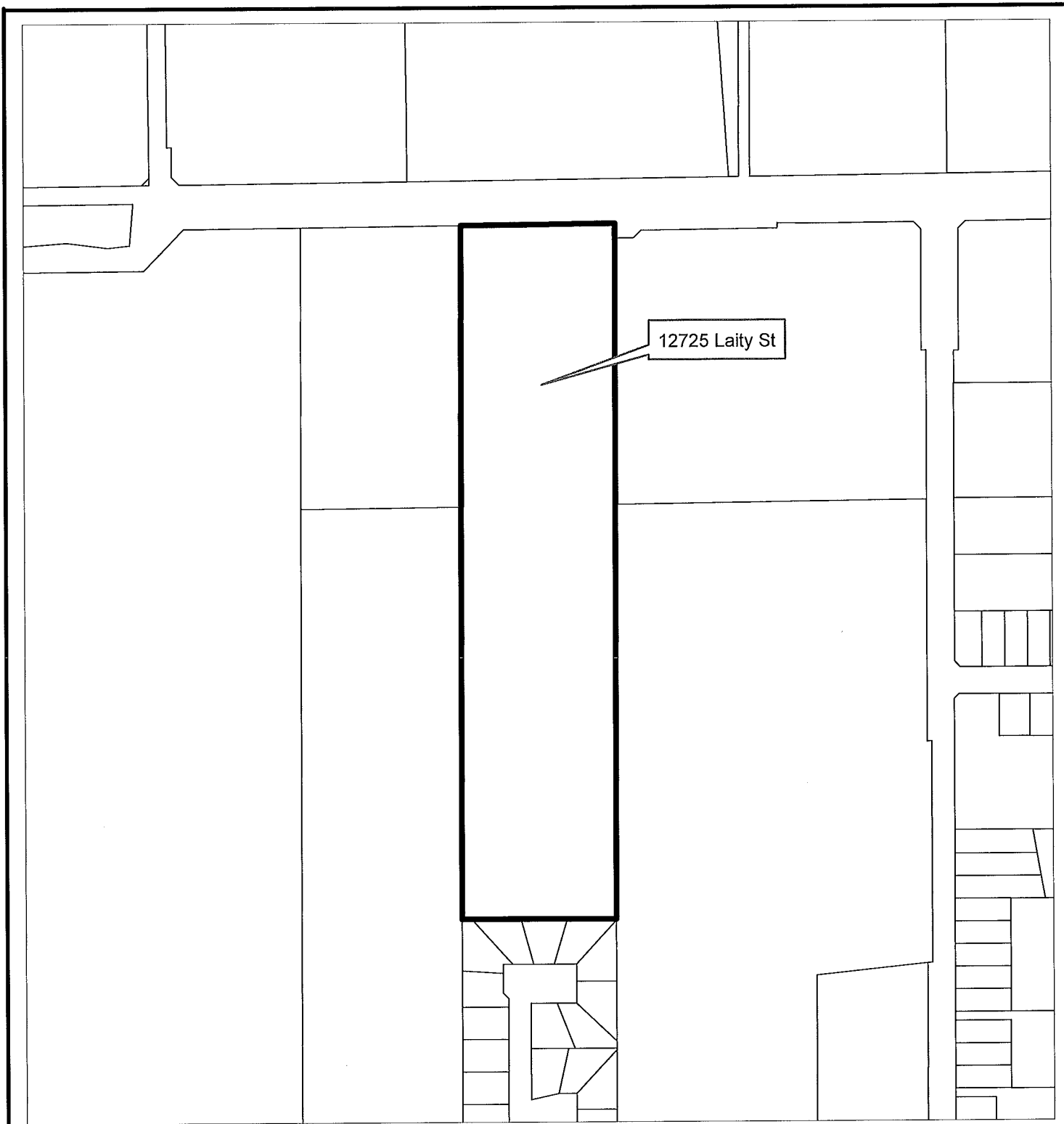
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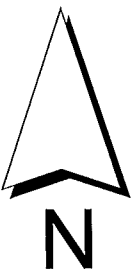
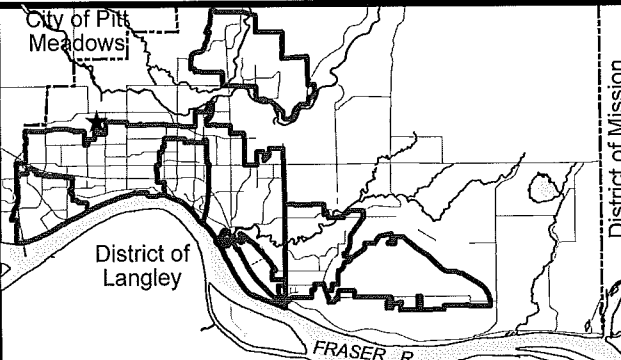

British Columbia

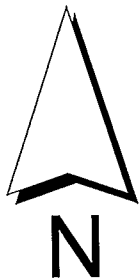
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DATE: Feb 20, 2018

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Legend

-  Stream
-  Indefinite Creek
-  River Centreline
-  Major Rivers & Lakes

24240 125 Avenue
2011 Image

PLANNING DEPARTMENT



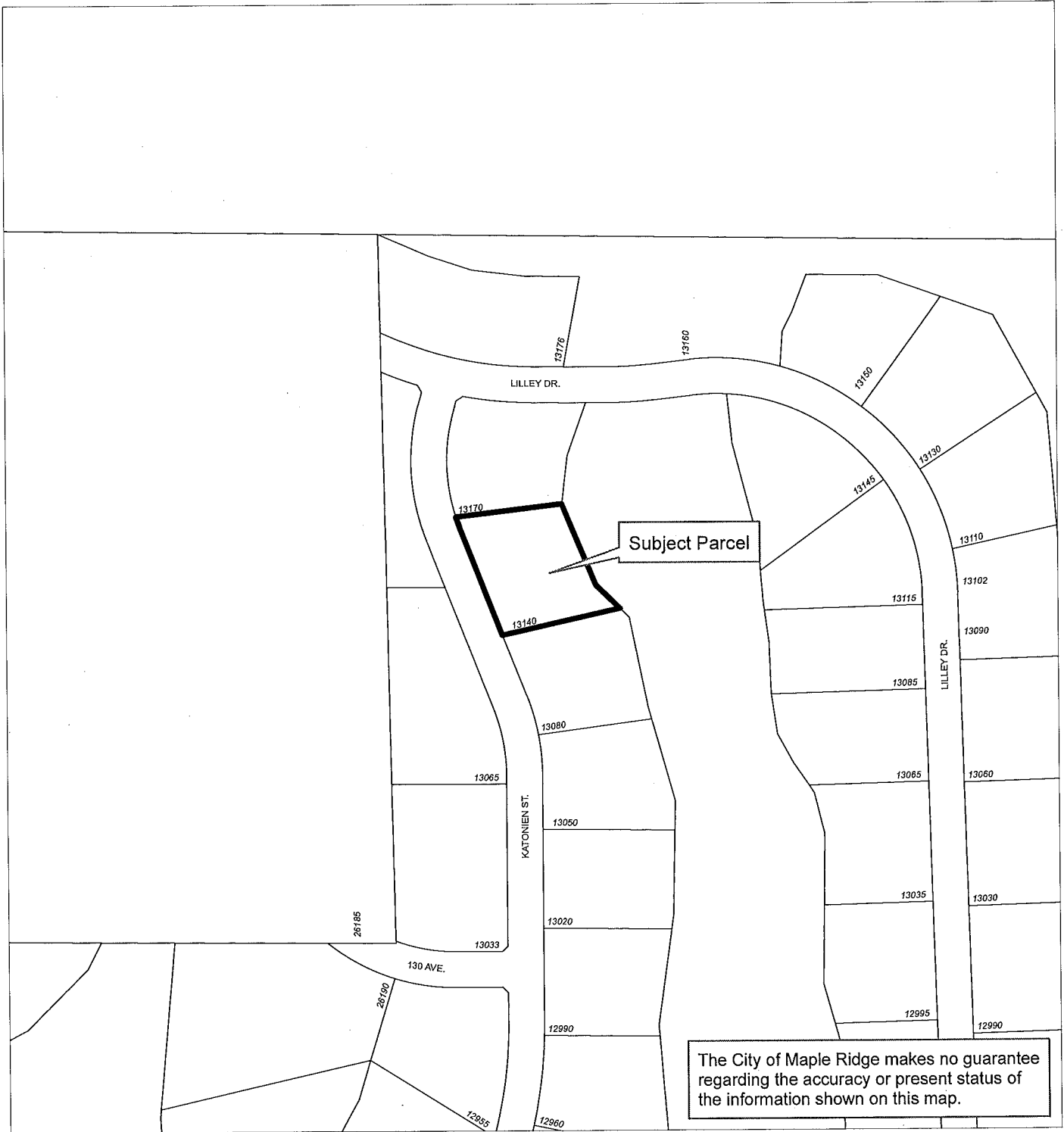
MAPLE RIDGE

British Columbia

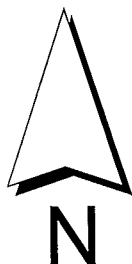
mapleridge.ca

2016-066-RZ
DATE: Mar 10, 2016

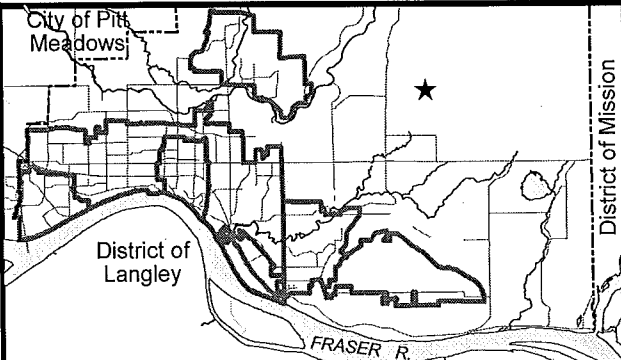
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Section 219 Septic Disposal Covenant

LICENCES, PERMITS & BYLAWS DEPT.



MAPLE RIDGE

British Columbia

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DATE: Feb 22, 2018

BY: ML

701.2 Minutes of Meetings of Committees and Commissions of Council

City of Maple Ridge
AGRICULTURAL ADVISORY COMMITTEE
REGULAR MEETING

The Minutes of the Regular Meeting of the Agricultural Advisory Committee, held in the Blaney Room,
at Maple Ridge Municipal Hall on Thursday, November 23, 2017 at 7:00 pm.

COMMITTEE MEMBERS PRESENT

Al Kozak	Agricultural Sector
Candace Gordon	Haney Farmers Market Society
Ian Brooks	Member at Large
Margaret Daskis, Chair	Member at Large
Stephanie James, Vice-Chair	Equestrian Agricultural Sector
Bill Hardy	Member at Large
Chris Zabek	Regional Agrologist, Ministry of Agriculture
Councillor Speirs	City of Maple Ridge

GUESTS/DELEGATIONS

Josef Hans Lara
Yolanda Roman

STAFF MEMBERS PRESENT

Amanda Grochowich	Staff Liaison / Planning Department
Renee Moffatt	Committee Clerk
Chee Chan	Planning Department

REGRETS/ABSENTS

Kamelli Mark	Agricultural Land Commission
Lorraine Bates	Agricultural Fair Board

1. CALL TO ORDER

There being a quorum present the Chair called the meeting to order at 7:06pm and introductions were made.

2. AGENDA ADOPTION

R17-016

It was moved and seconded

That the Agenda dated November 23, 2017 be adopted

CARRIED

3. MINUTES APPROVAL

R17-017

It was moved and seconded

That the Minutes dated October 26, 2017 be approved

CARRIED

4. DELEGATIONS

4.1 Agricultural Zoning Setbacks Update

The Planner presented a PowerPoint presentation on the Zone Amending Bylaw. The Presentation was a review from the previous presentation, updates and any changes that were made. The Planner requested feedback from the AAC Committee to forward to Council.

5. NEW & UNFINISHED BUSINESS

5.1 Metro Vancouver AAC Update

The Chair asked the committee if they wanted to discuss in the future a more in depth discussion about the AAC's guidelines for taking land out of the ALR. Stephanie James informed the committee of the City of Surrey requirements and Bylaws which restricts development on ALR land. Further discussion will be needed.

5.2 Intersections Event Re-cap

The Chair reported on the Intersections Event on November 7th 2017. The event was well attended. The Chair discussed networking with other committee groups. Stephanie James discussed having a more intimate Intersections event with 2 members from each committee coming together in a more working environment.

Josef Hans Lara from Economic Development Committee (EDC) informed the committee on what EDC is about and gave an update on what the committee has been working on. Mr. Hans Lara discussed the 3 task forces they have created, Homebased Business, Tourism and Technology.

5.3 Membership Recruitment

The Committee Clerk updated the committee on the 2018-2019 recruitment process. The deadline for new members to apply to the committee was November 23rd 2017.

5.4 AAC Promotion

The Staff Liaison discussed the possibility of having an AAC brochure to hand out to the public and promote our events and programs. The Committee Members considered other ideas such as having the website updated with a printable brochure. The Staff Liaison will take the lead on creating the brochure with the help from the committee.

5.5 Food Garden Contest 2018

The Staff Liaison requested information from the committee to help with the contest. Stephanie James will assist the Staff Liaison with the Food Garden Contest preparations.

6. SUBCOMMITTEE REPORTS

6.1 Golden Harvest Subcommittee

No update

6.2 Education Subcommittee

No update

6.3 True North Fraser Subcommittee

The True North Fraser will be put on hold until the early 2018.

6.4 Food Distribution Subcommittee

The Staff Liaison advised the committee that the consultant, Ione Smith, is intending to come to the January meeting to update the committee.

6.4.1 Food Hub Implementation Plan

7. CORRESPONDENCE

8. ROUNDTABLE

Councillor Speirs discussed his meeting with Jim Chu from Aquilini regarding the Food Innovations Centre.

Bill Hardy discussed that he is almost finished converting the lights on his property to LED lights.

Stephanie James reported that her garden is flourishing due to the warm weather.

Margaret Daskis informed the committee that their gluten-free audit passed.

Amanda Grochowich updated the committee on the Home Based Business report. On November 25, 2017 the City of Maple Ridge is hosting an open house on secondary suite and garden suites at the library.

Candace Gordon is offering her annual Cookie Kitchens for low income families. Asks for donations from community to make cookie dough.

Al Kozak is working with Young Agrarians on succession planning and would like them to come to speak to the committee.

Chris Zabek discussed the ALR's new regulations with distilleries and breweries

9. QUESTION PERIOD

Al Pozar provided comments on the Agriculture Zoning Setbacks Presentation.

10. ADJOURNMENT – 9:06pm



Chair

/rm

City of Maple Ridge
AGRICULTURAL ADVISORY COMMITTEE
REGULAR MEETING

The Minutes of the Regular Meeting of the Agricultural Advisory Committee, held in the Blaney Room,
at Maple Ridge Municipal Hall on Thursday, January 25, 2018 at 7:02 pm.

COMMITTEE MEMBERS PRESENT

Councillor Craig Speirs	City of Maple Ridge
Margaret Daskis, Chair	Member at Large
Stephanie James, Vice-Chair	Equestrian Agricultural Sector
Al Kozak	Agricultural Sector
Bill Hardy	Member at Large
Candace Gordon	Haney Farmers Market Society
Chris Zabek	Regional Agrologist, Ministry of Agriculture & Lands
David Kaplan	Member at Large
Ian Brooks	Member at Large

GUESTS/DELEGATIONS

Ione Smith	Upland Agriculture Consulting, Director
Kazlyn Bonner	Upland Agriculture Consulting, Co-op Student

STAFF MEMBERS PRESENT

Amanda Grochowich	Staff Liaison / Planning Department
Amanda Allen	Committee Clerk

REGRETS

Kamelli Mark	Agricultural Land Commission
Lorraine Bates	Agricultural Fair Board
Ryan Murphy	Agricultural Sector

1. **CALL TO ORDER**
2. **APPROVAL OF THE AGENDA**

R/2018-001

It was moved and seconded

That the agenda for the January 25, 2018 Agricultural Advisory Committee meeting be amended to add Item 3 - 2018 ELECTIONS OF CHAIR AND VICE CHAIR, that items be renumbered accordingly, and that the agenda as amended be approved.

CARRIED

3. **2018 ELECTIONS OF CHAIR AND VICE CHAIR**

The Staff Liaison opened the floor to nominations for a Chair.

R/2018-002

It was moved and seconded

That Margaret Daskis be elected Chair of the Agricultural Advisory Committee for 2018.

CARRIED

The Staff Liaison opened the floor to nominations for a Vice Chair.

R/2018-003

It was moved and seconded

That Stephanie James be elected Vice Chair of the Agricultural Advisory Committee for 2018.

CARRIED

4. **ADOPTION OF MINUTES**

R/2018-004

It was moved and seconded

That the minutes of the Maple Ridge Agricultural Advisory Committee meeting dated November 23, 2017 be adopted.

CARRIED

5. **DELEGATIONS**

5.1 **Food Hub Implementation Plan Update**

- Lone Smith, Upland Agriculture Consulting

Lone Smith provided an update on the Food Hub Implementation Plan and reviewed the project background, methodology, situational analysis, and market identification. Ms. Smith provided an overview of the proposed product mix and target sectors for Food Hub sales, as well as the anticipated operational considerations of processing, storage and distributing product. Ms. Smith also reviewed the proposed next steps of the project.

5.2 **Soil Deposit Bylaw Update**

- Mike Pym, Environmental Planner 1, City of Maple Ridge

The Environmental Planner provided an overview of the proposed bylaw amendments to the Soil Deposit Regulation bylaw. Two public open house events were held and two questionnaires were collected to solicit community input with feedback incorporated into the bylaw. The draft bylaw was presented to Council on November 28, 2017 and granted first reading: <http://www.mapleridge.ca/AgendaCenter/ViewFile/Agenda/11282017-2979>

6. NEW AND UNFINISHED BUSINESS

6.1 Membership Update

The Committee Clerk advised that at the January 16, 2018 Council meeting, Council approved the re-appointments of Ian Brooks and Al Kozak and the appointments of David Kaplan and Ryan Murphy as members to the Agricultural Advisory Committee for a two year term.

6.2 2018 AAC Meeting Schedule

The Committee Clerk provided a draft AAC meeting schedule for review. Committee reviewed and considered changing some meeting dates. The Committee Clerk to circulate the 2018 AAC meeting schedule.

6.3 Metro Vancouver AAC Update

The Chair advised that a Ministry of Agriculture Advisory Workshop is scheduled for February 21, 2018 and registration is open for three AAC members. Bill Hardy, Al Kozak and Councillor Speirs expressed interest in participating. The Staff Liaison will register members by the February 9, 2018 deadline.

The Chair advised that the next Metro Vancouver AAC meeting is scheduled for February 16, 2018.

6.4 Innovations Day Update

Ms. James reported that the Innovations Day subcommittee met in December 2017 to discuss the agenda and possible event speakers. The Innovations in Emerging Cities Forum is scheduled at the ACT on April 4, 2018 from 7:30am -3:30pm. The event is free but pre-registration is required. Mr. Kozak reported on his discussion with the Chair of the Economic Development Committee with regards to how agriculture could participate in the forum. Mr. Kozak suggested one of the event speakers could include a local farmer currently practicing automated growing on their farm.

6.5 Agricultural Development Permit Area Update

The Staff Liaison advised that the Agricultural Development Permit Area guidelines have been forwarded to the Ministry of Agriculture and the ALC for comment. The Staff Liaison anticipates a presentation of the updated guidelines at the next AAC meeting. A presentation to Council of the Agricultural Development Permit Area guidelines is tentatively scheduled for April 2018. The Staff Liaison advised that the report on Agriculture Zone Setbacks is underway but a date has not yet been set for a presentation to Council.

7. SUBCOMMITTEE REPORTS

7.1 Education Subcommittee

Mr. Kozak reported that the Haney Farmers Market recently held a strategic planning session facilitated by Cheryl Ashlie. Mr. Kozak suggested the AAC consider future presentations by the Young Agrarians and Haney Farmers Market. Mr. Kozak reported that the Golden Eagle Farm Group is hosting a public forum on proposed plans for their lands at the corner of Golden Ears Way and 203 Street on February 3, 2018 and invited members to attend.

7.2 Food Distribution Subcommittee

7.2.1 Food Hub Feasibility Study

Mr. Kozak reported that he accompanied Blue Moon Organics on a delivery day to and from their distribution facility. Mr. Kozak provided an update on his discussions with Seven Acres Farm and the Nova Scotia Food Hub around the logistics of paper work, products and software.

8. CORRESPONDENCE - Nil

9. ROUNDTABLE

Candace Gordon reported that the Haney Farmers Market AGM is scheduled for February 19, 2018 at 6:30pm in the Fraser Room at the Maple Ridge Public Library.

Chris Zabek advised that the Pacific Agriculture Show at the Tradex Exhibition Centre in Abbotsford is running until January 27, 2018.

Ian Brooks reported lots of activity this time of year.

Bill Hardy reported that Grow & Gather (Trice Farms) will no longer host the Fall Haney Farmers Market as attendance was dwindling and a location closer to town is being sought. Mr. Hardy attended the Environmental Advisory Committee meeting on January 10, 2018 and has joined the Green Infrastructure & Natural Assets Inventory & Evaluation Subcommittee.

Councillor Speirs advised that the dedication of 105 Avenue to Jim Robson Way is taking place at Planet Ice on Saturday, January 27, 2018 at 5:00 pm. The Provincial Government is holding an information session on the plans for the Burnett Street supportive housing project on January 29, 2018 from 4:00-8:00pm at the Haney Presbyterian Church.

Margaret Daskis informed members of a recent client audit. Ms. Daskis will be participating in the internationally attended Future Food-Tech Summit in San Francisco this March.

Amanda Grochowich advised that the Ministry of Agriculture has released a Farm Diversification through Agri-Tourism guidebook and will email a link to members for information. Metro Vancouver is accepting applications from non-profit organizations for a 2018 Agriculture Awareness Grant to promote a better understanding of agriculture and local food production. The submission deadline is March 12, 2018.

10. QUESTION PERIOD

Christian Cowley queried if it is known which software the Nova Scotia Food Hub is currently utilizing. Mr. Kozak responded that he does not have that information and could enquire with the Hub if so requested.

Mr. Cowley informed the AAC that the CEED Centre is creating a Youth employment program that will use a cargo e-trike to pick up organic waste at participating local restaurants for pre-composting and processing in the Neighbourhood House worm beds.

Mr. Cowley noted that it is his understanding that a requirement of the Metro Vancouver Agriculture Awareness Grant is that the scope must impact more than one municipality.

11. **ADJOURNMENT** – 9:11 pm



M. Daskis, Chair

/aa



**City of Maple Ridge
ADVISORY DESIGN PANEL**

The Minutes of the Regular Meeting of the Maple Ridge Advisory Design Panel held in the Blaney at
Maple Ridge Municipal Hall, 11995 Haney Place, Maple Ridge, British Columbia, on Wednesday,
November 15, 2017 at 4:00 pm.

COMMITTEE MEMBERS PRESENT

Andrew Igel	Architect
Craig Mitchell	Architect
Kyoung Bae Park, Vice-Chair	Landscape Architect
Roger Amenyogbe, Chair	Architect
Shan Tennyson	Landscape Architect

STAFF MEMBERS PRESENT

Adrian Kopystynski	Staff Liaison
Amanda Allen	Committee Clerk

REGRETS

1. CALL TO ORDER

The Chair called the meeting to order at 4:07pm.

2. AGENDA ADOPTION

R/17-041

It was moved and seconded

That the agenda dated November 15, 2017 be adopted.

CARRIED

3. MINUTE ADOPTION

R/17-042

It was moved and seconded

That the minutes dated October 18, 2017 be adopted as circulated.

CARRIED

4. SUBMISSION MOTIONS

A. Kopystynski, Staff Liaison, provided an update on meeting procedures. The Advisory Design Panel is a public meeting and as such a standard resolution are to be adopted by the Panel while the applicant is present at the meeting.

Note: Shan Tennyson joined the meeting at 4:12 pm.
Craig Mitchell joined the meeting at 4:17 pm.

5. PROJECTS

5.1

Development Permit No:	2017-078-DP
Applicant:	Tekton Project Management, Jared and Wayne Bissky
Project Architect:	Wayne Bissky, AIBC
Project Landscape Architect:	Paul Whitehead, BCSLA
Proposal:	4 storey mixed use building, ground floor flexible space, 2 floors of office space and a top floor with 6 rental units
Location:	22368 North Avenue, Town Centre Area
File manager:	Chee Chan

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans. The Panel encouraged the provision of at least one adaptive unit under the BC Building Code given the intent of the project.

R/17-043

It was moved and seconded

The application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:

Landscape Comments:

1. Provide a fence/guardrail on West elevation;
2. Provide taller evergreen shrub and screen to block vehicle headlights from light pollution to neighbours on West side;
3. Show sections on the property through the parking lot;
4. Show the landscape treatment to the south of the garbage enclosure;
5. Revise the design of the garbage enclosure to incorporate architectural features of the building (ie: colour, materials, etc);

Architectural Comments:

1. Treatment of fire wall as presented is acceptable;
2. Encouraged to provide a wayfinding means to assist people with disabilities;
3. Improve the expression of type of construction as shown in the rendering and explanations;
4. Provide guardrail at drops of more than 600mm;
5. Design of guardrails higher than 2 feet to be submitted for review of the colour and safety;
6. Consider extending blue horizontal member at 90 degrees on both sides of the building;
7. Consider the corner recess areas to be coloured orange as elsewhere on the façade;
8. Consider using machine-room-less elevator;
9. Indicate on plans the location of the roof access;
10. In the event that there is roof equipment, details should be provided as to its location and how it will be screened from neighbours, streets and overview.

CARRIED

Note: Shan Tennyson left the meeting at 5:27 pm.

5.2

Development Permit No:	2016-055-DP
Applicant:	David Laird, Aplin & Martin
Project Architect:	Barnett Dembek Architects Inc
Project Landscape Architect:	M2 Landscape Architecture
Proposal:	54 Townhouse Units
Location:	23183 136 Avenue
File manager:	Michelle Baski

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans.

R/17-044

It was moved and seconded

The application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:

Landscape Comments:

1. Provide a gateway structure at entry to the development emphasizing the character of the development;
2. Provide more energy to public amenity space/playground area (ie: with different surface material, texture, elements and natural play elements, site furniture, etc)
3. Provide pedestrian connection between public amenity space and trails;
4. Provide texture to pedestrian crossing and traffic calming measures at selective locations and intervals (ie: between building breaks) to break up the length of the drive aisles;
5. Provide adequate pedestrian lighting in public amenity space and at exterior stairs;
6. Provide additional pole lights at strategic locations;
7. Create overhead structure at mailbox for weather protection and provide recycling and garbage receptacles at mailbox kiosks;
8. Provide more variety of tree species along 232 Street and internal roads;

Architectural Comments:

1. Have material at front elevations return along the sides of the end units;
2. Consider providing more variation on the facades (materials, colours, glazing, etc);
3. Show rainwater leaders on elevations;
4. Consider using longboard for fencing at the front yard (along 232 Street);
5. Consider variations in gate access to the units along 232 Street;
6. Consider different treatments at bump out at end of buildings 1, 4, 8, 9;
7. Consider colour variations to the hardie panel facades labelled 6 that shows the wood braces.

CARRIED

5.3

Development Permit No:	2017-267-DP
Applicant	Wensley Architecture (Barry Weih)
Project Architect:	Wensley Architecture (Barry Weih)
Project Landscape Architect:	PMG Landscape Architecture (Caelan Griffith)
Proposal	Exterior renovations to existing shopping centre
Location:	11990 207 Street
File manager:	Adrian Kopystynski

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans.

R/17-045

It was moved and seconded

The following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further that Planning staff forward this on to the Advisory Design Panel for information.

Landscape Comments:

1. Convert painted island along the north-south drive aisle (Dewdney Trunk Road to 119 Avenue) into fully landscape planting beds with trees;
2. Provide public amenities (ie: public art, site furnishings, covered areas, etc) to enhance the viability of the shopping centre;
3. Show lighting plan for parking, landscaping, pedestrian and building exterior;

Architectural Comments:

1. Enhance the north-west corner near the vicinity of the loading bay at Dewdney Trunk Road.

CARRIED

6. NEW & UNFINISHED BUSINESS

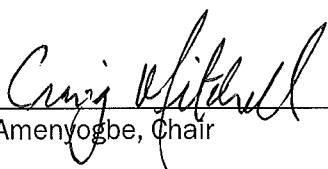
Adrian presented the Chair, R. Amenyogbe and Vice Chair, K. Park with certificates of recognition and letter of thanks for their years of volunteer service on the Advisory Design Panel.

7. INTERSECTIONS EVENT

The Chair provided an update on the Intersections networking event. The event brought together volunteers from the different Committees of Council. The Chair and Staff Liaison provided a brief speech at the event in regards to the function and purpose of the Advisory Design Panel.

8. CORRESPONDENCE

9. ADJOURNMENT – 7:33 pm.



R. Amenyogbe, Chair

/aa



**City of Maple Ridge
ADVISORY DESIGN PANEL**

The Minutes of the Regular Meeting of the Maple Ridge Advisory Design Panel held in the Blaney at
Maple Ridge Municipal Hall, 11995 Haney Place, Maple Ridge, British Columbia, on Wednesday,
January 17, 2018 at 4:00 pm.

PANEL MEMBERS PRESENT

Steven Bartok	Architect
Stephen Heller	Landscape Architect
Craig Mitchell	Architect
Shida Neshat-Behzadi	Architect
Shan Tennyson	Landscape Architect

STAFF MEMBERS PRESENT

Adrian Kopystynski	Staff Liaison
Amanda Allen	Committee Clerk

1. CALL TO ORDER & INTRODUCTION

The Staff Liaison called the meeting to order at 4:07 pm.
Round table introduction of Panel members and City staff.

Note: Shan Tennyson joined the meeting at 4:12 pm

2. ORIENTATION

The Staff Liaison provided members with an Orientation Manual and gave a brief orientation of the Advisory Design Panel Bylaw, the mandate of Panel, the conduct and procedures of meetings, and reviewed the Advisory Design Panel submission forms completed by applicants.

3. 2018 CHAIR AND VICE-CHAIR ELECTIONS

The Staff Liaison opened the floor to nominations for a Chair.

R/2018-001

It was moved and seconded

That Craig Mitchell be elected Chair of the Advisory Design Panel for 2018

CARRIED

The Staff Liaison opened the floor to nominations for a Vice Chair.

R/2018-002

It was moved and seconded

That Shan Tennyson be elected Vice Chair of the Advisory Design Panel for 2018

CARRIED

4. AGENDA APPROVAL

R/2018-003

It was moved and seconded

That the agenda for the January 17, 2018 Advisory Design Panel be approved.

CARRIED

5. MINUTE ADOPTION

R/2018-004

It was moved and seconded

That the minutes of the Advisory Design Panel meeting dated November 15, 2017 be adopted as circulated.

CARRIED

6. PROJECTS

6.1

Development Permit No:	2015-318-DP
Applicant:	Wayne Stephen Bissky Architecture
Project Architect:	Wayne Bissky
Project Landscape Architect:	Paul Whitehead
Proposal:	150 unit apartment building
Location:	11650 & 11656 224 Street
File manager:	Diana Hall

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans. The proposal includes five townhouses, 77 one bedroom units and 48 two bedroom units. The project team outlined the two parking levels, the firebreaks, the rooftop amenities on the apartment building, and the landscape opportunities on the site.

R/2018-005

It was moved and seconded

That File No. 2015-318-DP be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:

Landscape Comments:

1. Consider adding a trellis feature at the entrances to public pathway;
2. Consider adding bench at north west and south west corner of 2m path;
3. Continue the paving material of the 2m pathway eastward through to the public sidewalks on Fraser Street at both the North and South sides;
4. Consider replacing the concrete with unit pavers in the perimeter walkway if acceptable by the Fire Department;
5. Consider a decorative paving treatment at the lower and upper parking accesses.

Architectural Comments:

1. Extend and distinguish the public sidewalk through the driveway to municipal sidewalk on Fraser Street;

2. Review the requirements for guardrails on the retaining walls and add as required;
3. Emphasize the main entrance to the building with both hard and soft landscaping materials - Consider enhancing the stairway entrance as a secondary entrance; provide wayfinding to direct pedestrians to building entrance from top of stairs;
4. Follow the municipal guidelines for the recycling component of the building and consider expanding the component and locate on both P1 & P2;
5. Add windows to bedrooms (Corner units) on 6th floor;
6. Emphasize the continuity of the red colour accent throughout the courtyard's guardrail having some form of architectural, landscape or decorative elements;
7. Provide lighting along perimeter path (either as bollards or on the building) to improve visibility and improve CPTED concerns;
8. Integrate storm water management into the landscaping plans as appropriate;
9. Consider possibility of registering a public easement between 224th to Fraser Street for continuous public walkway along the south side of this and the future project to the West.

CARRIED

6.2

Development Permit No:	2017-385-DP
Applicant:	Wayne Stephen Bissky Architecture
Project Architect:	Wayne Bissky
Project Landscape Architect:	Paul Whitehead
Proposal:	Mixed use affordable rental housing and office space
Location:	11907 228 Street
File manager:	Diana Hall

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans. MRPM Community Services is a non-profit organization operating in the community for many years and are developing the property to build a permanent structure to suit their needs. MRPM Community Services plan to occupy first floor and part of second floor with BC Housing/social housing to use remaining space. 94 residential units in a six storey wood frame building.

R/2018-006

It was moved and seconded

The following concerns regarding File No. 2017-385-DP be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further that Planning staff forward this on to the Advisory Design Panel for information:

Landscape Comments:

1. Consider making planter boxes with seating edges on second floor balconies;
2. Consider combining outdoor space for clubhouse amenity space with the outdoor play area and adding more planting, possibly remove some parking spaces to accommodate this;
3. Consider adding upper level community garden boxes and seating;
4. Provide bollards or raised planting to separate the main parking area off 119 Avenue from the parking stalls off the lane to reduce potential conflicts with vehicles and pedestrians;

Architectural Comments:

1. Given the location of the building at a prominent intersection, and the importance of the facility in the community, the facility needs to present an improved architectural expression;
2. Re-evaluate the materials and building composition, including the hierarchy of materials, reduce the amount of materials, articulation and transition of different materials, demarcate the different entrances to the programs/uses, etc;
3. In conjunction with #2, achieve a more balanced colour palate;
4. Integrate storm water management into the landscaping plans as appropriate.

CARRIED

6.3

Development Permit No:	2017-500-DP
Applicant:	Falcon Village Joint Venture
Project Architect:	Wes Friesen
Project Landscape Architect:	M2 Landscape Architecture
Proposal:	48 residential units and 1,015m ² of commercial space
Location:	11865 227 Street
File manager:	Wendy Cooper

The Staff Liaison provided an overview of the proposed project. The project team made a presentation of the project plans.

R/2018-007

It was moved and seconded

That File No. 2017-500-DP be supported as presented and the applicant proceed to Council for approval.

CARRIED

Note: Shan Tennyson left the meeting at 7:58pm

7. NEW & UNFINISHED BUSINESS - Nil

8. CORRESPONDENCE - Nil

9. ADJOURNMENT – 7:59 pm.


C. Mitchell, Chair

/aa

City of Maple Ridge
PUBLIC ART STEERING COMMITTEE MEETING MINUTES

The Minutes of the Regular Meeting of the Public Art Steering Committee, held in the
Blaney Room, at Maple Ridge City Hall, 11995 Haney Place, Maple Ridge, British Columbia, on
Tuesday, September 26, 2017 at 3:00 p.m.

COMMITTEE MEMBERS PRESENT

Barbara Duncan	Arts Council Representative / Curator, ACT Art Gallery
Councillor Robson	City of Maple Ridge – Alternate Council Liaison
Donald Luxton	Cultural Resource Management Consultant
Don Miskiman	Community at Large Member
Leanne Koehn, Vice-Chair	Community at Large Member
Wan-Yi Lin	Artist
Wayne Bissky, Chair	Architect

STAFF MEMBERS PRESENT

Sunny Schiller	Committee Clerk
Yvonne Chui	Manager, Arts and Community Connections
Rodney Stott	Environmental Planner 2 – Environmental Advisory Committee Staff Liaison
Christa Balatti	Recreation Manager Health & Wellness

REGRETS/ABSENTS

Councillor Duncan	City of Maple Ridge
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1. WELCOME AND INTRODUCTIONS

There being a quorum present the Chair called the meeting to order at 3:08 pm. The Staff Liaison introduced and welcomed new member Don Miskiman.

2. AGENDA ADOPTION

R17-013

It was moved and seconded

That the agenda dated September 26, 2017 be adopted.

CARRIED

3. MINUTES APPROVAL

R17-014

It was moved and seconded

That the minutes dated July 25, 2017 be approved.

CARRIED

4. DELEGATIONS

4.1 Local Creek Naming Opportunity - Rodney Stott, Environmental Advisory Committee Staff Liaison

The Environmental Planner 2 shared information on current projects of both the Environmental Advisory Committee and the Environmental Planning Department. The Environmental Planner 2 outlined the opportunity for the Public Art Steering Committee and the Environmental Advisory Committee to work together on a local creek naming project. The goal is to get the community involved in attaching meaning to local creeks through naming and signage. Participants could include the Kwantlen and Katzie First Nations, schools, neighbourhood associations and community organizations. There is an opportunity for art to be incorporated into the signage. Examples of signage and programs in other locations were shared.

Note: Don Luxton and Councillor Robson entered at 3:14 pm. Rodney Stott left the meeting at 3:45 pm.

4.2 Leisure Centre Renovations Opportunity - Christa Balatti, Recreation Manager Health & Wellness

The Recreation Manager Health & Wellness shared information on the planned renovations for the Leisure Centre and on the opportunity for an integrated public art to be incorporated into the plans. Potential locations for public art at the Leisure Centre were shared.

Note: Councillor Robson left the meeting at 3:56 pm and reentered at 4:06 pm.

5. QUESTION PERIOD – Nil

6. NEW & UNFINISHED BUSINESS

6.1 Canada 150 Update

The Staff Liaison shared details of the Modern Legends exhibition currently on at the ACT Arts Centre. Upcoming C150 events are Culture Days (September 29, 30 October 1) and Celebrate the Night (October 28).

6.2 Cultural Plan Update

The Staff Liaison provided an update on the development of the Cultural Plan. The next Task Force meeting is coming up on October 3. Staff are currently discussing the Cultural Plan with the Kwantlen and Katzie First Nations. An opportunity for the public to provide feedback on the Cultural Plan is coming up on November 23.

6.3 Business Plan 2018

The Staff Liaison reported the Public Art Steering Committee 2018 Business Plan will focus on the number of public art commissions to be undertaken in 2018 and the completion of the Developer Public Art Guidelines. The Developer Public Art Guidelines subcommittee will meet again this fall to finalize the voluntary guidelines. Projects to be commissioned and installed in 2018 were discussed – GMYC, Leisure Centre. There is also an opportunity to participate in the Albion Community Centre project in the future (timeline still to be established).

R17-015

It was moved and seconded

That an integrated public artwork be installed in the Leisure Centre renovation project and be added to the 2018 Public Art Steering Committee Business Plan.

CARRIED

6.4 Advisory Committees Update

The Committee Clerk provided a reminder of the Advisory Committee recruitment process and the Intersections event coming up on October 30.

7. ROUNDTABLE

Wan-Yi Lin – visited and enjoyed the Fraser Valley Regional Exhibition in Aldergrove recently. Ms. Lin is currently participating in a group show in North Carolina.

Leanne Koehn - attended Artist in Residence Robi Smith's River Stories event on September 22. Ms. Koehn encouraged members to attend this magical evening event happening again on September 29.

The Staff Liaison was able to visit the “Uninterrupted” public cinematic art project by Nettie Wild under the Cambie Street Bridge. This immersive experience was viewed by thousands of participants. Scotland has been chosen as a Cultural Destination of the year.

Don Luxton – reported on Haney House renovations currently underway. A lot of original material and archival material have been discovered.

Don Miskiman – shared that he has created a manuscript on the subject of the effect of buildings on people. Mr. Miskiman is an instructor at the University of the Fraser Valley and is currently teaching a course on place making.

Barbara Duncan – Modern Legends continues to October 28. Brandon Gabriel will be doing an artist talk and more programming during Culture Days. Ms. Duncan reminded the group of the call out to artists for the annual Ensemble show and the deadline is October 16.

Wayne Bissky – visited the Monet exhibit in Vancouver. Mr. Bissky recently attended a conference that focused on public art as placemaking. Animated movie “Loving Vincent” on Vincent van Gogh is currently showing in Vancouver at part of VIFF.

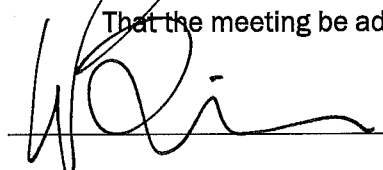
Maple Ridge Festival BC Films is coming up.

Next meeting date will be determined for early November (previously scheduled meeting date will not work).

8. ADJOURNMENT

It was moved and seconded

That the meeting be adjourned at 4:47 pm.


Chair

/ss

City of Maple Ridge
PUBLIC ART STEERING COMMITTEE MEETING MINUTES

The Minutes of the Regular Meeting of the Public Art Steering Committee, held in the Blaney Room, at Maple Ridge City Hall, 11995 Haney Place, Maple Ridge, British Columbia, on Tuesday, November 28 2017 at 3:00 p.m.

COMMITTEE MEMBERS PRESENT

Barbara Duncan	Arts Council Representative / Curator, ACT Art Gallery
Don Miskiman	Community at Large Member
Wan-Yi Lin	Artist
Councillor Duncan	City of Maple Ridge

STAFF MEMBERS PRESENT

Renee Moffatt	Committee Clerk
Yvonne Chui	Manager, Arts and Community Connections

REGRETS/ABSENTS

Donald Luxton	Cultural Resource Management Consultant
Councillor Robson	City of Maple Ridge – Alternate Council Liaison
Wayne Bissky, Chair	Architect
Leanne Koehn, Vice-Chair	Community at Large Member

1. WELCOME AND INTRODUCTIONS

There being a quorum present the Staff Liaison called the meeting to order at 3:11 pm.

2. AGENDA ADOPTION

That the agenda dated November 28, 2017 be adopted.

3. MINUTES APPROVAL

That the minutes dated September 26, 2017 be approved.

4. DELEGATIONS

5. QUESTION PERIOD – Nil

6. NEW & UNFINISHED BUSINESS

6.1 Canada 150 Update

The Staff Liaison reported that Canada 150 is finished and that she has submitted the final report. The Staff Liaison wanted to thank all that were involved in the Canada

150 events and recognized that great partnership with other community partners such as the Arts Council, Heritage Commission and civic departments.

6.2 Merkley Park/Katrina LeBlanc Opportunity – ratify motion voted by email

R017-016

It was moved and seconded

That a new public artwork be commissioned for the field renovations at Merkley Park/Katrina LeBlanc Field and be added to the 2017-2018 Public Art Steering Committee Business Plan.

CARRIED

The Staff Liaison provided information and previous public art work done by Mia Weinberg and Glen Anderson, the two artists proposed for the Markley Park/Katrina LeBlanc Field. The Committee discussed the location where the public art would be located and approved the budget.

R017-017

It was moved and seconded

To award the commission to Glen Anderson for the Merkley Park/Katrina LeBlanc Field.

CARRIED

6.3 Leisure Centre Renovation Opportunity Update

The Staff Liaison provided an update on the Leisure Center renovations - the closure has been pushed back to later February, early March. Further discussion on budget, site options, size and parameters to take place at the next meeting, in addition to the draft of the call. An adjudication subcommittee will be struck in the near future as per guidelines and procedures for both the Leisure Centre and Greg Moore Youth Centre public art commissions.

6.4 Business Plan 2018 Projects and timeline

The Staff Liaison informed the Committee that Council has approved the public art locations to go forward in 2018/2019 – Leisure Centre, Merkley Park/LeBlanc Field, GMYC. The Committee will work on the possibility of adding public art projects for new proposed facilities such as the Albion Community Centre, new parks and fields and arena expansion. It may need to go to Council for additional support pending the outcome of the alternative approval process and Council direction.

6.5 Creative City Conference – Halifax Learning

The Staff Liaison expressed thanks to the Committee for allowing her to attend this year's Creative City Conference and encourages Committee members to check the online documents and videos from the conference. The Staff Liaison informed the Committee that she hopes to be attending next year's Creative City Conference in Mississauga. She will be on the Creative City board representing BC and on the conference planning committee.

7. ROUNDTABLE

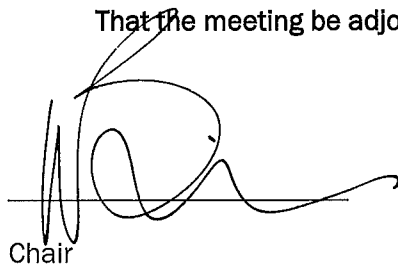
Wan-Yi Lin – Discussed the Neighbourhood Book Exchange program that is located in Albion on 102nd Avenue. She would like to see more of these book exchange or art exchange programs in Maple Ridge.

Barbara Duncan – Reminder that Thornhill Artisan Fair is on December 2nd and 3rd, 2017 and in January local artist Roger Luko is having a solo exhibition at the ACT.

8. ADJOURNMENT

It was moved and seconded

That the meeting be adjourned at 4:37pm.

A handwritten signature in black ink, consisting of a large, stylized 'W' followed by a series of loops and a long horizontal stroke extending to the right. The signature is written over a horizontal line.

Chair

/rm

1000 Bylaws

**CITY OF MAPLE RIDGE
BYLAW NO. 7429-2018**

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7429-2018."
2. That parcel or tract of land and premises known and described as:

West 100 feet Lot 3 District Lot 248 Group 1 New Westminster District Plan 7499

and outlined in heavy black line on Map No. 1748 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to R-1 (Residential District).
3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 13th day of February, 2018.

READ a second time the 13th day of February, 2018.

PUBLIC HEARING held the 13th day of March, 2018.

READ a third time the _____ day of _____, 20_____

APPROVED by the Ministry of Transportation and Infrastructure this day of
 , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: **Final Reading:**
Zone Amending Bylaw No. 7239-2016
24240 125 Avenue

MEETING DATE: March 13, 2018
FILE NO: 2016-066-RZ
MEETING: COUNCIL

EXECUTIVE SUMMARY:

Bylaw No. 7239-2016 has been considered by Council and at Public Hearing and subsequently was granted Third Reading. The applicant has requested that Final Reading be granted. The purpose of the rezoning application was to rezone the property from RS-3 (One Family Rural Residential) to RS-2 (One Family Suburban Residential) to permit subdivision into two lots not less than 0.80 ha.

RECOMMENDATION:

That Zone Amending Bylaw No. 7239-2016 be adopted.

DISCUSSION:

a) Background Context:

Council considered this rezoning application at a Public Hearing held on October 17, 2017. On October 24, 2017 Council granted Third Reading to Zone Amending Bylaw No. 7239-2016 with the stipulation that the following conditions be addressed:

- 1) Registration of a Restrictive Covenant for the Storm Water Management Plan requirements, Tree management, as well as Hillside Protection as identified by staff;
- 2) Removal of existing buildings and decommissioning as well as, reclamation of on site septic system;
- 3) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

The following applies to the above:

1. The City has received a Letter of Undertaking from the applicant's lawyer that the covenants for Storm Water Management Plan requirements, Tree management as well as, Hillside Protection will be registered upon the adoption of the bylaw.

2. The septic system was disconnected when the Academy Park Local Areas Service for sanitary sewer was installed.
3. The applicant submitted a Phase 1 Environmental Site Investigation report prepared by Keith H. Gagné, B.A.Sc., P.Eng of PGL Environmental Consultants dated October 2017 on which PGL inspected the Site for evidence of underground or above storage tanks (USTs/ASRs) and none were indicated in the report as found on the subject property.

CONCLUSION:

As the applicant has met Council's conditions, it is recommended that Final Reading be given to Zone Amending Bylaw No. 7239-2016.

"Original signed by Wendy Cooper"

Prepared by: Wendy Cooper, MCIP, RPP
Senior Planning Technician

"Original signed by Christine Carter"

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

"Original signed by Frank Quinn"

Approved by: Frank Quinn, MBA, P.Eng
GM: Public Works & Development Services

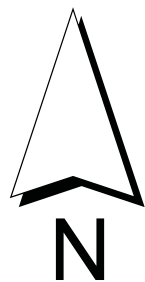
"Original signed by Paul Gill"

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map

Appendix B – Bylaw No. 7239-2016



Scale: 1:2,500

Legend

- Stream
- Indefinite Creek
- River Centreline
- Major Rivers & Lakes

24240 125 Avenue
2011 Image

PLANNING DEPARTMENT



mapleridge.ca

2016-066-RZ
DATE: Mar 10, 2016

BY: JV

CITY OF MAPLE RIDGE

BYLAW NO. 7239-2016

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7239-2016."

2. That parcel or tract of land and premises known and described as:

Lot 56 Section 22 Township 12 New Westminster District Plan 43885

and outlined in heavy black line on Map No. 1673 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RS-2 (One Family Suburban Residential).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 26th day of April, 2016.

READ a second time the 19th day of September, 2017.

PUBLIC HEARING held the 17th day of October, 2017.

READ a third time the 24th day of October, 2017.

ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7239-2016

Map No. 1673

From: RS-3 (One Family Rural Residential)

To: RS-2 (One Family Suburban Residential)



SCALE 1:2,500

**CITY OF MAPLE RIDGE
BYLAW NO. 7347-2017**

A Bylaw to authorize the City of Maple Ridge to enter into a Housing Agreement for
11893 227 Street; 11865 227 Street; 22638 119 Avenue and 22633 Selkirk Avenue.

WHEREAS, pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, c. 1, as amended, Council may, by bylaw, enter into a housing agreement under that Section.

AND WHEREAS, the Municipal Council of the City of Maple Ridge, and Falcon Village Development Ltd. (BC1106837) wishes to enter into a Housing Agreement for the subject properties at 11893 227 Street; 11865 227 Street; 22638 119 Avenue and 22633 Selkirk Avenue;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, in open meeting assembled, **ENACTS AS FOLLOWS**:

1. This Bylaw may be cited as “11893 – 227 Street; 11865 – 227 Street; 22638 – 119 Avenue and 22633 Selkirk Avenue Housing Agreement Bylaw No. 7347-2017”.
2. By this Bylaw Council authorizes the City to enter into a Housing Agreement in the form attached to this Bylaw as Schedule “A” with Falcon Village Development Ltd. (BC1106837) and The City of Maple Ridge, in respect of the following lands:

Lot 1 District Lot 401 Group 1 New Westminster District Plan EPP65496
Lot 2 District Lot 401 Group 1 New Westminster District Plan EPP65496
Lot 3 District Lot 401 Group 1 New Westminster District Plan EPP65496 and
Lot 4 District Lot 401 Group 1 New Westminster District Plan EPP65496,
3. The Mayor and Corporate Officer are authorized to execute the Housing Agreement and all incidental instruments on behalf of the City of Maple Ridge and the Corporate Officer is authorized to sign and file in the Land Title Office notice of the Housing Agreement, as required by the *Local Government Act*.
4. Schedule A, attached to this Bylaw, is incorporated into and forms part of this Bylaw.
5. This Bylaw shall take effect as of the date of adoption hereof.

READ a first time the 16th day of January, 2018

READ a second time the 16th day of January, 2018

READ a third time the 16th day of January, 2018

ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

1003

1100 *Reports and Recommendations*

City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: First Reading
Zone Amending Bylaw No. 7442-2018
23084 and 23100 Lougheed Highway

MEETING DATE: March 13, 2018
FILE NO: 2017-390-RZ
MEETING: Council

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential) for a townhouse development with approximately 32 units in six (6) buildings. All the units propose to have a combination of 31% side-by-side and 69% tandem parking garages (with no aprons between the garage entrance and the drive aisles), which adheres to current practices. To proceed further with this application additional information is required as outlined below.

This project will be subject to the Community Amenity Contribution Policy involving a voluntary contribution of \$4,100 per unit for a total contribution of \$131,300.

RECOMMENDATIONS:

In respect of Section 475 of the *Local Government Act*, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:

- i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
- ii. The Board of any Regional District that is adjacent to the area covered by the plan;
- iii. The Council of any municipality that is adjacent to the area covered by the plan;
- iv. First Nations;
- v. Boards of Education, Greater Boards and Improvements District Boards; and
- vi. The Provincial and Federal Governments and their agencies.

and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment, and;

That Zone Amending Bylaw No. 7442-2018 be given first reading; and

That the applicant provide further information as described on Schedules A, C, E, F and G of the Development Procedures Bylaw No. 5879-1999, along with the information required in the report dated February 23, 2018.

DISCUSSION:

a) Background Context:

Applicant:	Concost Management Inc
Legal Description:	Parcel "One" (Explanitory Plan 10002) of Parcel "K" District Lot 403 Group 1 NWD Except: Part on Statutory Right of Way Plan 71204; and Lot 1 Except: Part on Statutory Right of Way Plan 71204 District Lot 403 Group 1 NWD Plan 7720
OCP:	
Existing:	Conservation and Urban Residential
Proposed:	Conservation and Medium Density Multi-Family
Zoning:	
Existing:	RS-3 (One Family Rural Residential)
Proposed:	RM-4 (Multiple Family Residential)
Surrounding Uses:	
South:	Use: Residential Zone: RM-1 (Townhouse Residential) RS-3 (One Family Rural Residential)
North & East:	Designation: Urban Residential and Conservation Use: Residential and vacant Zone: RM-1 (Townhouse Residential) and RS-3 (One Family Rural Residential) subject to 2015-297-RZ for a single family residential subdivision
West:	Designation: Urban Residential and Conservation Use: Vacant Zone: RS-3 (One Family Rural Residential) subject to 2015-297-RZ for a Townhouse and a commercial/Rental Apartment building across Morley Creek Designation: Urban Residential and Conservation proposed Urban Residential, Commercial and Conservation
Existing Use of Property:	Vacant
Proposed Use of Property:	Townhouse
Site Area:	1.125 HA. (2.8 acres)
Access:	Lougheed Highway (restricted right in and right out)
Servicing requirement:	Urban Standard

b) Site Characteristics:

The site consists of two lots forming a triangle-shaped development site with a total of 0.125 HA (2.8 acres) before road and park dedication. The portion of the site closest to Lougheed Highway is developable, but much of the western portion has significant slopes in the vicinity of Morley Creek. The site generally flat and sloping gently southwards, except for steep slopes along the west and a ponding area along a short portion of the Lougheed Highway in the north. The site contains trees many of which are in the environmentally sensitive area proposed to be conserved. A tree management plan will be required.

c) Project Description:

The proposal is for approximately 32 townhouses in six (6) buildings. A total of 10 of the 32 units will have two (2) side-by-side garage parking spaces and 22 will have two (2) tandem parking spaces. The units facing Loughheed Highway will be designed to front on the highway and front yards with pedestrian access to the sidewalk along Loughheed Highway. A narrow band of bio-swales and bio-filtration ponds, integrated with site landscaping, will run north-south behind the western townhouses. About five (5) visitor parking spaces and a central mail kiosk are proposed. Vehicle access will be right turn in and right turn out on Loughheed Highway.

At this time the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and a further report will be required prior to Second Reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and Bylaw particulars, and may require application for further development permits.

d) Planning Analysis:

Official Community Plan:

For the proposed development an OCP amendment will be required to reflect ground-truthing for the Conservation designation boundary. The existing Urban Residential designation accommodates the proposed development and the proposed RM-4 (Multiple Family Residential) zoning.

Policy 3-18 in the OCP categorises residential development as having either Neighbourhood Residential Character or Major Corridor Residential Character. This site is located on Loughheed Highway, which is a Major Transportation Corridor. Consequently, the project's character is subject to the latter of the two categories in accordance with Policies 3-19, 3-20 and 3-21 respecting Major Corridor Residential Infill. The main applicable aspects of these policies include:

- *Neighbourhood Residential infill must be designed to be compatible with the surrounding neighbourhood*

The subject site abuts an older townhouse development to the south and across Loughheed Highway. Also across Loughheed Highway and to the northeast a single residential subdivision by Polygon / Morningstar (2015-0269-RZ) at the rezoning stage. Across a ravine and creek system to the west is the southern portion of the Polygon site, where additional townhousing and a small commercial mixed use building is proposed.

Among the criteria are:

- *A maximum height of two and one-half storeys with an emphasis on ground oriented units* – Though still in the conceptual stage, the units will be ground oriented and be either 2 ½ or 3 storeys in height.
- *Compatibility between building massing and the type of dwelling units in the proposed development and the surrounding residential properties* - The proposed use of the subject site, though somewhat isolated by the ravine and Loughheed Highway, is contextually compatible with the surrounding existing or proposed uses.
- *Street orientation* – The units on Loughheed Highway will be required to have a front yard and pedestrian access from each townhouse to the sidewalk along Loughheed Highway. This would be similar to the design of the closest RM-4 zoned development along the

Lougheed Highway but addressed off Telosky Avenue (22865 Telosky Avenue) located a short distance to the north and across from Telosky Stadium. Compliance with the criteria will be secured through Development Permit approval later in the application review process.

- *Retention and preservation of significant trees, other natural vegetation, and environmental features* – This criteria is being achieved through: trees being retained in the ravine being dedicated for conservation, the way the townhouse buildings closest to the ravine are proposed to be arranged and the bio-filtration area proposed to be located as a buffer between the townhouse buildings and conservation area.

Citywide Community Amenity Program:

The City-wide Community Amenity (CAC) Program approved by Council on March 14, 2016 and amended on December 14, 2017, applies to this project. A voluntary contribution of \$4,100 per townhouse unit totalling \$131,300 is required for this project before final reading.

Zoning Bylaw:

The current application proposes to rezone the properties located at 23084 and 23100 Lougheed Highway from RS-3 (One Family Rural Residential) to RM-4 (Multiple Family Residential) to permit approximately 32 townhouses. Any variations from the requirements of the proposed zone will require a Development Variance Permit application.

The subject site is constrained by the steep slope and watercourse along the western part of the subject site. Though further details will be required to more fully assess this project, the developer has responded by:

- The RM-1 townhouse zone allows a density (FSR) of 0.6, which does not work due to site constraints for this project. The two options are: (1) to proceed with the RM-1 Zone with a bonus density to achieve a 0.75 FSR; or (2) to proceed with the RM-4 Zone which allows a density 0.75. To achieve a more focused and compact development, the higher density was deemed justified and proceeding under the RM-4 Zone simplifies the process. This approach would be consistent with the existing zoning of a property further north facing Lougheed Highway and addressed off Telosky Avenue (22865 Telosky Avenue).

In February, Council directed staff to explore density bonusing as a means of exceeding density in exchanged for affordable, rental or seniors housing or cash in lieu.

The project can be deemed to constitute an increase in density of 0.15 FSR over the typical townhouse zoning. As per OCP Policy 3.30, Council may desire that this be treated as a bonus density situation, thus requiring the applicant to voluntarily incorporate affordable, rental or seniors housing and/or to make a cash in-lieu contribution similar to the Albion approach. In Albion, if the RM-1 Zone 0.60 FSR is exceeded to achieve a maximum of a 0.75 FSR, an amenity contribution of \$3,100 per unit applies. The proposed density on the subject site mirrors the Albion density bonus zoning regulation.

- Achieving the typical 30%/70% ratio of side-by-side to tandem parking, but without the usual driveway apron between the garage and the drive aisle. The triangular shape of the development site and the difficult environmental constraints posed by the site are the main reasons for prompting this exception. Council is requested to indicate their desire about whether or not the proposed apron exception is acceptable.

In addition, the applicant will be seeking variances for height and setbacks as follows:

- Setback variances are being proposed, in part to safeguard tree or root systems and accommodate geotechnical requirements. The variances tentatively include: yet unspecified front relaxations, units closest to the future west lot line from 7.5 to a combination of 6.0, 1.6 and 1.5 depending on the proximity of the units to the western bio-wale.
- A height variance is being proposed to allow the main floor to have a 10 foot ceiling height. The variance is to increase the maximum permitted building height from 11.0 metres to 11.7 metres.

Development Permits:

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

The design is to incorporate elevations facing Lougheed Highway that create an attractive streetscape and front yards with strong pedestrian environments for each townhouse. The development permit landscaping plan is to integrate the proposed storm water management plan.

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated Conservation on Schedule “B” or all areas within 50 metres of an area designated Conservation on Schedule “B”, or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 %;
- All floodplain areas and forest lands identified on Natural Features Schedule “C”

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

The Watercourse Protection and the Natural Features Development Permit will be issued as a single permit.

Advisory Design Panel:

A Multi-Family Development Permit is required and must be reviewed by the Advisory Design Panel prior to Second Reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to Second Reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after First Reading, comments and input, will be sought from the various internal departments and external agencies listed below:

- a) Engineering Department;
- b) Operations Department;
- c) Fire Department;
- d) Building Department;
- e) Parks Department;
- f) School District;
- g) Utility companies;
- h) Ministry of Transportation and Infrastructure;
- i) Fisheries & Oceans Canada;
- j) Ministry of Environment; and
- k) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing requirements has not been undertaken. We anticipate that this evaluation will take place between First and Second Reading.

f) Early and Ongoing Consultation:

In respect of Section 475 of the *Local Government Act* for consultation during an Official Community Plan amendment, it is recommended that no additional consultation is required beyond the early posting of the proposed OCP amendments on the City's website, together with an invitation to the public to comment.

g) Development Applications:

In order for this application to proceed the following information must be provided, as required by Development Procedures Bylaw No. 5879-1999 as amended:

1. An OCP Application (Schedule A);
2. A complete Rezoning Application (Schedule C);
3. A Multi-Family Residential Development Permit Application (Schedule D);
4. A Development Variance Permit (Schedule E);
5. A Watercourse Protection Development Permit Application (Schedule F); and
6. A Natural Features Development Permit Application (Schedule G);

In addition, the full submission is to include: details about stormwater management and its integration into the development permit landscaping plans; to develop a design with elevations to Loughheed Highway that create an attractive streetscape and front yards with strong pedestrian environments for each townhouse; and addressing any comments from Council tandem parking aprons.

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

Subject to ground-truthing for the Conservation designation, apart from no aprons associate with the units having tandem parking arrangement to be decided by Council, the development proposal is in compliance with the OCP. Therefore, it is recommended that Council grant First Reading subject to additional information as outlined in Section g) above being provided and assessed prior to Second Reading.

“Original signed by Adrian Kopystynski”

Prepared by: Adrian Kopystynski MCIP, RPP, MCAHP
Planner

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

“Original signed by Frank Quinn”

Approved by: Frank Quinn, MBA, P. Eng
GM: Public Works & Development Services

“Original signed by Paul Gill”

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

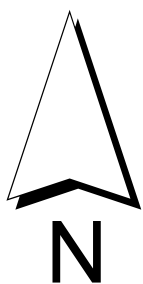
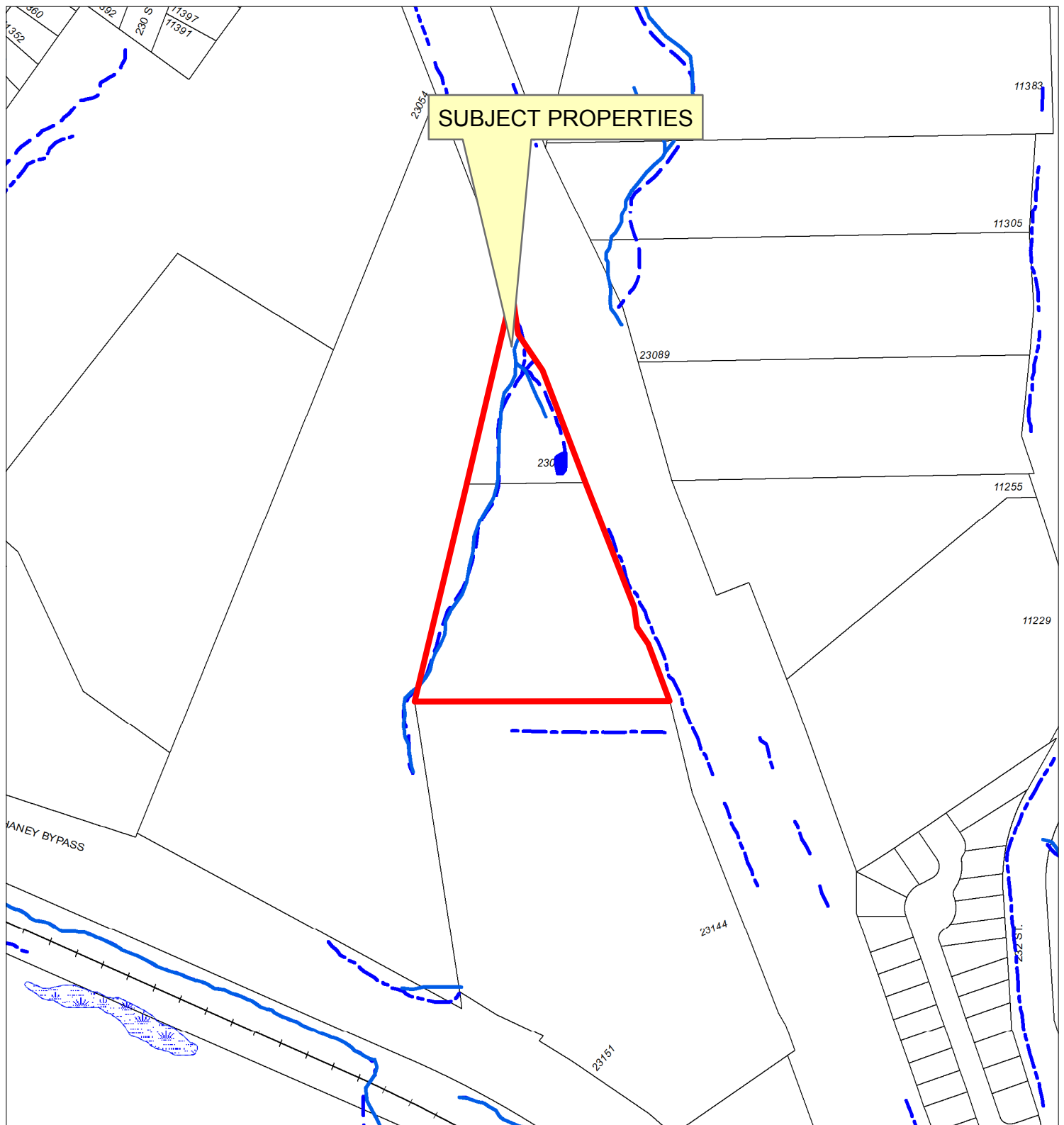
The following appendices are attached hereto:

Appendix A – Subject Map

Appendix B – Ortho Map

Appendix C – Zone Amending Bylaw No. 7442-2018

Appendix D – Proposed Site Plan



Scale: 1:2,500

Legend

- Stream
- - - Indefinite Creek
- River
- Major Rivers & Lakes

23084/23100 Lougheed Highway

PLANNING DEPARTMENT



MAPLE RIDGE

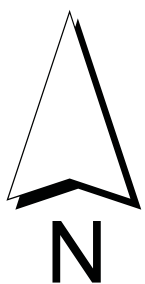
British Columbia

mapleridge.ca

2017-390-RZ


DATE: Sep 8, 2017

BY: JV



Scale: 1:2,500

Legend

-  Stream
-  Indefinite Creek
-  River
-  Major Rivers & Lakes

23084/23100 Lougheed Highway

PLANNING DEPARTMENT



MAPLE RIDGE

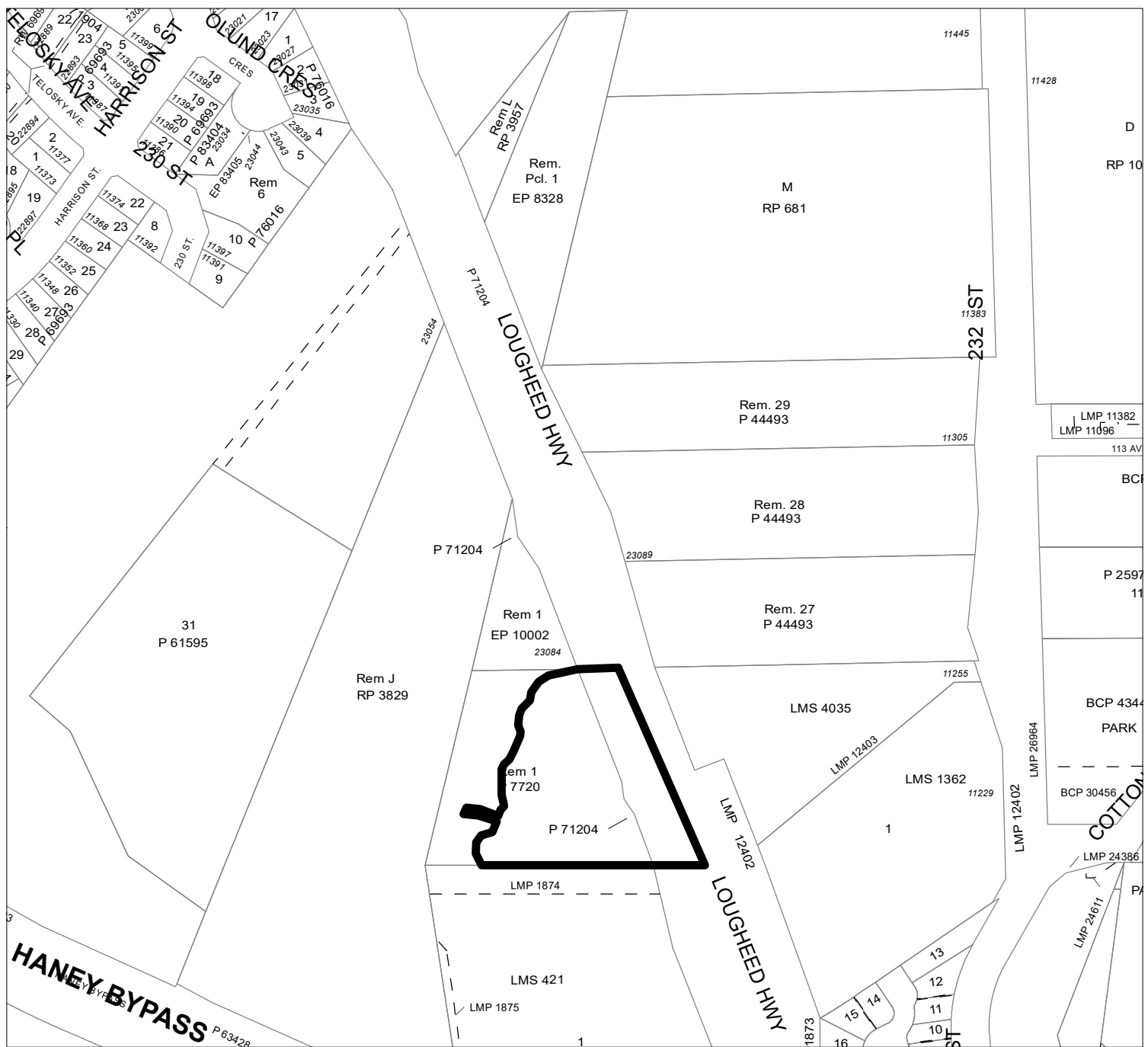
British Columbia

mapleridge.ca

2017-390-RZ
DATE: Sep 8, 2017

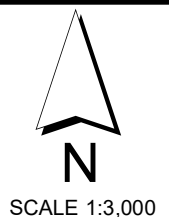
BY: JV

CORPORATE OFFICER

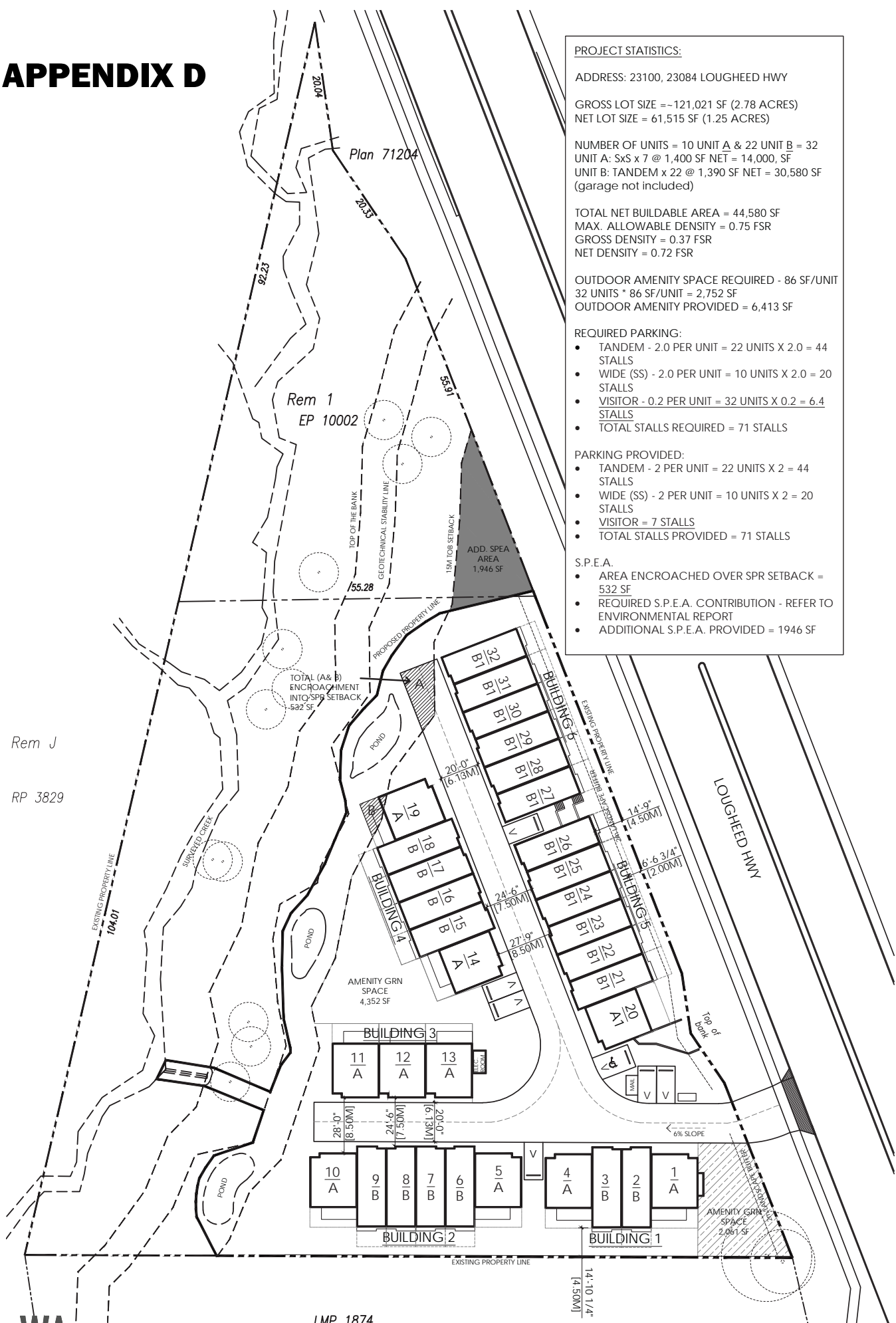


MAPLE RIDGE ZONE AMENDING

Bylaw No. 7442-2018
Map No. 1753
From: RS-3 (One Family Rural Residential)
To: RM-4 (Multiple Family Residential)



APPENDIX D



City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: First Reading
Zone Amending Bylaw No. 7420-2018
11575, 11587 223 Street and 22300 River Road

MEETING DATE: March 13, 2018
FILE NO: 2017-573-RZ
MEETING: Council

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties, located at 11575 and 11587 223 Street and PID 011-537-141 (22300 River Road), from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment Residential) to allow future construction of a five storey residential building with approximately 36 units. The current application would typically require a height variance to the RM-2 (Medium Density Apartment) zone to allow five storey's; however, at the February 6, 2018 Council Workshop, the report titled '*Rental Housing Program: Rental Options for New Development*' was considered and Council directed staff to explore density bonusing in exchange for secured rental units, affordable rental units, and or a cash-in lieu contribution. The property located at 22300 River Road is currently owned by the City; however, once rezoning has occurred, the developer will purchase the City property to be included as part of the development. To proceed further with this application additional information is required as outlined below.

As per Council Policy 6.31, which was updated December 12, 2017 to remove the Community Amenity Contribution (CAC) Program exemption for properties situated within the Town Centre Area Plan boundaries, a CAC charge of approximately \$111,600.00 applies to this proposed development (\$3,100 per unit for apartment dwellings).

RECOMMENDATIONS:

That Zone Amending Bylaw No. 7420-2018 be given first reading; and

That the applicant provide further information as described on Schedules C, D and E of the Development Procedures Bylaw No. 5879-1999.

DISCUSSION:

a) Background Context:

Applicant: Sunnyville Project 223rd Ltd.

Legal Description: Lot 7 Block 1 District Lot 398 Group 1 New Westminster District Plan 155
Lot 14 Block 1 District Lot 398 Group 1 New Westminster District Plan 155
Lot 15 Block 1 District Lot 398 Group 1 New Westminster District Plan 155

OCP:

Existing:	Low-Rise Apartment
Proposed:	Low-Rise Apartment

Zoning:

Existing:	RS-1 (One Family Urban Residential)
Proposed:	RM-2 (Medium Density Apartment Residential)

Surrounding Uses:

North:	Use:	Duplex and St. Andrew's Heritage Church
	Zone:	RT-1 (Two Family Urban Residential) and H-1 (Heritage Commercial)
	Designation:	Port Haney Heritage Adaptive Use
South:	Use:	Railway and Port Haney West Coast Express Station
	Zone:	RS-3 (One Family Rural Residential), RS-1 (One Family Urban Residential) and M-2 (General Industrial)
	Designation:	Park
East:	Use:	Apartment
	Zone:	CRM (Commercial/Residential)
	Designation:	Port Haney Multi-Family, Commercial & Mixed-Use
West:	Use:	Multi-Family (Townhouse)
	Zone:	RM-1 (Townhouse Residential)
	Designation:	Low-Rise Apartment

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Multi-Family Residential
Site Area:	2,262 m ² (0.56 acres)
Access:	223 Street
Servicing requirement:	Urban Standard

b) Site Characteristics:

The subject properties, located at 11575 and 11587 223 Street and 22300 River Road, are located south of 116 Avenue, west of 223 Street and north of River Road. Consolidation of the subject properties will be a condition of final reading and combined the three lots have a total area of 2,262 m² (0.56 acres). The lots located at 11575 and 11587 223 Street both have existing structures that will require removal as part of rezoning conditions, while the lot located at 22300 River Road is currently vacant. The development site's elevation descends from north to south towards the Fraser River; however, most of the transition occurs on slopes on the northern and southern sections of the site. The central section of the development site is relatively flat. There are trees located around the perimeter of all three properties, as well as lawn and shrubs located throughout the remainder of the development site. There are a row of three heritage houses adjacent to the subject property on the north side of 116 Avenue and the Port Haney West Coast Express Station is located across the street on the south side of River Road.

c) Project Description:

The current application proposes to rezone the subject properties from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment) to permit the construction of a five storey apartment building consisting of 36 units. The proposed building will consist of a concrete base and wood frame construction with a mix of one, two and three bedroom units. Residential parking will be located underground and will be accessed from 223 Street with visitor parking located at grade. The main pedestrian entrance, loading area and some on-street parking is proposed along 223 Street. Due to grade changes sloping north to south, the building will appear to be a four storey apartment from 116 Avenue and a five storey apartment from River Road. The top floor will be recessed to provide a visual break in the massing, further allowing for larger open space and patio areas for top floor units.

The property located at 22300 River Road is currently owned by the City; however, once rezoning has occurred, the developer will purchase the City property to be included as part of the development. The City property is 677 m² in size and on its own has little development potential, due to the amount of dedication required to achieve current road standards. Council will be consulted on the appraisal of the City-owned property and will be required to authorize the sale.

At this time the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and a further report will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and Bylaw particulars, and may require application for further development permits.

d) Planning Analysis:

Official Community Plan:

The development site is located within the Port Haney and Waterfront Precinct of the Town Centre Area Plan. This precinct is an important transportation link between the Central Business District, the Fraser River Waterfront, the West Coast Express Station and east Maple Ridge via the Haney Bypass. Port Haney's historic roots, heritage character, waterfront access, green space, and river and mountain views are a treasured part of the precinct that should be enhanced through any new development.

The subject property is designated as *Low-Rise Apartment*, and stated in Policy 3-22: "*is intended for development in a three (3) to five (5) storey apartment form where units are accessed from an internal corridor and residential parking is provided underground.*" An OCP amendment is not required to support the proposed project.

The following policies apply to this proposal:

Town Centre Area Plan

3-1 An increase in residential and commercial density is encouraged in the Town Centre [...] Land-use should include a mix of housing types catering to various demographics, including affordable and special needs housing, within walking distance to a broad mixture of uses, including shops, services, cultural facilities, and recreation.

This project increases the residential density by introducing up to thirty-six (36) units, including four (4) one-bedroom units, twenty (20) two-bedroom units and twelve (12) three-bedroom units. The subject site is located within walking distance to a range of shops, services, the Westcoast Express and the Fraser River Waterfront.

3-11 Viewscape studies may be required for proposed buildings greater than three (3) storeys in height, where views may be impacted [...] to the Fraser River to the south. Important viewscales have been identified along 224 Street, within Port Haney, and the south slopes of the Town Centre on 116th and on 227th. In locations where it is deemed that key viewscales will be impacted, an increase in density, or the proposed form, may not be supported.

This project's five storey height, in addition to the development site's moderate slope, will affect viewscales south to the Fraser River. The applicant will be asked to provide a viewscape study for the properties located north of the subject site.

3-12 High density development that is four or more storeys in height may be required to include a shadow study in consideration of adjacent sites to address potential impacts on available daylight.

This project will potentially have shadow impacts on the adjacent properties to the north and east of the site. The applicant will be asked to provide a shadow study.

3-13 Maple Ridge encourages noise and vibration abatement measures for all buildings within 75 metres of the nearest railway track [...]

The applicant will be required to assess the noise and vibration levels at the site and provide recommendations for design measures to mitigate levels to acceptable standards recommended by the Canada Mortgage and Housing Corporation Guidelines.

In addition to these policies, a range of environmentally sustainable policies in the Town Centre Area Plan would also apply to this application:

2-5 Incorporating Rainwater Management practices into on-site and off-site development will be encouraged [...]. Some examples of Rainwater Management practices include:

- *bioretention areas;*
- *rainwater gardens;*
- *bioswales;*
- *landscaped curb bulges on street right-of-ways;*
- *rainwater harvest for irrigation; and*
- *green roofs.*

2-9 The use of plant and tree species that are suited for Maple Ridge climate and that will attract local songbirds and pollinating insects species [...] will be encouraged in public and private development;

2-10 Landscaping, as described in policy 2-9 above, will be encouraged in all public and private outdoor spaces in the Town Centre. For areas with a large amount of paved surfaces, such as surface parking lots and public plazas, the installation of trees, rain gardens, raised planters, and/or living green walls, where feasible, is encouraged to provide some areas of refuge for wildlife, such as small birds, rainwater interception, cooling in summer months,

reduced glare from pavement, carbon sequestration, and a more attractive urban environment.

The applicant will be required to provide some of these measures as part of the development.

Housing Action Plan:

The City's Housing Action Plan (HAP) was endorsed by Council in 2014. It seeks to increase access to *"safe, affordable, and appropriate housing that meets the diverse and changing needs of the community"*. The HAP also speaks of the need to provide a range of non-market, affordable and special needs housing. This was reaffirmed with the endorsement of the Housing Action Plan Implementation Framework in September, 2015. The subject application does provide a mix of unit size, including one (1), two (2), and three (3) bedroom units; however, the applicant has indicated they are not interested in providing any dedicated rental, affordable, or special needs housing.

Citywide Community Amenity Program:

The City-wide Community Amenity (CAC) Program approved by Council on March 14, 2016 and amended on December 14, 2017, applies to this project. A voluntary contribution of \$3,100 per apartment unit, totalling \$111,600, is required for this project before final reading.

Zoning Bylaw:

The current application proposes to rezone the subject properties located at 11575 and 11587 223 Street and 22300 River Road from RS-1 (One Family Urban Residential) to RM-2 (Medium Density Apartment) to permit the construction of a five storey apartment building. The current application would typically require a height variance to the RM-2 (Medium Density Apartment) zone to allow five storey's (currently only four storey's permitted). However, at the February 6, 2018 Council Workshop, the report titled '*Rental Housing Program: Rental Options for New Development*' was considered and Council directed staff to explore density bonusing in exchange for secured rental units, affordable rental units, and or a cash-in lieu contribution. Cash-in-lieu, for the subject application, could be allocated to a reserve fund. Council is requested to indicate if the subject application would meet the criteria set out in the above mentioned Council Workshop report for density bonusing, in the form of a fifth storey, or whether the Development Variance Permit process will suffice for the extra storey.

Reductions to setbacks are also being requested and will be evaluated in the context of the Port Haney and Waterfront Precinct Development Permit Guidelines. Any variations from the requirements of the proposed zone will be detailed in the second reading report and require a Development Variance Permit application.

Development Permits:

Pursuant to Section 8.11 of the OCP, a Town Centre Development Permit for the Port Haney and Waterfront Precinct is required for this development.

Advisory Design Panel:

A Town Centre Development Permit is required and must be reviewed by the Advisory Design Panel prior to second reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to second reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after first reading, comments and input, will be sought from the various internal departments and external agencies listed below:

- a) Engineering Department;
- b) Operations Department;
- c) Fire Department;
- d) Building Department;
- e) Parks Department;
- f) School District;
- g) Ministry of Transportation and Infrastructure; and
- h) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing requirements has not been undertaken. We anticipate that this evaluation will take place between first and second reading.

f) Development Applications:

In order for this application to proceed the following information must be provided, as required by Development Procedures Bylaw No. 5879-1999 as amended:

- 1. A complete Rezoning Application (Schedule C);
- 2. A Town Centre Development Permit Application (Schedule D); and
- 3. A Development Variance Permit (Schedule E);

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

The development proposal is in compliance with the OCP, therefore, it is recommended that Council grant first reading subject to additional information being provided and assessed prior to second reading.

“Original signed by Adam Rieu”

Prepared by: Adam Rieu
Planning Technician

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

“Original signed by Frank Quinn”

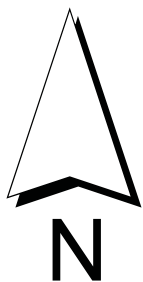
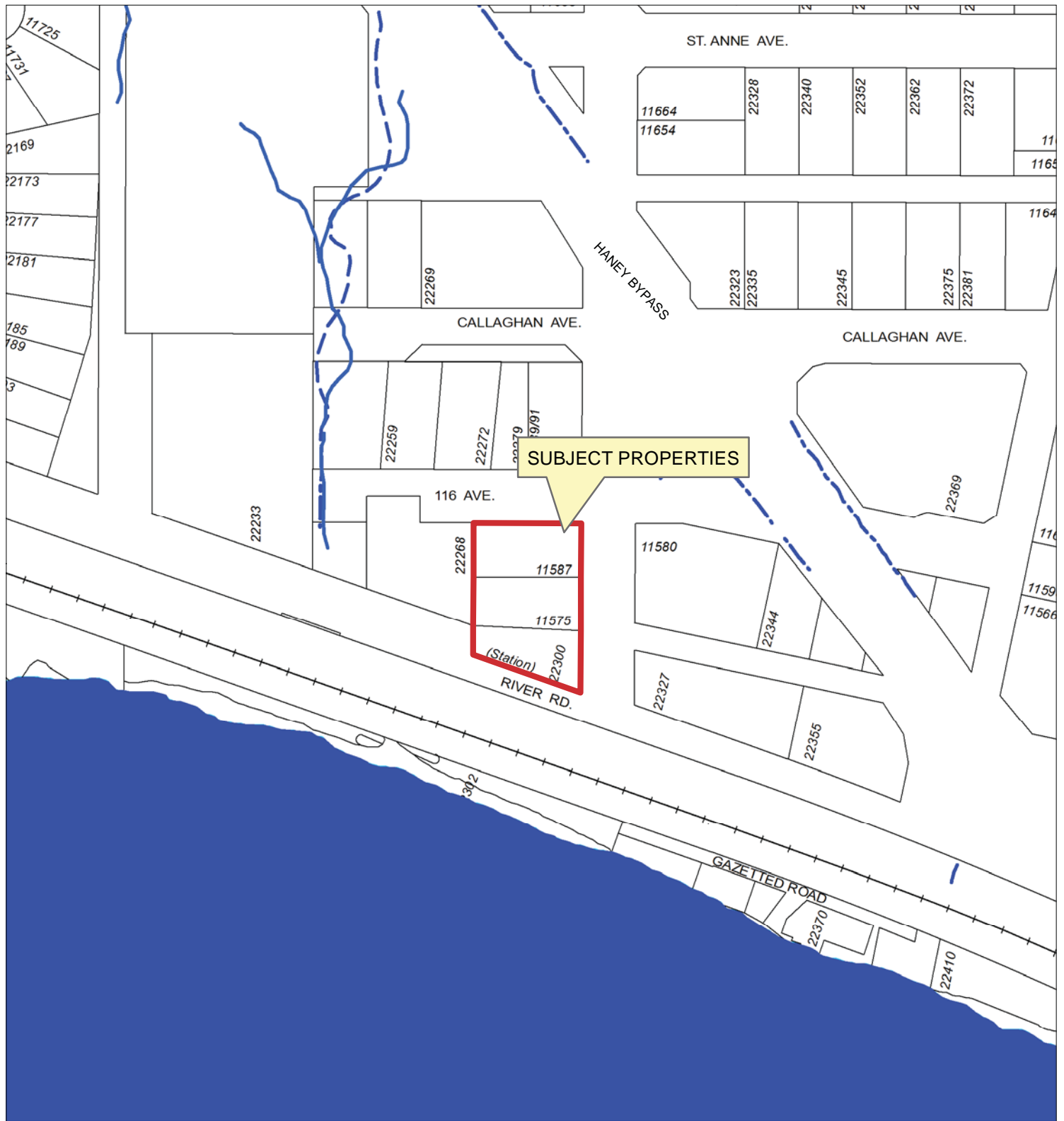
Approved by: Frank Quinn, MBA, P. Eng
GM: Public Works & Development Services

“Original signed by Frank Quinn” for

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7420-2017
Appendix D – Proposed Site Plan
Appendix E – Preliminary Building Rendering



Scale: 1:2,000

Legend

- Stream
- Ditch Centreline
- Edge of River
- Indefinite Creek
- River
- Major Rivers & Lakes

P.I.D. 011-537-141,
11575/87 223 STREET

PLANNING DEPARTMENT



MAPLE RIDGE

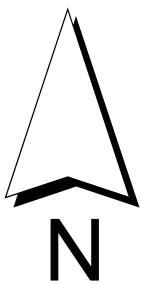
British Columbia

mapleridge.ca

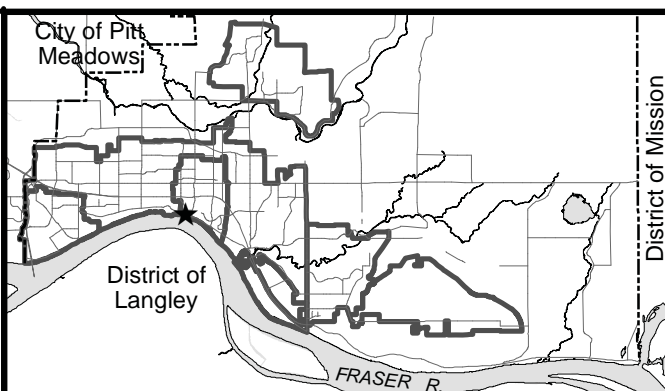
FILE: 2017-573-RZ
DATE: Feb 19, 2018

BY: PC

APPENDIX B



Scale: 1:2,000



P.I.D. 011-537-141,
11575/87 223 STREET

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

FILE: 2017-573-RZ
DATE: Feb 19, 2018

BY: PC

APPENDIX C

CITY OF MAPLE RIDGE BYLAW NO. 7420-2018

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7420-2018."
2. Those parcels or tracts of land and premises known and described as:

Lot 7 District Block 1 Lot 398 Group 1 New Westminster District Plan 155
Lot 14 District Block 1 Lot 398 Group 1 New Westminster District Plan 155
Lot 15 District Block 1 Lot 398 Group 1 New Westminster District Plan 155

and outlined in heavy black line on Map No. 1743 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

PUBLIC HEARING held the day of , 20

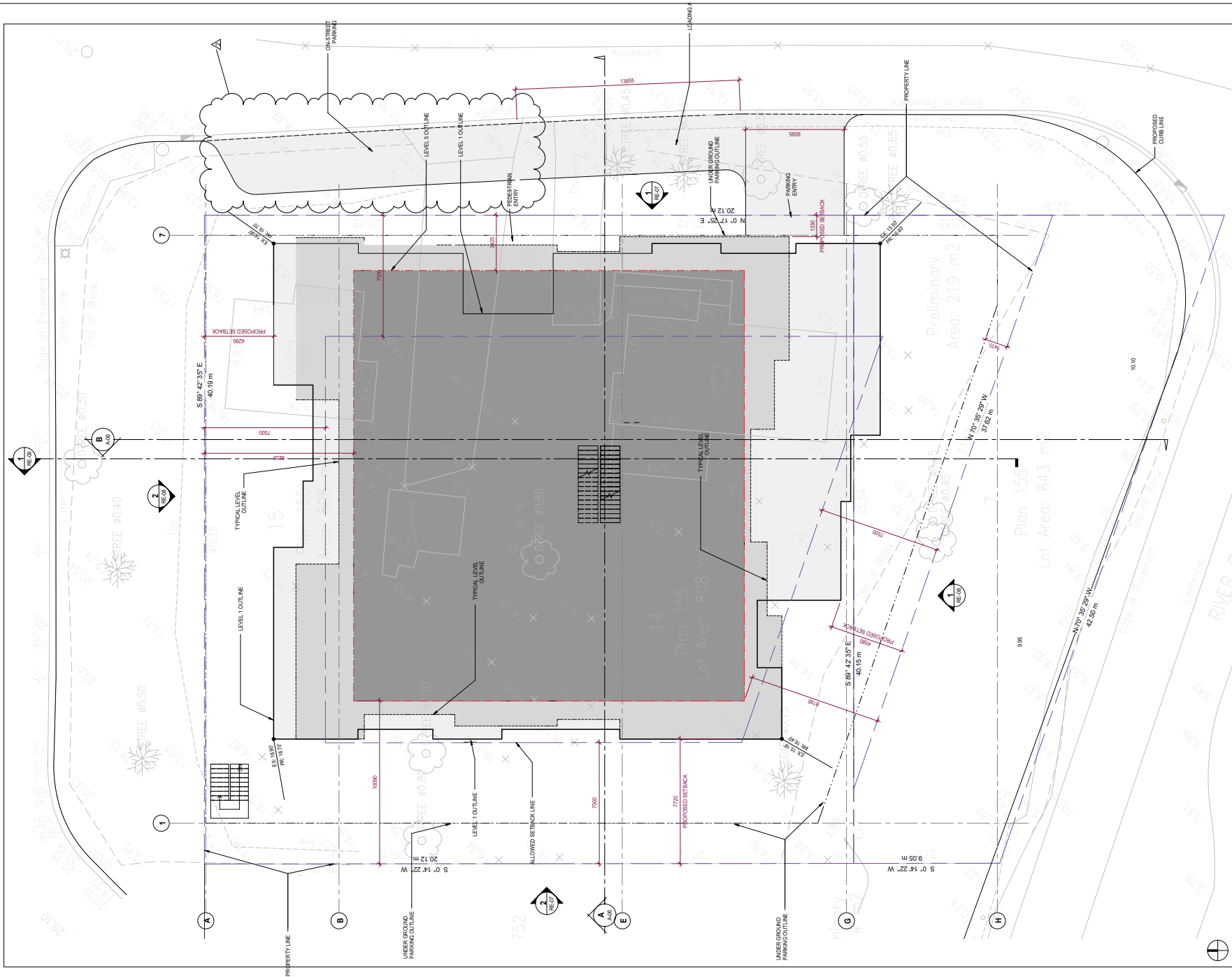
READ a third time the day of , 20

APPROVED by the Ministry of Transportation and Infrastructure this day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



Inspired Architecture

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BRITISH COLUMBIA V7P 1P7 CANADA
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REV	DATE	DESCRIPTION	BY	CHK
1	2017-10-20	ADDITION OF ON-STREET PARKING	AF	
2	2017-10-20	PROJECT FIRST PUBLISHING	AF	
3	2017-10-20	REVISION/DRAWING ISSUE	AF	
4	2017-10-20	REVIEW	AF	

PROJECT

223rd STREET
11575 & 11587 223rd ST, MAPLE RIDGE, BC

DRAWING TITLE

SITE PLAN

DRAWING ISSUE

ADDITION OF ON-STREET PARKING

PROJECT NO. 17180 PLOT DATE DEC 06, 2017 DRAWN MN

SCALE 1:100 REVERSED AF

DRAWING NO. A-01 REVISION 2

APPENDIX E



City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
MEETING DATE: March 13, 2018
FILE NO: 2017-078-RZ
MEETING: Council
SUBJECT: First and Second Reading
Official Community Plan Amending Bylaw No. 7436-2018;
Second Reading
Zone Amending Bylaw No. 7316-2017
22368 North Avenue

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property, located at 22368 North Avenue, from RM-3 (High Density Apartment Residential) to C-3 (Town Centre Commercial). This application is to permit the construction of a four storey mixed-use building, which will serve as the new head office of the Ridge Meadows Community Living Foundation (the Foundation). It will contain 907 m² (9,762 sf) of gross floor area of commercial and office space over the first three storeys and six rental apartment units with 345 m² (3,721 sf) of gross floor area on the fourth floor. The Foundation provides programs and services for over 600 children and adults with developmental disabilities in Maple Ridge and Pitt Meadows.

This application also requires an amendment to the Official Community Plan (OCP) to re-designate the land use from *Low-Rise Apartment* to *Town Centre Commercial* to permit the mixed-use building. Council considered the early consultation requirements for the OCP amendment on April 25, 2017, and granted first reading to Zone Amending Bylaw No. 7316-2017 at the same meeting.

This application is exempt from the Community Amenity Contribution (CAC) Program Policy 6.31, as it is mainly for a commercial development with six affordable rental units. The applicant is willing to enter into a Housing Agreement to secure the six affordable rental apartment units in perpetuity for persons with developmental disabilities, a condition of exemption from the CAC policy. A separate staff report to adopt a Housing Agreement Bylaw 7443-2018 will come to Council at a future date.

The applicant will be requesting variances, among other items, to relax the parking requirement for this project by 11 parking stalls, more small car spaces than usual, and no handicapped parking because the subject project is small and constrained. The Foundation has demonstrated that the proposed parking is sufficient to meet its staff and tenant needs. Furthermore, the Foundation is a non-profit organization providing special needs programming, services and housing in the community, reasons for which Planning staff are supportive of these variances.

RECOMMENDATIONS:

- 1) That, in accordance with Section 475 of the *Local Government Act*, opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7436-2018 on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

- 2) That Official Community Plan Amending Bylaw No. 7436-2018 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;
- 3) That it be confirmed that Official Community Plan Amending Bylaw No. 7436-2018 is consistent with the Capital Expenditure Plan and Waste Management Plan;
- 4) That Official Community Plan Amending Bylaw No. 7436-2018 be given first and second readings and be forwarded to Public Hearing;
- 5) That Zone Amending Bylaw No. 7316-2017 as amended be given second reading, and be forwarded to Public Hearing;
- 6) That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Approval from the Ministry of Transportation and Infrastructure;
 - iii) Amendment to Official Community Plan Schedule "A", Chapter 10.4 Town Centre Area Plan, Schedule 1 – Town Centre Area Land-Use Designation Map;
 - iv) Registration of a Restrictive Covenant for Stormwater Management;
 - v) Registration of a Housing Agreement in accordance with Section 483 of the *Local Government Act* and a Section 219 Restrictive Covenant stating that the six residential units will be affordable, rental units for persons with development disabilities in perpetuity.

DISCUSSION:

1) Background Context:

Applicant: Tekton Project Management

Legal Description: Lot 50 Except: Part Dedicated Road on Plan BCP 14057, Block 5, District Lot 398, Group 1, New Westminster District Plan 155

OCP:

Existing: Low-Rise Apartment
Proposed: Town Centre Commercial

Zoning:

Existing: RM-3 (High Density Apartment Residential)
Proposed: C-3 (Town Centre Commercial)

Surrounding Uses:

North: Use: Parking Lot (Office Use and Monthly Parking)
Zone: C-3 (Town Centre Commercial)
Designation: Town Centre Commercial

South:	Use:	Single-Family and Multi-Family Residential
	Zone:	RS-1 (One Family Urban Residential) and RM-3 (High Density Apartment Residential)
East:	Designation:	Port Haney Multi-Family, Commercial and Mixed Use
	Use:	Offices (Haney Professional Building)
	Zone:	C-3
West:	Designation:	Low-Rise Apartment
	Use:	Vacant (ad-hoc parking lot)
	Zone:	RM-3
	Designation:	Low-Rise Apartment
Existing Use of Property:		Parking lot
Proposed Use of Property:		Commercial and Residential
Site Area:		718 m ² (0.2 acres)
Access:		Pedestrian access from North Avenue and 117 Avenue, Parking access from 117 Avenue
Servicing:		Urban Standard
Companion Applications:		2017-078-DP, 2017-078-VP

2) Project Description:

The subject property, located at 22368 North Avenue, is a rectangular shaped lot with street frontages on North Avenue and 117 Avenue. The lot slopes gently from the northeast to the southwest corner. The lot is almost entirely paved for use as a parking lot and is currently vacant. There are no trees on the lot, although a row of mature trees borders the edge of the adjacent property to the east (see Appendices A and B).

The proposal is for a four storey mixed-use building with 1,252 m² (13,483 sf) of gross floor area. The building will serve as the new head office of the Ridge Meadows Community Living Foundation (the Foundation). The ground floor is to be used for flexible training, gallery or commercial space with at grade parking behind the building. The second and third floors are office space for the Foundation. Six rental apartment units are located on the fourth floor to house clients of the Foundation. One of the units will be designed as adaptable for persons with mobility impairments. Off-street parking is located at ground level partially underneath and behind the building, and accessed from 117 Avenue. The landscaping on the site is confined to small screening bands along the western and eastern edges of the parking lot, as well as in planters on the second floor and third floor decks.

3) Planning Analysis:

i) Official Community Plan:

The property is located within the South of Lougheed (SOLO) Precinct of the Town Centre Area Plan. The SOLO precinct supports, among other uses, mixed-use commercial and higher density residential development within its boundaries. The subject property is also located adjacent to the Central Business District and within walking distance to a wide range of shopping and services, as well as to bus routes and the West Coast Express.

The subject property is located within the Town Centre Area Plan and is currently designated *Low Rise Apartment*. For the proposed development, an OCP amendment will be required to re-designate the site to *Town Centre Commercial* to allow the proposed C-3 (Town Centre Commercial) zoning and mixed-use building (see Appendix C).

The re-designation to *Town Centre Commercial* is supportable because the mixed-used building will be going into an area with existing and future commercial and mixed-use development. It is bordered by commercial uses to the north (e.g. shops and services along Lougheed Highway) and east (e.g. Haney Professional Building), as well as some proposed mixed-use development occurring within the Port Haney area to the south. Furthermore, conformance with the Town Centre Area Plan Policies below provide further support for the re-designation of the subject property to *Town Centre Commercial*.

Town Centre Area Plan Policies

3-1 An increase in residential and commercial density is encouraged in the Town Centre, particularly within the Central Business District... Land-use should include a mix of housing types catering to various demographics, including affordable and special needs housing, within walking distance to a broad mixture of uses, including shops, services, cultural facilities, and recreation.

This project includes a mix of commercial office space and residential uses, and includes affordable, special needs housing. It is located within walking distance to a range of shops, services, and transit in and around the Central Business District.

3-2 Office use will be encouraged, particularly over ground level units in a mixed-use development, within and around the Central Business District.

This project has two levels of office space for the use of the Foundation and other associated service organizations.

3-7 To ensure a wide range of housing needs are accommodated within the Town Centre Area, Maple Ridge will work with other areas of government and housing agencies to encourage and support development that provides:

- a. for those with special housing needs due to income, age, or disability, as an appropriate share of the Town Centre's housing stock;*
- b. special needs housing incorporated within the Town Centre community and located close to public transit, shopping and services, and parks and recreation.*

This project will serve as the head office for the administrative and programmatic functions of the Foundation, which serve special needs children and adults with developmental disabilities in Maple Ridge and Pitt Meadows. The apartment units would be rented out by the Foundation to their clients with special needs.

3-31 Within a Mixed-Use development, retail, service, and entertainment uses shall be encouraged at ground level with office and/or residential uses encouraged above-grade.

This mixed-use project conforms with the intent of this policy, and the property is surrounded by commercial uses to the north and east, and some proposed mixed-use development in the Port Haney Area to the south.

Therefore, this project and OCP re-designation are supportable, as they will facilitate mixed-use and office use in the Town Centre in close proximity to transit and services. The building will provide space for programs, services and housing for special needs individuals in the community.

ii) Zoning Bylaw:

The current application proposes to rezone the subject property from RM-3 (High Density Apartment Residential) to C-3 (Town Centre Commercial) to permit a four storey mixed use building (see Appendix D). The project conforms with the requirements of the proposed C-3 (Town Centre Commercial) zone with the exception of several variances to parking and building setbacks which are detailed below.

First reading was granted to Zone Amending Bylaw No. 7316-2017 on April 25, 2017. The Zone Amending Bylaw has been amended in this report to correct a minor spelling mistake in the bylaw that was given first reading.

The minimum lot size for the current RM-3 (High Density Apartment Residential) zone is 1,300 m² (13,993 sf) while the minimum lot size for the proposed C-3 (Town Centre Commercial) zone is 186 m² (2,002 sf).

iii) Community Amenity Contribution Policy:

This application is exempt from the Community Amenity Contribution (CAC) Program Policy 6.31, because the applicant is willing to enter into a Housing Agreement to secure the six special needs, rental apartment units, a condition of exemption from the CAC policy. Furthermore, commercial development is exempt from the CAC Program.

iv) Off-Street Parking and Loading Bylaw:

The subject property is located adjacent to, but just outside of, the Central Business District (*Off-Street Parking Bylaw 4350 – 1990, Schedule D*), where reduced parking requirements apply. Therefore, the usual requirements of the *Off-Street Parking Bylaw, Schedule A*, apply to the current application. The table below summarizes the vehicle parking space requirements versus what is provided in this project:

Required Parking Spaces		Provided Parking Spaces
Apartment use	8	None
Office and commercial use	23	20
Allowed small car	3	20 – all small car
Handicapped	1	None

Therefore, the project has 11 fewer parking spaces than required, 17 more “small car” parking stalls than allowed, and no accessible parking space for persons with disabilities.

The applicant has provided justification to support the relaxation of parking requirements. No parking spaces are required for the apartment units because it is expected that tenants will not be able to drive. Visitor parking can be accommodated off-street outside of business hours, and on-street otherwise. The Foundation has also tracked their parking requirements for their staff, and confirmed that 20 small car stalls are sufficient to meet their needs. They estimate the average

number of parking stalls occupied was 16 per day, with a current maximum of up to 19. The Foundation has asked that the accessible parking space requirement for persons with disabilities be waived because providing the larger space on the development site would further reduce the number of off-street spaces. The applicant suggests that handicapped pick-up and drop-off can be accommodated on the curbside in front of the building, or in the parking lot, both during and after business hours.

These parking variances, and other variances, will be the subject of a future report to Council. However, if Council prefers, the *Off-Street Parking Bylaw* has a provision (*Part 3, 3.4 (a)*) that allows payment of cash-in-lieu of parking spaces, which would equal approximately \$85,500 for this project. Staff are supportive of the variance option because the Foundation is a non-profit organization providing special needs programming, services and housing in the community.

The project provides four short-term and two long-term bicycle parking spaces for the office/commercial spaces in accordance with the *Off-Street Parking Bylaw*. Bicycle parking for the rental apartments can be accommodated within the unit if necessary.

v) Proposed Variances:

A Development Variance Permit application has been received for this project and involves the following relaxations to the C-3 (Town Centre Commercial) zone (see Appendix E):

- Relaxation of the front yard setback requirement of 7.5 m (24.6 ft) above the second storey to 1.959 m (6.4 ft);
- Relaxation of the side yard setback requirement above the third storey of 4.5 m (14.8 ft) to 0 m;
- Reduction in the number of parking spaces from 31 to 23 spaces (see previous discussion);
- Allowance of 17 more small car parking spaces (see previous discussion); and
- Elimination of the requirement for an accessible parking for persons with disabilities (see previous discussion).

Staff are supportive of these variances because of the mandate of the Foundation and the role they play in the community. The requested variances to the C-3 (Town Centre Commercial) zone will be the subject of a future Council report.

vi) Development Permits:

Pursuant to Section 8.11 of the OCP, a Town Centre Development Permit application for the SOLO Precinct is required for all multifamily residential, flexible mixed use and commercial development located in the Town Centre. The Development Permit will be the subject of a future Council report.

vii) Advisory Design Panel:

The Advisory Design Panel (ADP) reviewed the form and character of the proposed development and the landscaping plans at a meeting held on November 15, 2017 (see Appendices E, F and G)

Following presentations by the project Architect and Landscape Architect, the ADP made the following resolution:

That the application be supported and the following concerns be addressed as the design develops and submitted to Planning staff for follow-up:

Landscape Comments:

- 1. Provide a fence/guardrail on West elevation;*
- 2. Provide taller evergreen shrub and screen to block vehicle headlights from light pollution to neighbours on West side;*
- 3. Show sections on the property through the parking lot;*
- 4. Show the landscape treatment to the south of the garbage enclosure;*
- 5. Revise the design of the garbage enclosure to incorporate architectural features of the building (ie: colour, materials, etc);*

Architectural Comments:

- 6. Treatment of fire wall as presented is acceptable;*
- 7. Encouraged to provide a wayfinding means to assist people with disabilities;*
- 8. Improve the expression of type of construction as shown in the rendering and explanations;*
- 9. Provide guardrail at drops of more than 600 mm;*
- 10. Design of guardrails higher than 600 mm (2 ft) to be submitted for review of the colour and safety;*
- 11. Consider extending blue horizontal member at 90 degrees on both sides of the building;*
- 12. Consider the corner recess areas to be coloured orange as elsewhere on the façade;*
- 13. Consider using machine-room-less elevator;*
- 14. Indicate on plans the location of the roof access;*
- 15. In the event that there is roof equipment, details should be provided as to its location and how it will be screened from neighbours, streets and overview.*

Furthermore, the ADP encouraged the applicant to provide at least one adaptive unit as defined by the BC Building Code. The applicant has provided one adaptive unit as requested.

The ADP suggestions, comments and concerns have been addressed by the applicant where applicable and are reflected in the current plans. A detailed description of how these items were incorporated into the final design will be included in a future Development Permit report to Council.

viii) Development Information Meeting:

A Development Information Meeting (DIM) was held in the library of the Eric Langton Elementary School on December 7, 2017. Four individuals attended the meeting. A summary of the main comments and discussions with the attendees, as well as responses by the applicant, are provided below:

Zero Lot Line: *The property owner immediately to the west of the development site expressed concern that he may not also be permitted to build to a zero lot line on his property if he chooses to develop his site in the future;*

Response: Future applications for rezoning or development along the street will be considered based on the proposed zone and merits of the application. It is premature to determine at this stage what can be supported.

Accessibility: *An attendee requested both through a written letter and comments at the DIM that the building be built in compliance with the BC Human Rights Code, specifically with regards to accessibility;*

Response: This project will be built in compliance with the BC Building Code, which takes accessibility issues into consideration. As a non-profit organization focused on serving individuals with developmental disabilities such as Autism, Down Syndrome, and Cerebral Palsy, the Foundation shares the stated concerns about accessibility for their clients and is keenly aware of their accessibility needs. There is no desire to construct a building that is not suitable for their clients.

More Affordable Housing: *An attendee felt that the building should be much larger and higher so as to provide far more residential units for individuals with developmental disabilities;*

Response: There are several reasons why the building is not larger:

- The Foundation does not wish to create one building where all of their clients live together and be segregated from the rest of the community. It is a healthier practice to create small housing clusters throughout the City which allow their clients to live in the community;
- Creating more residential units would require an even greater parking variance as there is no more room on this small urban lot;
- Finding housing for their clients is not the primary goal of this application. Rather, the primary purpose of the building is to house the Foundation's new head office. The six proposed residential units are secondary to the primary purpose of the building;
- The Foundation does not currently have the staffing necessary to support a taller building, nor do they wish to expand to be able to do so; and,
- The Foundation, as a non-profit organization with a modest budget, cannot afford at this time to make the building any larger.

Hydro Pole: *An attendee expressed concern about the proximity of the hydro pole on North Avenue to the building;*

Response: The building has been designed to step back, away from the existing hydro pole and will be in compliance with BC Hydro's clearance requirements.

Parking: *All attendees expressed concern over the relaxation of parking for the six residential units. Furthermore:*

- *It was noted that it can be very difficult to find street parking on 224 Street, presumably due to employees of the nearby bank and medical buildings and users of the West Coast Express Train parking on 224 Street during the workday;*
- *An attendee requested that the project include an additional eight handicapped parking stalls;*

Response: The users of the residential units cannot obtain a driver's licence and therefore will not have a need for a parking space; Nine of the twenty onsite parking stalls are located outside the enclosed portion of the parkade. As such, they will be available for the use of guests and visitors to the residential area during evenings, weekends, and holidays. As most, if not all, of the residents will have jobs during regular working hours, it's reasonable to expect that their guests will only need off-street visitor parking on evenings, weekends, and holidays. Furthermore, as there is a sufficient amount of off-street parking available for guests of the residential units at these times, any on-street parking required will be minimal, if any at all.

Request Project Moratorium: *An attendee requested a moratorium on this development until the accessibility concerns are addressed and more housing units are provided.*

Response: The Foundation is currently renting the building that houses their head office and each month that this development is delayed adds a significant cost to them. They do not wish to see a moratorium placed on the application. Requesting a moratorium on this project is also not consistent with the rezoning process.

ix) Environmental Comments

The applicant has proposed a stormwater management plan for the site which is integrated with the landscaping on site. This plan must be registered as a restrictive covenant on title as a condition of final approval.

While there are no trees on the development site, a row of six mature ash trees sits on the adjacent property to the east. Due to the zero setback to the side, a best level of effort must be made by the applicant to retain these trees. Furthermore, the Foundation has entered into a private agreement with the neighbouring property owner to replace any tree that may not survive building construction.

A proposal to plant trees on the development site has been submitted and accepted in accordance with the *Tree Protection and Management Bylaw* requirements.

4) Traffic Impact:

As the subject property is located within 800 metres of the Loughheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure. Ministry approval of the Zone Amending Bylaw will be required as a condition of final reading. At this time, the Ministry has granted preliminary approval of this development application.

5) Interdepartmental Implications:

i) Engineering Department:

Comments provided by the Engineering Department pertain to required servicing upgrades and road dedication. The conditions set out by the Engineering Department will be included as part of the Rezoning Servicing Agreement, stated as a condition of final approval, or will be addressed during the construction phase by the Building Department.

ii) Building Department:

The Building Department has conducted a preliminary review of plans submitted as part of this rezoning and Development Permit applications and provided comments to the applicant. Comments, where applicable have been addressed in the current plans, or will be addressed as part of detailed plans to be received at the Building Permit stage. There are no outstanding or unresolved issues flagged at this time.

iii) Fire Department:

The Fire Department has reviewed the project. They outlined the typical details that are addressed at the Building Permit stage, including the requirements for a construction fire safety plan, alarms, site access requirements, sprinkler requirements, and address visibility. The matters identified do not affect the proposed siting or the form and character of the project.

6) School District No. 42 Comments:

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 on August 17, 2017. The School District provided the comments below on the capacity of local schools:

The development site and proposed OCP amendment may affect the student population and catchment areas currently served by Eric Langton Elementary School and Maple Ridge Secondary School. In the 2016-2017 year, Eric Langton Elementary had 419 students (103% utilization), while Maple Ridge Secondary had 1317 students (101%) of utilization.

7) Intergovernmental Issues:

i) Local Government Act:

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The OCP amendment required for this application is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

CONCLUSION:

The current application requires an OCP amendment to re-designate the subject property as *Town Centre Commercial* in the Town Centre Area Plan. Justification has been provided to support the OCP amendment, as well as rezoning of the subject property to C-3, in order to permit the development of a four storey mixed-use building. The proposed building will serve as the new head office of the Ridge Meadows Community Living Foundation, and also provide six affordable, rental apartments in perpetuity for persons with developmental disabilities. A Housing Agreement Bylaw to secure these rental units will be forthcoming in a future report to Council.

To support this application, variances to the parking requirements of the proposed C-3 (Town Centre Commercial) zone will also be required to permit this development. A decision on these variances will be made when a future Development Variance Permit report comes before Council prior to final approval of this rezoning application. However, Council may provide comment or feedback at this time regarding the requested variances.

Therefore, it is recommended that first and second reading be given to OCP Amending Bylaw No. 7436-2018, that second reading be given to Zone Amending Bylaw No. 7316-2017 as amended, and that application 2017-078-RZ be forwarded to Public Hearing.

“Original signed by Chee Chan”

Prepared by: Chee Chan, MUP, MCIP, RPP, BSc
Planner 1

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

“Original signed by Frank Quinn”

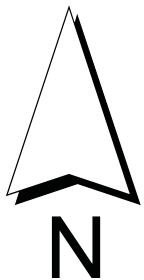
Approved by: Frank Quinn, MBA, P.Eng
GM: Public Works & Development Services

“Original signed by Paul Gill”

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – OCP Amending Bylaw No. 7436-2018
Appendix D – Zone Amending Bylaw No. 7316-2017
Appendix E – Site Plan
Appendix F – Building Elevations
Appendix G – Landscape Plan



Scale: 1:1,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

22368 North Avenue

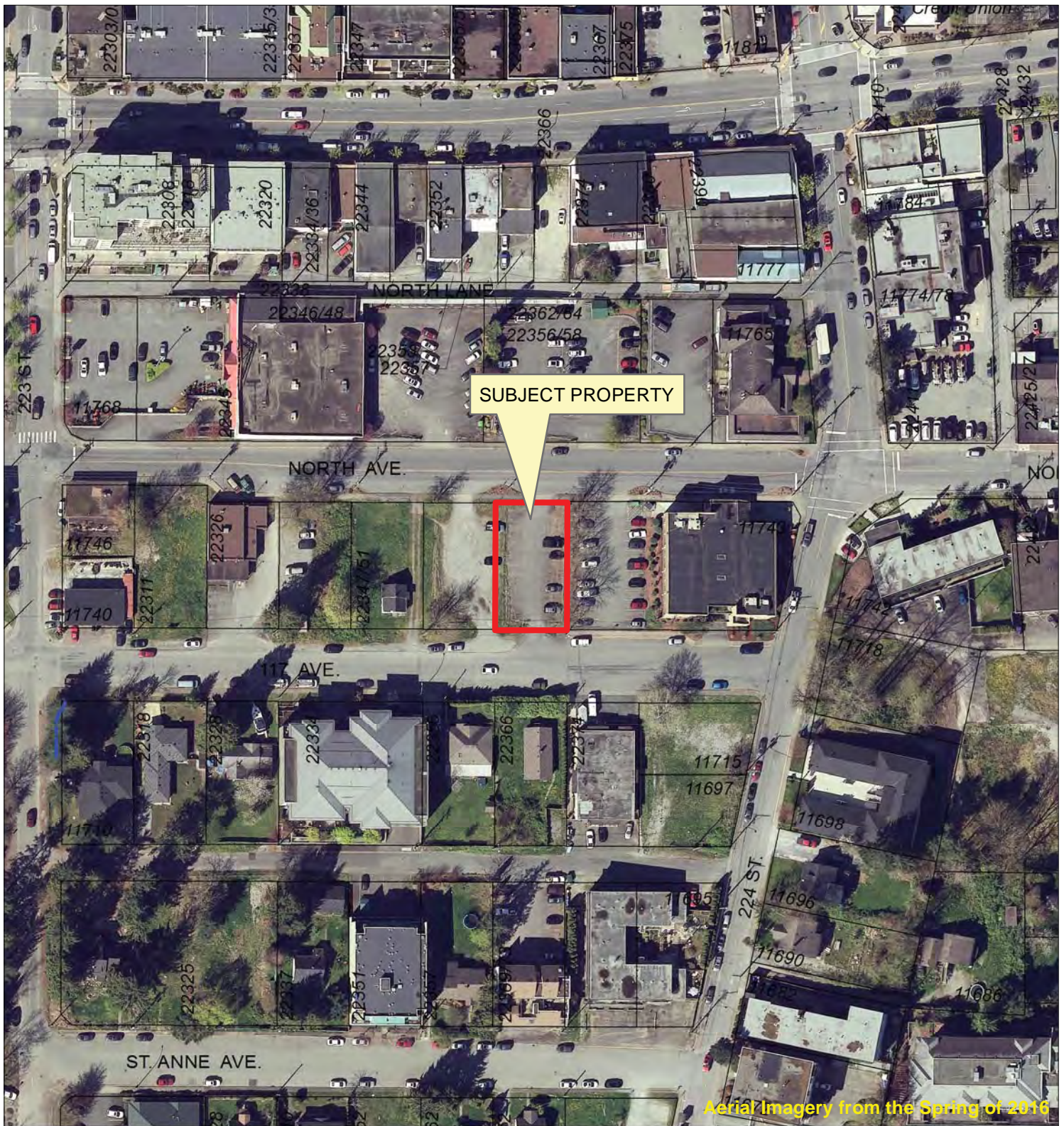
PLANNING DEPARTMENT



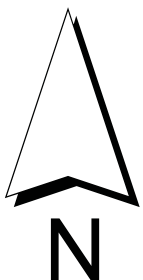
2017-078-RZ

DATE: Apr 13, 2017

BY: JV



Aerial Imagery from the Spring of 2016



Scale: 1:1,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

22368 North Avenue

PLANNING DEPARTMENT



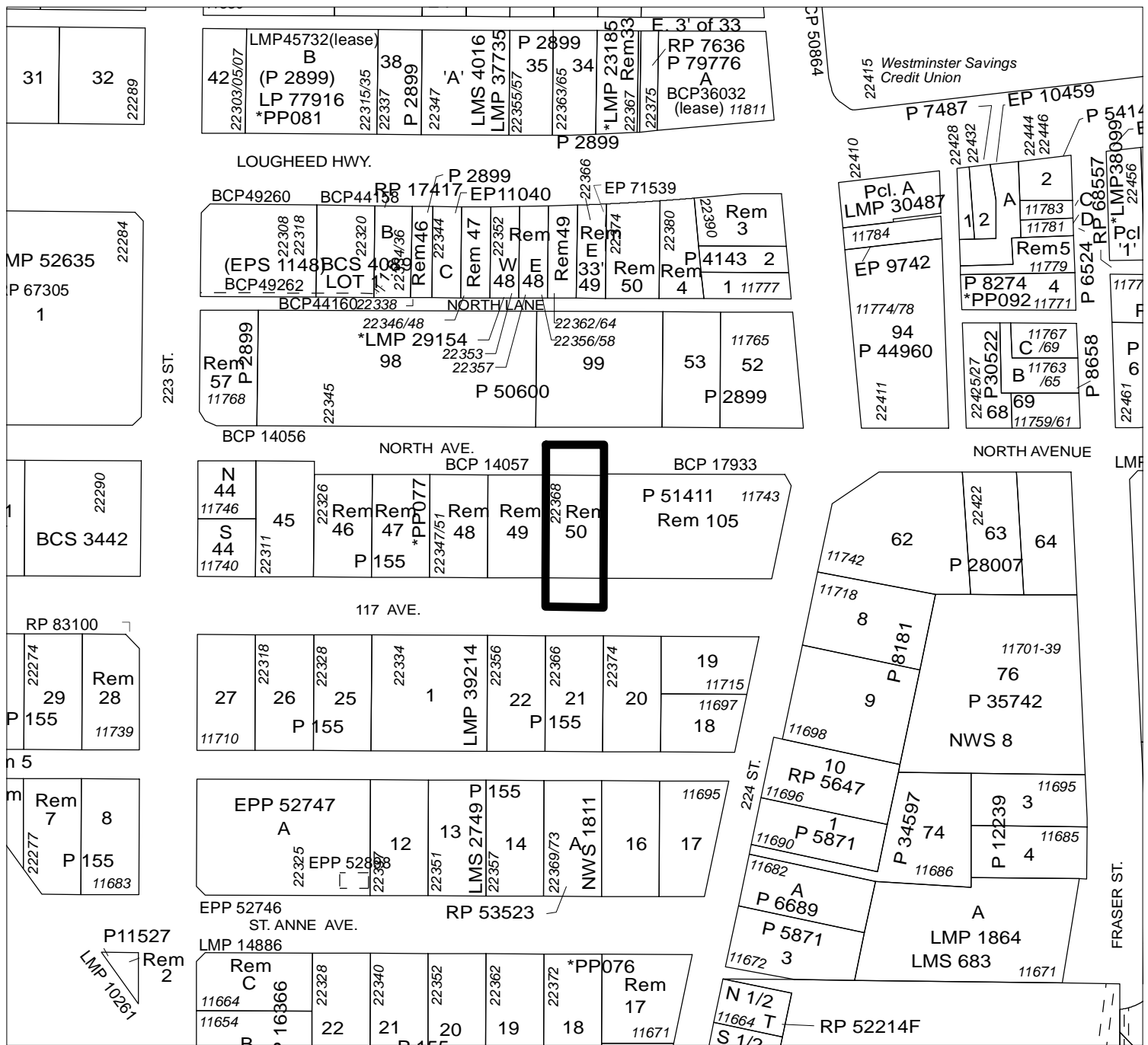
mapleridge.ca

2017-078-RZ

DATE: Apr 13, 2017

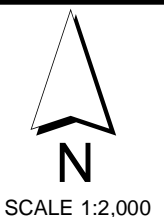
BY: JV

CORPORATE OFFICER



MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7436-2018
Map No. 973
Purpose: To Amend Town Centre Area Plan Schedule 1
From: Low-Rise Apartment
To: Town Centre Commercial



APPENDIX D

CITY OF MAPLE RIDGE

BYLAW NO. 7316-2017

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7316-2017."
2. That parcel or tract of land and premises known and described as:

Lot 50 Except: Part Dedicated Road on Plan BCP 14057 Block 5 District Lot 398
Group 1 New Westminster District Plan 155.

and outlined in heavy black line on Map No. 1708 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to C-3 (Town Centre Commercial).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 25th day of April, 2017.

READ a second time the day of , 20

PUBLIC HEARING held the day of , 20

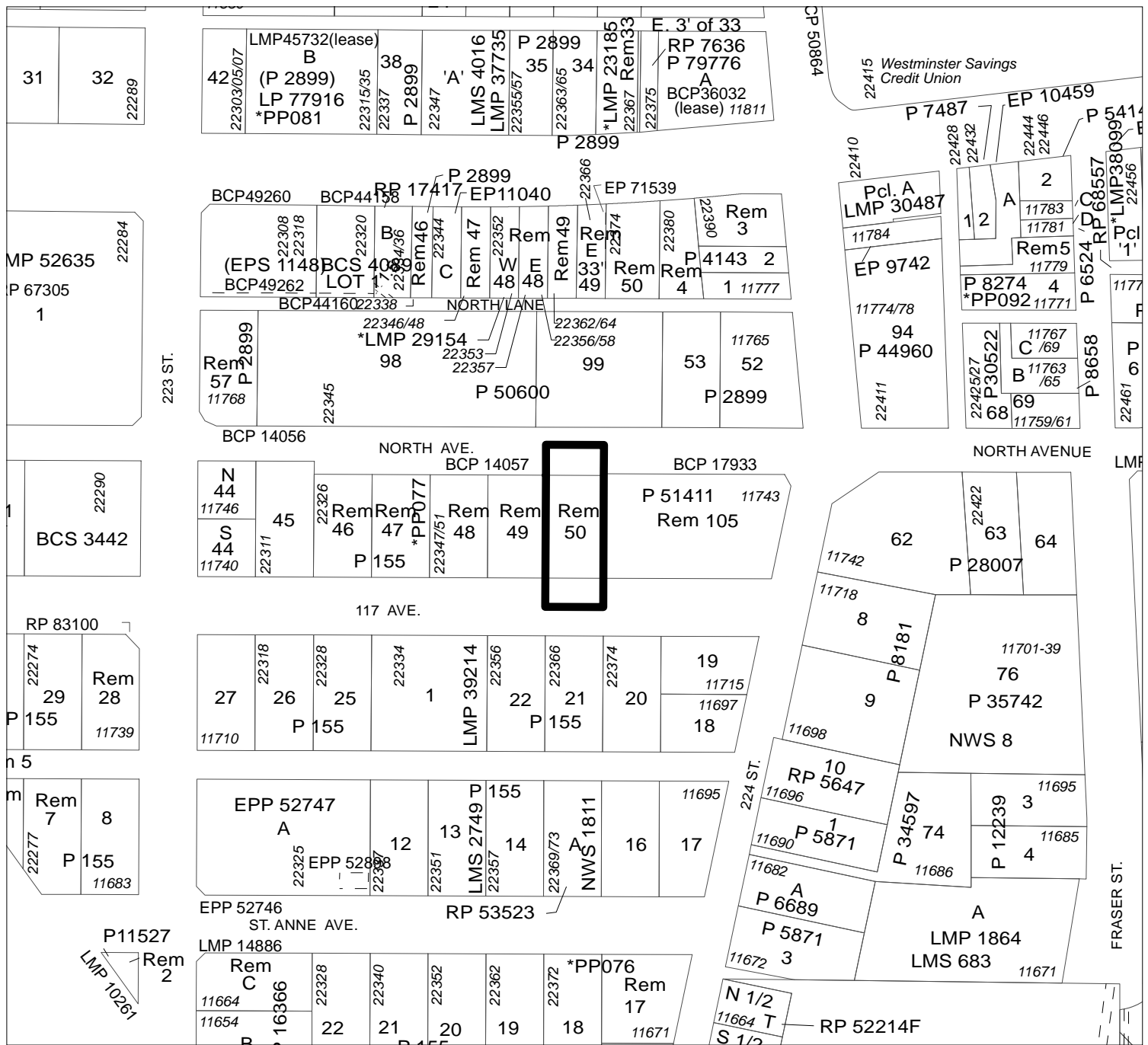
READ a third time the day of , 20

APPROVED by the Ministry of Transportation and Infrastructure this day of , 20

ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



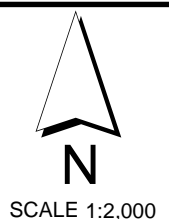
MAPLE RIDGE ZONE AMENDING

Bylaw No. 7316-2017

Map No. 1708

From: RM-3 (High Density Apartment Residential)

To: C-3 (Town Centre Commercial)



PRELIMINARY ONLY NOT FOR CONSTRUCTION

Ridge Meadows Community Living Foundation Development Permit Drawings

Floor Area Ratios

Floor	GFA		Net Area			Ratio of NET to GFA		
	Commercial	Total	Common	Residential	Commercial	Common	Residential	Commercial
Floor 1	1,856 SF	1,856 SF	740 SF	0 SF	1,110 SF	1,856 SF	40.2 %	0.0 %
Floor 2	4,289 SF	4,289 SF	330 SF	0 SF	3,959 SF	4,289 SF	7.7 %	0.0 %
Floor 3	3,817 SF	3,817 SF	332 SF	0 SF	3,485 SF	3,817 SF	9.2 %	0.0 %
Floor 4	0 SF	3,721 SF	347 SF	3,354 SF	0 SF	3,721 SF	9.9 %	90.1 %
Total	9,762 SF	13,483 SF	1,775 SF	3,354 SF	8,354 SF	13,483 SF	13.2 %	24.9 %

Area Reconciliation

Floor	Net Residential		NET Commercial		GFA	
	0.0 m ²	0 SF	100.1 m ²	1,110 SF	172.4 m ²	1,856 SF
Floor 1	0.0 m ²	0 SF	367.7 m ²	3,959 SF	398.5 m ²	4,289 SF
Floor 2	0.0 m ²	0 SF	355.3 m ²	3,286 SF	355.3 m ²	3,817 SF
Floor 3	311.6 m ²	3,354 SF	0.0 m ²	0 SF	346.7 m ²	3,721 SF
Total	311.6 m ²	3,354 SF	776.1 m ²	8,354 SF	1,252.6 m ²	13,483 SF

List of Requested Variances

Type	Required	Requested
Residential Parking Stalls	8 Stalls	0 Stalls
Commercial Parking Stalls	23 Stalls	20 Stalls
Small Car Parking Stalls	3 Stalls	20 Stalls
Handicapped Accessible Parking	1 Stall	0 Stalls
Setback front yard above 2nd story	7.5	1.96m
Setback interior side yard above 3rd story	4.5m	0.0m

Zone C-3 Reconciliation

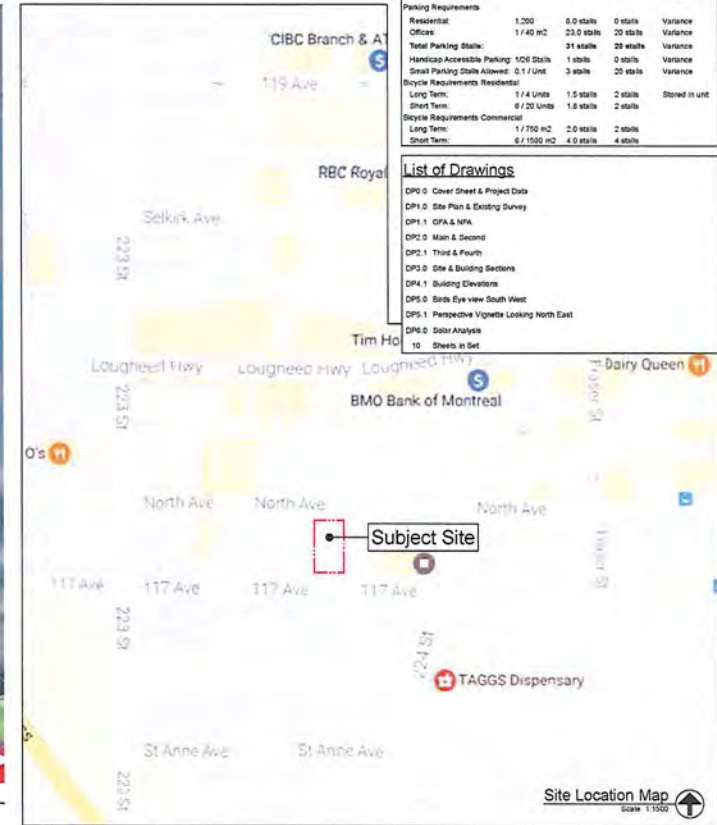
Town Centre Commercial		Proposed / Provided	
Required/Permitted			
Lot Area:	166 m ²	2,002.1 sq ft	715.2 m ²
Lot Width:	6m		7,700.9 sq ft
Lot Depth:	27m		
Building Height:	No Height Restriction	4 Storeys	
# of residential units:		6 Units	
Gross Commercial Area:		906.9 m ²	9,762.0 sq ft
Residential PSR:	1,851.9 m ²	17,791 sq ft	211.6 m ²
Ratio:	2,209		3,354 sq ft
Difference:	1,340.3 m ²	14,427 sq ft	0.004
Setbacks:			
Front Setback:	+ 0.0 m	0.0 m	
Rear Setback:	+ 0.0 m	0.0 m	
Exterior Side Yard Setback:	+ 0.0 m	0.0 m	
Interior Side Yard Setback:	+ 0.0 m	0.0 m	
Front & Rear Setback:	+ 7.5 m	1.96 m	Variance
Setbacks Above 3rd Storey:			
Interior Side Yard Setback:	+ 4.5 m	0.0 m	Variance
Parking Requirements:			
Residential:	1,200	0.0 stalls	0 stalls
Offices:	1 / 40 m ²	23.0 stalls	20 stalls
Total Parking Stalls:		31 stalls	20 stalls
Handicap Accessible Parking:	100 Stalls	1 stalls	0 stalls
Small Parking Stalls Allowed:	0.1 / Unit	3 stalls	20 stalls
Bicycle Requirements Residential:			
Long Term:	1 / 4 Units	1.5 stalls	2 stalls
Short Term:	6 / 20 Units	1.8 stalls	2 stalls
Bicycle Requirements Commercial:			
Long Term:	1 / 750 m ²	2.0 stalls	2 stalls
Short Term:	6 / 1000 m ²	4.0 stalls	4 stalls

List of Drawings

DP0: Cover Sheet & Project Data
DP1: Site Plan & Existing Survey
DP1.1: GFA & NFA
DP2: Main & Second
DP2.1: Third & Fourth
DP3: Site & Building Sections
DP4: Building Elevations
DP5: Birds Eye view South West
DP6: Perspective View Looking North East
DP6.1: Solar Analysis
10: Streets in Set



Perspective View SE from North Ave.



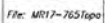
Site Location Map

Scale: 1:1000

Date	2018-02-27
Scale	WBUM
Drawn	WBUM
Project #	1636
PROPOSED ONLY NOT FOR CONSTRUCTION	
Sheet	DP0.0

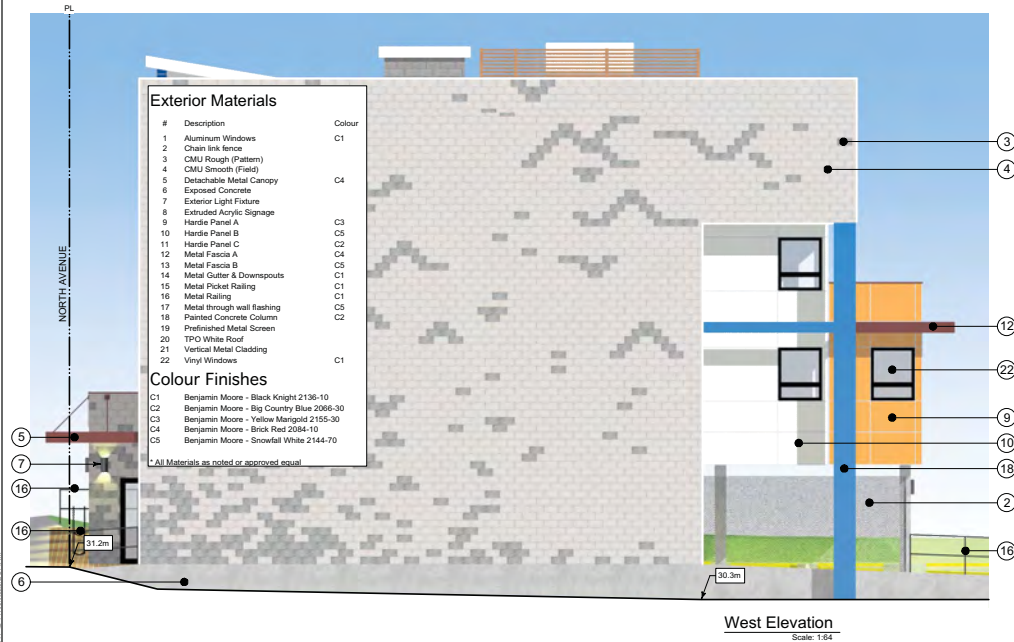
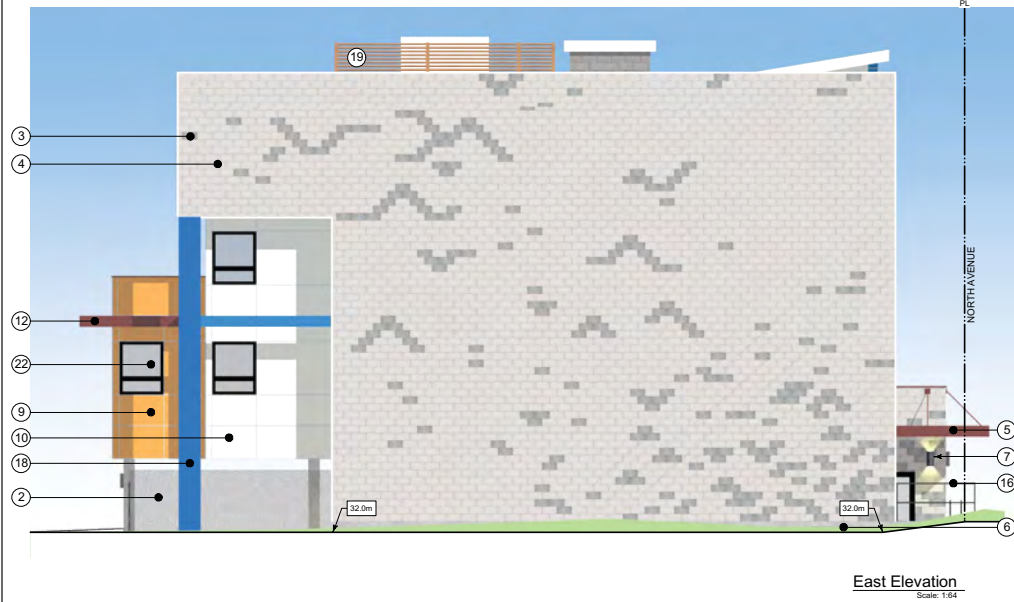
DIMENSIONS AND SPACES ARE NOT FINAL SUBJECT TO CHANGE TO SCALE WHEN PRINTED ON ARCH D (24" x 36")

Mike Dettmann, DCLJ



APPENDIX F

PRELIMINARY ONLY NOT FOR CONSTRUCTION

[illegible]

117th Ave.

North Ave.

existing sidewalk

Sheet

DP5.0

PRELIMINARY ONLY NOT FOR CONSTRUCTION



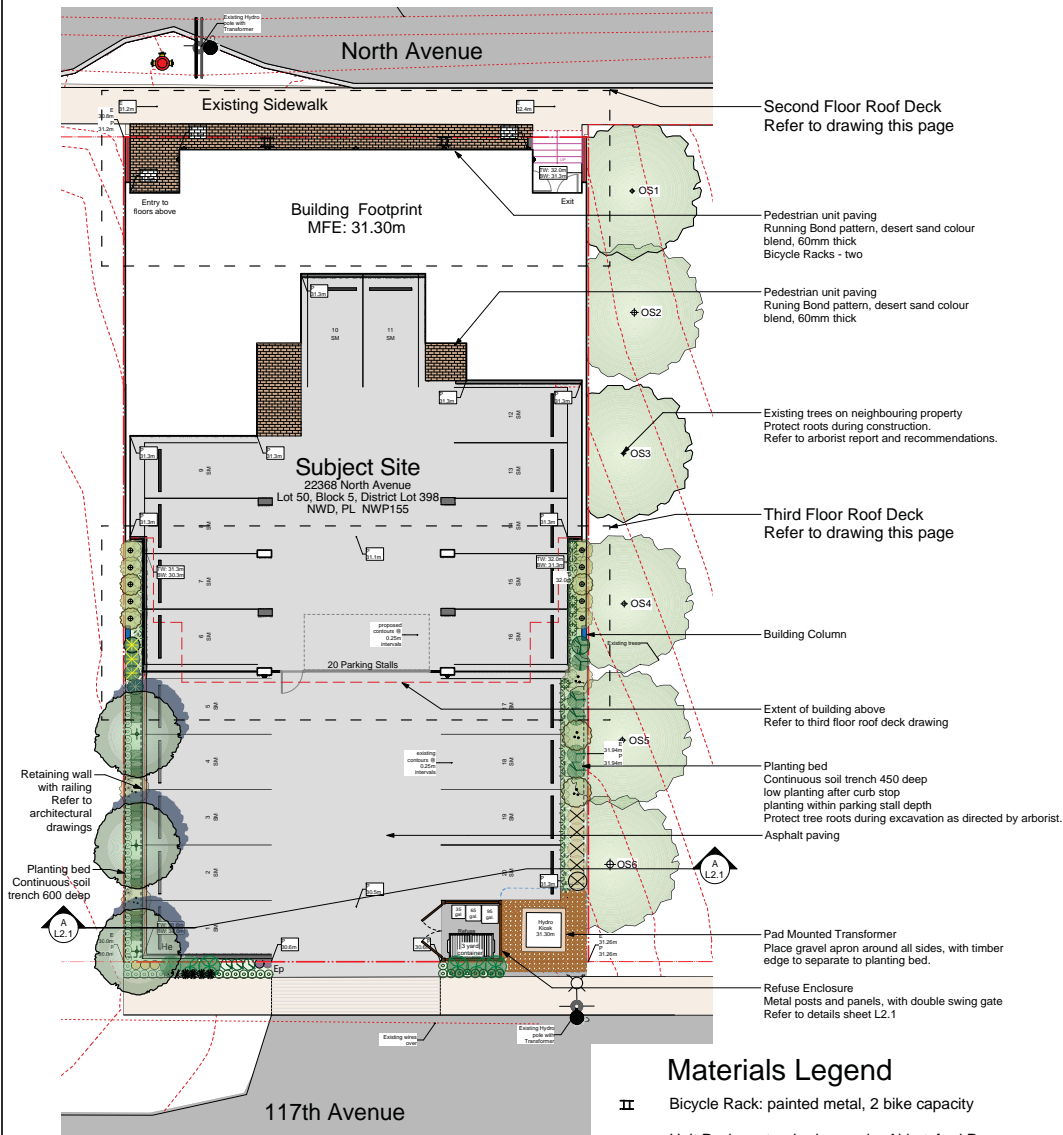
Plot Date: 03/08/2018 10:13:14 AM Location: DP5.1

DIMENSIONS AND SPACES ARE NOT FINAL SUBJECT TO CHANGE TO SCALE WHEN PRINTED ON ARCH D (36" x 24")





Date	Note
2018-02-23	Wayne Stephen Bissky Architecture & Urban Design Inc. Interior Design
NTS	Scale
WB/JM	Drawn
1636	Project #
DP5.1	Sheet
PRELIMINARY ONLY NOT FOR CONSTRUCTION	
Wayne Stephen Bissky Architecture & Urban Design Inc. Interior Design 4024 22320 Lougheed Highway Richmond, BC V6V 2E6 Tel: 604-272-8300 Fax: 604-407-8305 email: info@wsbdesign.ca	
Perspective Vignette Looking North East	
RMACL	
City Address: Northside (Between 117th and North)	
Legal Address: Lot 55, Block 5, District Lot 398, NW/4, P1, N0P1/155	
PG #:	
011-539-542	
Copyright Reserved Further to AEC Canada 2015, all data, designs, drawings, specifications, and other documents are the property of Wayne Stephen Bissky Architecture & Urban Design Inc. and are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Wayne Stephen Bissky Architecture & Urban Design Inc. This document is for informational purposes only and does not constitute a contract. The information and drawings shown are for reference only.	

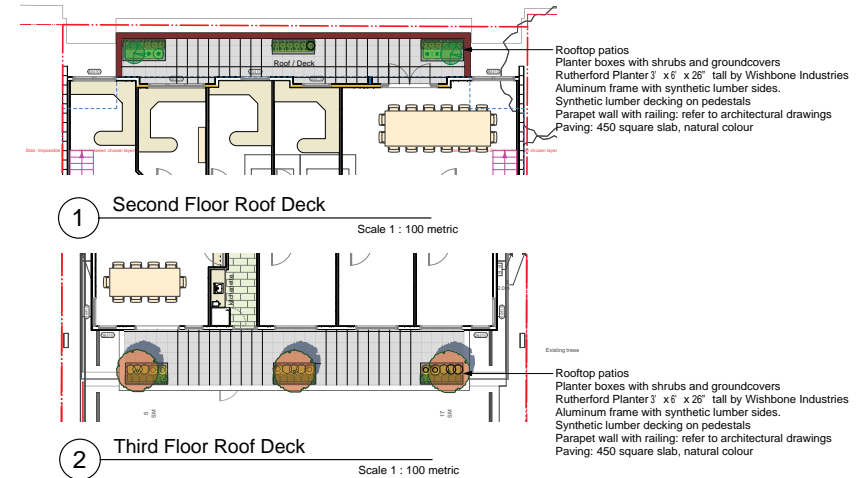
APPENDIX G

PRELIMINARY ONLY NOT FOR CONSTRUCTION

















Materials Legend

- | | |
|---|--|
|  | Bicycle Rack: painted metal, 2 bike capacity |
|  | Unit Paving: standard paver by Abbotsford Pavers
Running bond pattern, Desert Sand colour blend |
|  | Rooftop Patios: hydropressed slab by Abbotsford Pavers
18" x 18" natural colour |
|  | Planter Box: aluminum frame and synthetic timber slats
Rutherford by Wishbone Industries
2' and 3' wide x 6' long x 26" tall |

**PLANT LIST - RMACL 22368 North Avenue**

updated November 23, 2017

SYMBOL QTY.		BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	3	Acer rubrum 'Armstrong'	Armstrong Red Maple	8cm cal, B&B	
				Multi stem	
SYMBOL QTY.		BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS					
	10	Hydrangea macrophylla	Big Leaf Hydrangea	#2 pot	750 o.c.
	5	Pieris japonica	Lily-of-the-valley Pieris	#2 pot	500 o.c.
	4	Penstemon fruticosus Red Ace	Red Ace Shrubby Cinquefoil	#2 pot	650 o.c.
	4	Prunus laurocerasus Zabellaena	Zabel Cherry Laurel	#5 pot	600 o.c.
	6	Salix purpurea 'Nana'	Purple Willow	#1 pot	750 o.c.
	15	Taxus x media Hicksville	Hick's Yew	1.5m tall	500 o.c.
	6	Vaccinium ovatum	Evergreen Huckleberry	#5 pot	900 o.c.
GROUND COVERS					
	62	Gaultheria shallon	Salal	#1 pot	500 o.c.
	43	Hypericum calycinum	St Johnswort	#1 pot	300 o.c.
PERENNIALS					
	2	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	#1 pot	450 o.c.
	Ep	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 pot	500 o.c.
	3	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	#1 pot	500 o.c.
	12	Stipa tenuissima	Mexican Feather Grass	#1 pot	300 o.c.

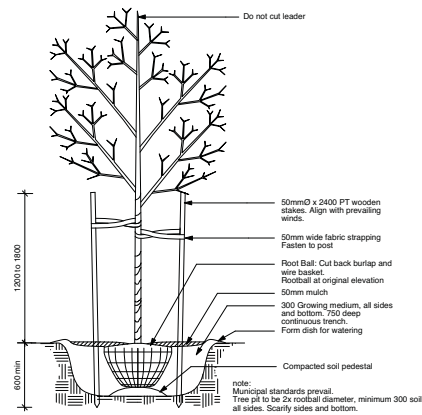
PLANT LIST - RMACL - Roof Deck Planter Boxes

updated November 23, 2017

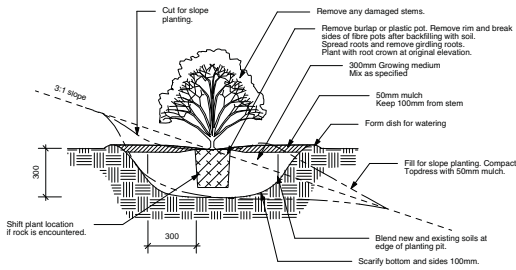
	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
		SHRUBS				
	3	Magnolia x Betty	Betty Magnolia	1.5m tall specimen		
		36	Buxus m. Winter Gem	Asian Boxwood	#1 pot	400 o.c.
		2	Rhododendron Blue Diamond	Blue Rhodo (med-low)	#2 pot	600 o.c.
		4	Sarcococca h. Humilis	Himalayan Sweet Box	#2 pot	600 o.c.
	GROUND COVERS					
		9u	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	400 o.c.
	ORNAMENTAL GRASSES					
		8	Stipa tenuissima	Mexican Feather Grass	#1 pot	400 o.c.

NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with BCSLA/BC/LNA Landscape Standard, latest edition.
- 3) All maintenance shall be in accordance with BCSLA/BC/LNA Landscape Standard, latest edition.
- 4) All planting beds: 450 soil plus 75mm of decomposed organic mulch or approved equal.
- 5) Planter boxes and soil as per specification.

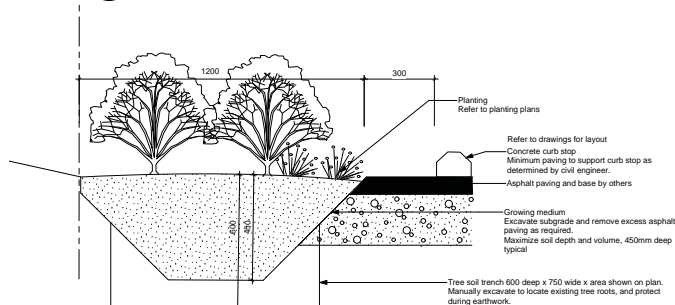


1 Tree Planting
1cm = 20cm

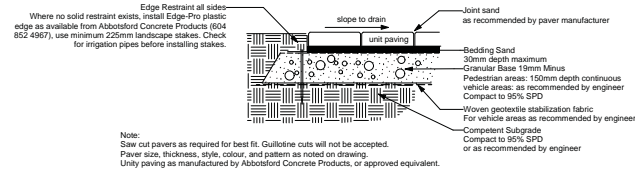


Note:
Planting and plant material in accordance with latest BC S/LA/BC/LNA Landscape Standard.
Soil depth 300mm for small/medium shrubs plus 300mm around all sides.
Soil depth large shrubs 450mm depth plus 450mm around all sides.
Planting soil depth to be continuous in planting beds.

2 Shrub Planting
1cm = 10cm



3 Planting Strip in Parking lot
1cm = 10cm

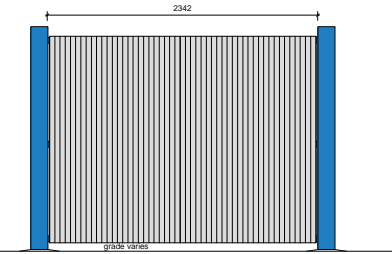
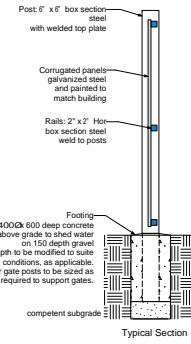


4 Unit Paving
1cm = 10cm

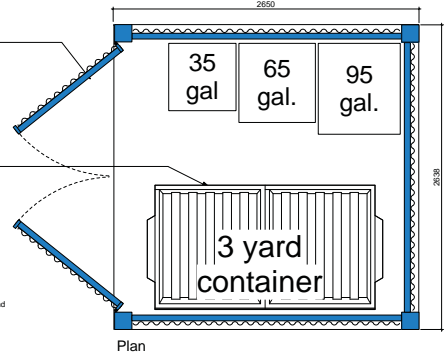


Planter box with aluminum frame and synthetic timber slats. Rutherford 3' and 2' wide x 6' long x 26" tall, as manufactured by Wishbone Industries.

5 Rooftop Planter Box
not to scale



7 Section A - parking lot
1: 50 metric



6 Refuse Enclosure 1.8m Tall
1: 20 metric

ISSUED DRAWINGS	17-11-20 REVISION/ISSUE FOR DP 17-11-20 DEVELOPMENT PERMIT 17-11-20 DEVELOPMENT PERMIT
Copyright Reserved All drawings remain the property of Greenway Landscape Architecture. No part of this drawing may be reproduced without the written consent of Greenway Landscape Architecture.	Civic Address: 2280 North Avenue, Maple Ridge Legal Address: Lot 150, Block 5, District Lot 398, NW10, P1, NWP1 05 PD # 011639-5-42
RMACL	Landscape Details
Greenway Landscape Architecture 2280 North Avenue, Maple Ridge V2V 6T4 604-467-9720 E: paul@greenwayla.ca	Date: 2017-05-29 Scale: As Noted Drawn: PACW Project ID: 1710 Sheet: L2.1

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
MEETING DATE: March 13, 2018
FILE NO: 2016-066-DVP
MEETING: Council
SUBJECT: Development Variance Permit
24240 125 Avenue

EXECUTIVE SUMMARY:

Development Variance Permit application 2016-066-DVP has been received in conjunction with Rezoning and Subdivision applications to create two RS-2 (One Family Suburban Residential) zoned lots. The requested variances are to:

1. Reduce the 125th Avenue Local Street, Rural standard width requirement from 20.0m (65.62 ft.) to 15.0m (49.21 ft.); and
2. Reduce the 125th Avenue Local Street, Rural standard asphalt width requirement from 7.0m (22.97 ft.) to 6.2m (20.34 ft.).

Council will be considering final reading for rezoning application 2016-066-RZ on March 13, 2018.

It is recommended that Development Variance Permit 2016-066-DVP be approved.

RECOMMENDATION:

That the Corporate Officer be authorized to sign and seal 2016-066-DVP respecting property located at 24240 125 Avenue.

DISCUSSION:

a) Background Context

Applicant:	Bruce Ma
Legal Description:	Lot 56, Section 22, Township 12, New Westminster District Plan 43885
OCP :	
Existing:	Estate Suburban Residential
Proposed:	Estate Suburban Residential
Zoning:	
Existing:	RS-3 (One Family Rural Residential)
Proposed:	RS-2 (One Family Suburban Residential)

Surrounding Uses:

North:	Use:	Single Family Residential
	Zone:	RS-2 (One Family Suburban Residential)
	Designation:	Estate Suburban Residential
South:	Use:	Single Family Residential
	Zone:	RS-2 (One Family Suburban Residential)
	Designation:	Estate Suburban Residential
East:	Use:	Single Family Residential
	Zone:	RS-3 (One Family Rural Residential)
	Designation:	Estate Suburban Residential
West:	Use:	Single Family Residential
	Zone:	RS-2 (One Family Suburban Residential)
	Designation:	Estate Suburban Residential

Existing Use of Property:	Single Family Residential
Proposed Use of Property:	Single Family Residential
Site Area:	0.810 HA (2.0 acres)
Access:	125 th Avenue
Servicing:	Urban Standard
Lot Size:	0.40 ha (1 Acre)
Concurrent Applications:	2016-066-RZ/SD

b) Project Description:

The subject property is located in the Academy Park neighbourhood at 24240-125th Avenue. The subject property is under a rezoning application 2016-066-RZ to rezone the subject property from RS-3 (One Family Rural Residential) to RS-2 (One Family Suburban Residential) and the Rezoning Bylaw 7239-2016 is being, considered for final reading at the March 13, 2018 Council Meeting. Most of the site is relatively flat and the western third slopes down to the west as part of a natural north-south feature stretching northward through Academy Park. The subject property is located within a mix of RS-2 (One Family Suburban Residential) and RS-3 (One Family Rural Residential) zoned land with Single Family Residential homes (see Appendix A and B). The applicant is proposing to rezone the subject property from RS-3 (One Family Rural Residential) to RS-2 (One Family Suburban Residential), to permit the subdivision of two RS-2 (One Family Suburban Residential) lots, not less than 0.40 ha (1 acre).

c) Variance Analysis:

The Maple Ridge Zoning Bylaw 3510-1985 and Maple Ridge Subdivision and Development Services Bylaw 4800-1993 establish general minimum and maximum regulations for single family development and engineering standards, respectively. A Development Variance Permit allows Council some flexibility in the approval process.

The requested variances and rationale for support are described below (see Appendices C):

1. *Maple Ridge Subdivision and Development Services Bylaw No. 4800-1993, Schedule C – Required Right-of-Way Widths:* To reduce the through Local Street, Rural Standard, Right-of-Way Width from Minimum Width of 20m (65.62 ft.) to 15.0m (49.21 ft.).

The existing road width of 125th Avenue is 15m (49.21 ft.) that has been determined to be sufficient for the Rural Road designation and uses; therefore, the proposed variance to

maintain the existing width can be supported. This variance request has been common to many subdivision requests in the past, in the Academy Park area.

2. Maple Ridge Subdivision and Development Services Bylaw No. 4800-1993, Schedule D-Standard Drawings and Specifications: To reduce the constructed asphalt width of a Rural Local Road from 7.0m (22.96 ft.) to 6.2m (20.34 ft.).

The existing asphalt width of 125th Avenue is 6.2m (20.34 ft.) and it has been determined to be sufficient for the Rural Street designation and uses; therefore, the proposed variance to maintain the existing asphalt width can be supported. This variance request has been common to many subdivision requests in the past in the Academy Park area.

d) Citizen/Customer Implications:

In accordance with the *Development Procedures Bylaw No. 5879-1999*, notice of Council consideration of a resolution to issue a Development Variance Permit was mailed to all owners or tenants in occupation of all parcels, any parts of which are adjacent to the property that is subject to the permit.

CONCLUSION:

The proposed variances to reduce the constructed asphalt width of a Rural Local Road from 7.0m (22.96 ft.) to 6.2m (20.34 ft.) and reduce the Rural Local Road Right-of-Way Width from Minimum Width of 20m (65.62 ft.) to 15.0m (49.21 ft.) can be supported for the reasons described above. It is therefore recommended that this application be favourably considered and the Corporate Officer be authorized to sign and seal Development Variance Permit 2016-066-DVP.

“Original signed by Wendy Cooper”

Prepared by: Wendy Cooper, MCIP, RPP
Senior Planning Technician

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

“Original signed by Frank Quinn”

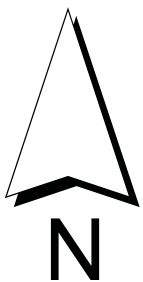
Approved by: Frank Quinn, MBA, P.Eng
GM: Public Works & Development Services

“Original signed by Frank Quinn” for

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Variance Details



Scale: 1:2,500

Legend

- Stream
- Indefinite Creek
- River Centreline
- Major Rivers & Lakes

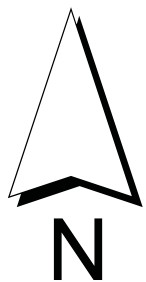
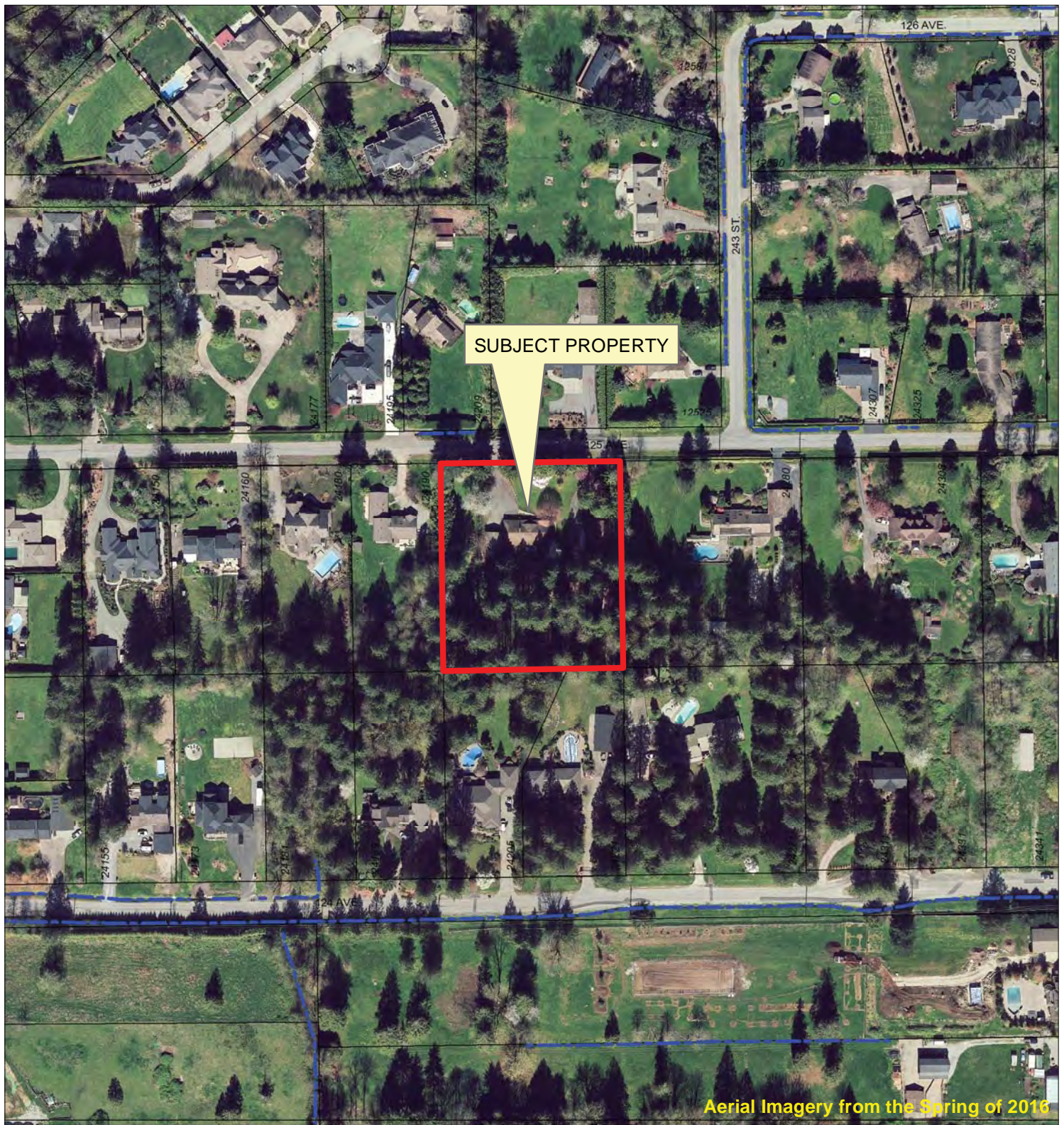
24240 125 Avenue
2011 Image

PLANNING DEPARTMENT



2016-066-RZ
DATE: Mar 10, 2016

BY: JV



Scale: 1:2,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

24240 125 AVENUE

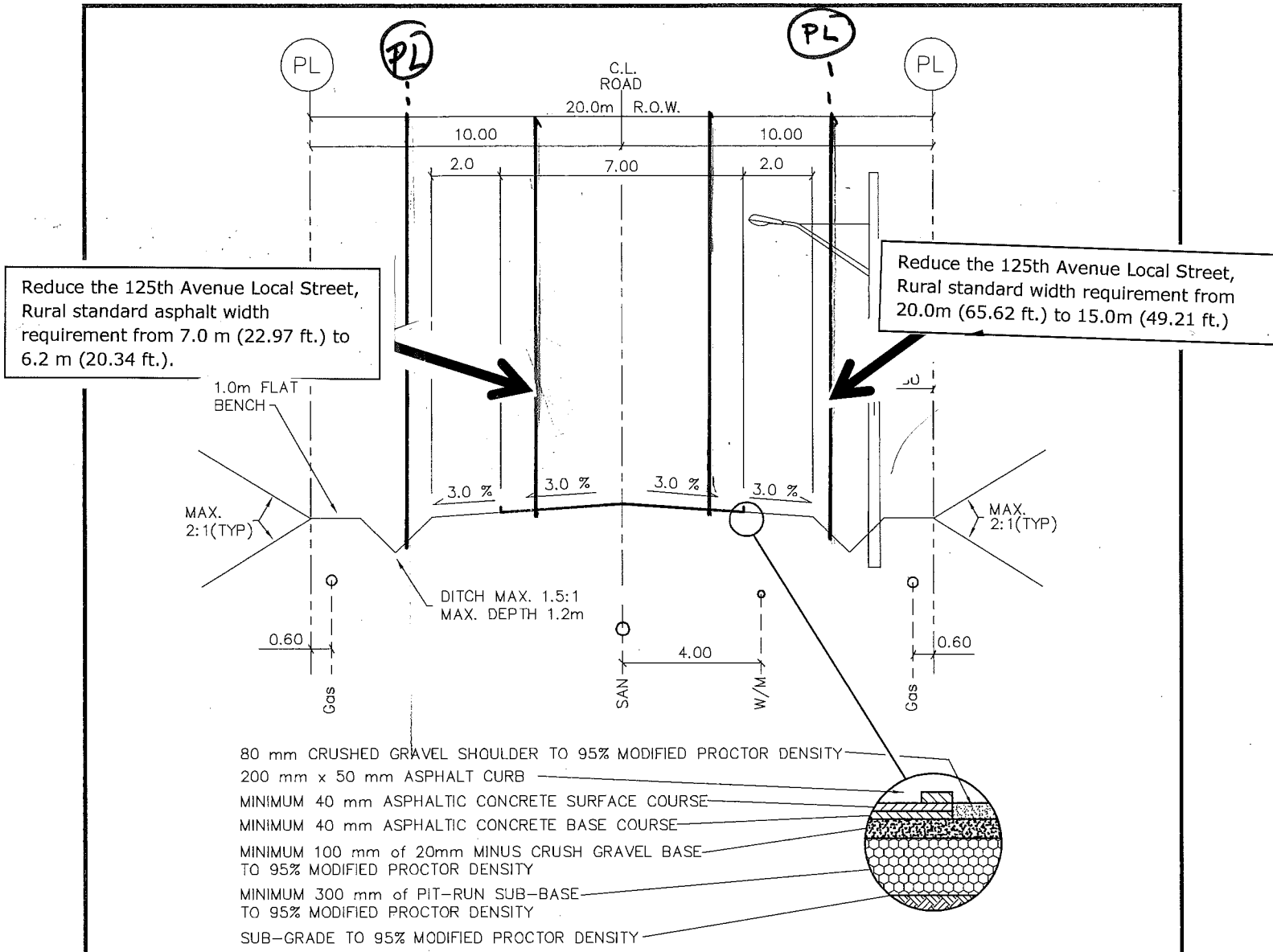
PLANNING DEPARTMENT



2016-066-SD
DATE: Apr 19, 2017

BY: JV

APPENDIX C



NOTES:

1. THE STRUCTURAL ROAD ELEMENTS SHOWN ARE THE MINIMUM REQUIREMENTS. BENKELMAN BEAM TEST RESULTS OR AN EQUIVALENT TECHNIQUE SHALL BE USED TO DESIGN THE ROAD STRUCTURE.
2. ALL UTILITY SERVICES AND SERVICE CONNECTIONS SHALL BE INSTALLED PRIOR TO FINAL PAVING.
3. ALL PERMANENT WORKS ON PRIVATE PROPERTY SHALL BE PROTECTED BY A REGISTERED EASEMENT OR RIGHT OF WAY.
4. DITCHES SHALL BE PIPED PAST UTILITY POLES AND FIRE HYDRANTS WHERE REQUIRED.
5. MAST ARM LIGHTINGS ARE REQUIRED AT INTERSECTIONS, DEAD ENDS AND AS NECESSARY.
6. MMCD R1.

RURAL LOCAL



CITY OF MAPLE RIDGE
ENGINEERING DEPARTMENT

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

NO.	DATE	REVISION		
DESIGN:	GS	DRAWN:	GS	DWG No.
DATE:	JAN 2012	SCALE:	NTS	R108

City of Maple Ridge

TO:	Her Worship Mayor Nicole Read and Members of Council	MEETING DATE:	March 13, 2018
		FILE NO:	2017-500-DP
FROM:	Chief Administrative Officer	MEETING:	2017-501-DVP Council
SUBJECT:	Development Permit and Development Variance Permit 11865 227 Street		

EXECUTIVE SUMMARY:

Town Centre Development Permit and Development Variance Permit applications have been received for the subject property located at 11865 – 227th Street, to permit the construction of Phase 3 of a Four Phased mixed use residential/commercial development located within the Town Centre. The proposal will contain 44 residential units and 1,015m² (10,925 ft.²) of commercial space which is permitted under the C-3 (Town Centre Commercial) zone. This application is subject to the Town Centre Development Permit – Civic Core Guidelines as outlined in the Town Centre Area Plan of the Official Community Plan (OCP).

The applicant is seeking the following variances to accommodate the building design as required with the earlier phases:

- To reduce the front yard setback from 7.5m to 1.1m where the building is used for apartment use above the second storey, with no further siting exceptions;
- To reduce the rear yard setback from 6.0m to 0.0m and where the building is used for apartment use above the second storey, the distance from rear lot lines above the second storey shall be not less than 7.5m to 0.0m, with no further siting exceptions;
- To reduce the interior side yard setback from 4.5m to 0.0m above the third storey, with no further siting exceptions;
- To reduce the exterior side yard setback above the third from 4.5m to 2.0m, with no further siting exceptions.

The applicant is also seeking variances to the Off Street Parking and Loading Bylaw No. 4350-1990 as follows:

1. Section, 4.1 (a) (iv) is proposed to be varied to allow tandem parking in the C-3 (Town Centre Commercial) zone which may have obstructed access where the primary parking space is an intervening parking space. This development exceeds the required number of parking spaces and these tandem stalls are in excess of the minimum requirement. Each tandem parking stalls will be allocated to a single residential unit via a restrictive covenant; therefore, 6 of the residential units will have 2 parking spaces via a tandem configuration. The proposal requires 53 residential parking stalls and 60 parking stalls including the 6 tandem stalls have been provided for the residential units in the private residential underground garage. (Appendix E)

RECOMMENDATION:

1. That the Corporate Officer be authorized to sign and seal 2017-501-DVP respecting property located at 11865 227 Street; and
2. That the Corporate Officer be authorized to sign and seal 2017-500-DP respecting property located at 11865 227 Street.

DISCUSSION:

a) Background Context:

Applicant:	Falcon Village Joint Venture
Owner:	City of Maple Ridge
Legal Description:	Lot 3 District Lot 401 Group 1 New Westminster District Plan EPP65496
OCP :	
Existing:	Town Centre Commercial
Zoning:	
Existing:	C-3 (Town Centre Commercial)
Proposed:	C-3 (Town Centre Commercial)
Surrounding Uses	
North:	Use: Mixed Residential/Commercial Building under construction
	Zone: C-3 (Town Centre Commercial)
	Designation: Town Centre Commercial
South:	Use: Mixed Residential/Commercial Building
	Zone: CD-187 (Town Centre Commercial, Tourist Accommodation, Apartment)
	Designation: Town Centre Commercial
East:	Use: Haney Place Mall
	Zone: C-3 (Town Centre Commercial)
	Designation: Town Centre Commercial
West:	Use: Vacant Property (Phase 4) and Show Sales Centre
	Zone: RS-1 (One Family Urban Residential)
	Designation: Medium and High-Rise Apartment
Existing Use of Property:	Vacant
Proposed Use of Property:	Mixed use Commercial/Multi-Family Development
Site Area:	0.189 ha
Access:	227 th Street
Servicing:	Urban

b) Project Description:

The subject property under application is part of a four phased development project which includes a total of four mixed-use (residential/commercial) buildings varying in height from five to six storeys, arranged in a quadrangle style with an inner courtyard.

The phase one building is currently under construction and phases 2 and 4 have been issued Development Permits. The subject property under application is zoned C-3 (Town Centre Commercial) which permits the proposed mixed commercial/multi-family development.

The form and character of the development will continue the building material, form, massing, style, and colour scheme from the existing buildings on 226th Street, with some variation in material and colour to maintain visual interest.

The comprehensive development plan includes an underground parkade spanning the balance of the city block that will serve the other phases of the development. The development includes a ramp to the underground parking structure will be accessed from the internal lands, similar to Phase One, which is under construction.

Both the Town Centre Area Plan guiding principles and design guidelines speak to new a development that creates a pedestrian-friendly design and enhanced public spaces that ensure an attractive, distinctive and vibrant centre. In Phases 2 and 4, the developer has incorporated a central public plaza integrated with some surface parking within the center of the block that provides landscaped green spaces, public art, seating areas, water features and routed for non-motorized transportation (emergency vehicles access is permitted). Additionally, the pedestrian realm also extends around the perimeter onto 227th Street and Selkirk Avenue. Canopies and arcades will be providing weather protection along 227th Street and Selkirk Avenue.

c) Planning Analysis:

This Development Permit applications made to the City prompted referral to the Advisory Design Panel (ADP). The development is subject to the Key Guidelines and the Design Guidelines of Section 8.11 Town Centre Development Permit.

Key Guidelines

1. Promote the Civic Core as the “heart” of the Town Centre.

The subject development is part of a larger multi-phased re-development that will revitalize the largely vacant city block between the Town Centre’s two main malls, Haney Place and Valley Fair. The building has been designed to foster a vibrant urban environment by providing a sensitive design to both street frontages, as well as an access to a future central gathering space being provided in Phase 2 and 4, that will accommodate a range of activities for the public.

2. Create a pedestrian-oriented, boutique style shopping district.

Ground Floor Commercial units located adjacent to Selkirk Avenue and 227th Street are covered with an arcade that provides a welcoming and inviting space for pedestrians. The arcade component of the building is in keeping with the existing buildings along 226th Street and the recently approved Phases 2 and 4, as well as, Phase 1 that is under construction.

3. Reference traditional architectural styles.

The building’s architectural style reflects the established architectural style that has been created within the Town Centre. This architectural style uses a mixture of materials including brick, which references the Town Centre’s existing buildings and heritage. The design of the development echoes

recently constructed buildings to the west and the continued “Old World” quadrangle design set around the Public Plaza.

4. *Capitalize on importance views.*

The residential units on the east and north side of the building are orientated for mountain view opportunities.

5. *Enhance existing and cultural activities and public open space.*

Phases 1, 2 and 4 of the development will include a portion of public open space surrounding the ground floor commercial units that will form part of a larger central space.

6. *Provide climate appropriate landscaping and green features.*

The Landscape Plan includes storm water management features in the central plaza.

7. *Maintain street interconnectivity.*

Phases 1, 2 and 4 includes a public plaza which this project has access to and use of.

d) Advisory Design Panel:

The Advisory Design Panel (ADP) reviewed the form and character of the proposed development and the landscaping plans at a meeting held on January 17, 2018. The project was presented by the project Architect and Landscape Architect, the ADP made the following resolution:

“The application be supported as presented and the applicant proceed to Council for approval.”

e) Variance Analysis:

The Zoning Bylaw establishes general minimum and maximum regulations for Mixed Use developments. A Development Variance Permit allows Council some flexibility in the approval process.

The requested variances and rationale for support are described below:

1. Maple Ridge Zoning Bylaw No. 3510-1985:
 - a. Section 703 (8) (a) is proposed to be varied from where the building is used for apartment use above the second storey, the distance from the front lot line above the second storey shall be not less than 7.5m to 1.1m.
 - b. Section 703 (8) (a) is proposed to be varied from where the building is used for apartment use above the second storey, the distance from the rear lot line above the second storey shall be not less than 7.5m to 0.0m.
 - c. Section 703 (8) is proposed to be varied where no building or structure shall be sited less than 6.0m to 0.0m from a rear lot line.
 - d. Section 703 (8) (b) is proposed to be varied from a minimum above the third storey of a buildings, the distance from exterior side lot lines shall be not less than 4.5 m to 2.0 m above the third storey; and
 - e. Section 703 (8) (b) is proposed to be varied from a minimum of 4.5m to 0.0 m above the third storey of a building, the distance from west side lot line.

The proposed variances (Appendix F) will create strong building orientation to the street and reduce the tier distance between floors and create the appearance of a uniform building design for the entire city block which is supported by the following Town Centre Development Permit Guidelines. Similar variances were required to accommodate the early buildings 226th and 227th Street as well as, Selkirk Avenue.

f) Financial Implications:

In accordance with Council's Landscape Security Policy, a refundable security equivalent to 100% of the estimated landscape cost will be provided to ensure satisfactory provision of landscaping in accordance with the terms and conditions of the Development Permit. Based on an estimated landscape cost of \$98,309.99, the security will be \$98,309.99.

CONCLUSION:

A Development Variance Permit application and a Town Centre Development Permit application have been received for the subject property located at 11865 – 227th Street (PID 030-163-633) to construct a mixed use commercial/residential six storey building consisting of approximately 1,010.97 sq. m (10,882 sq. ft.) of ground floor commercial and 44 residential units. This application is subject to the Town Centre Development Permit – Civic Core Guidelines as outlined in the Town Centre Area Plan of the Official Community Plan (OCP). It is recommended that the Corporate Officer be authorized to sign and seal applications 2017-500-DP and 2017-501-DVP.

“Original signed by Wendy Cooper”

Prepared by: Wendy Cooper, MCIP,RPP
Senior Planning Technician

“Original signed by Christine Carter”

Approved by: Christine Carter, M.PL, MCIP, RPP
Director of Planning

“Original signed by Frank Quinn”

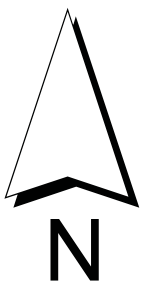
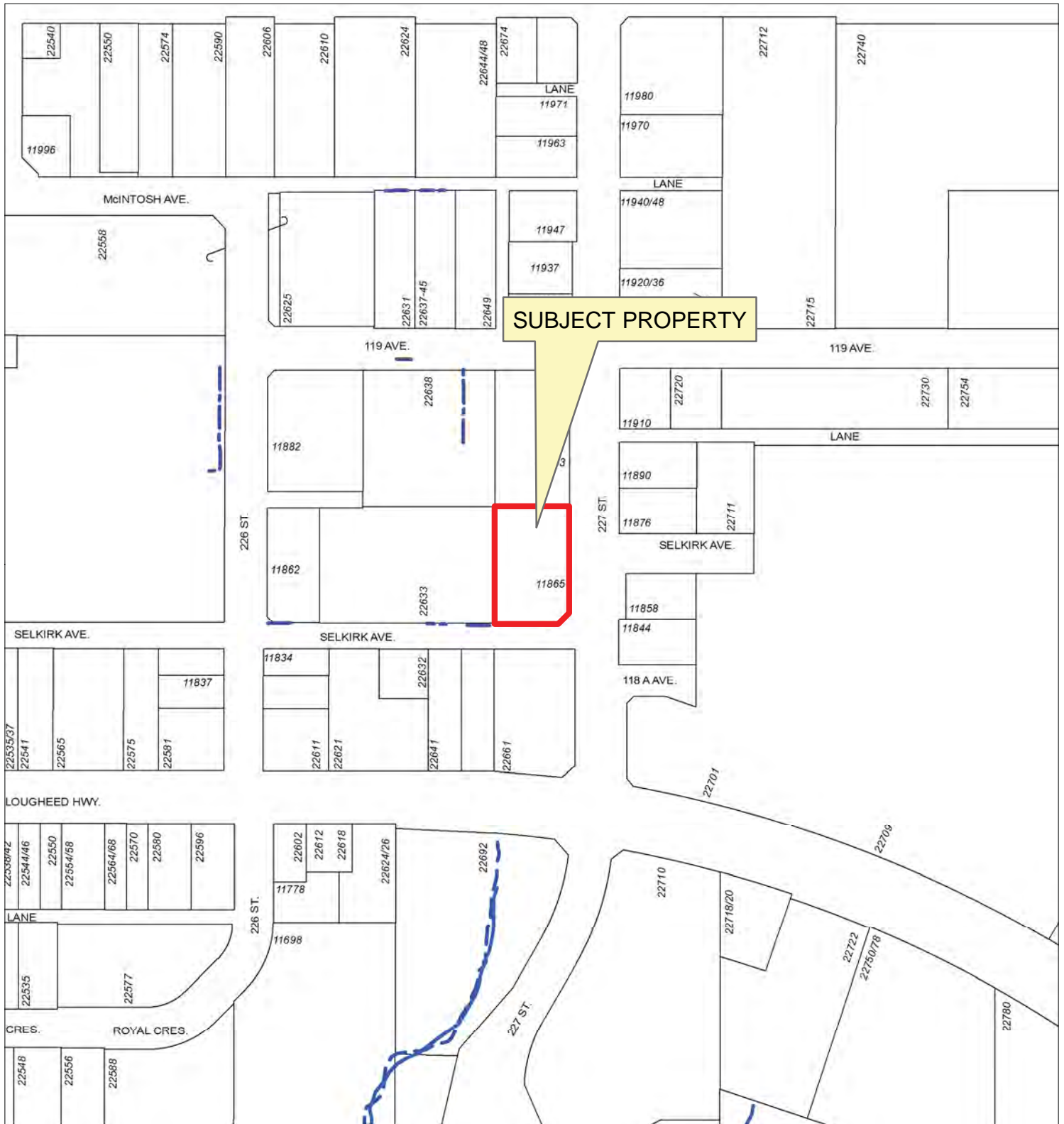
Approved by: Frank Quinn, MBA, P.Eng
GM: Public Works & Development Services

“Original signed by Frank Quinn” for

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

The following appendices are attached hereto:

- Appendix A – Subject Map
- Appendix B – Ortho Map
- Appendix C – Landscape Plans
- Appendix D – Architectural Elevations
- Appendix E – Tandem Parking Configuration
- Appendix F – Zoning Variances



Scale: 1:2,500

Legend

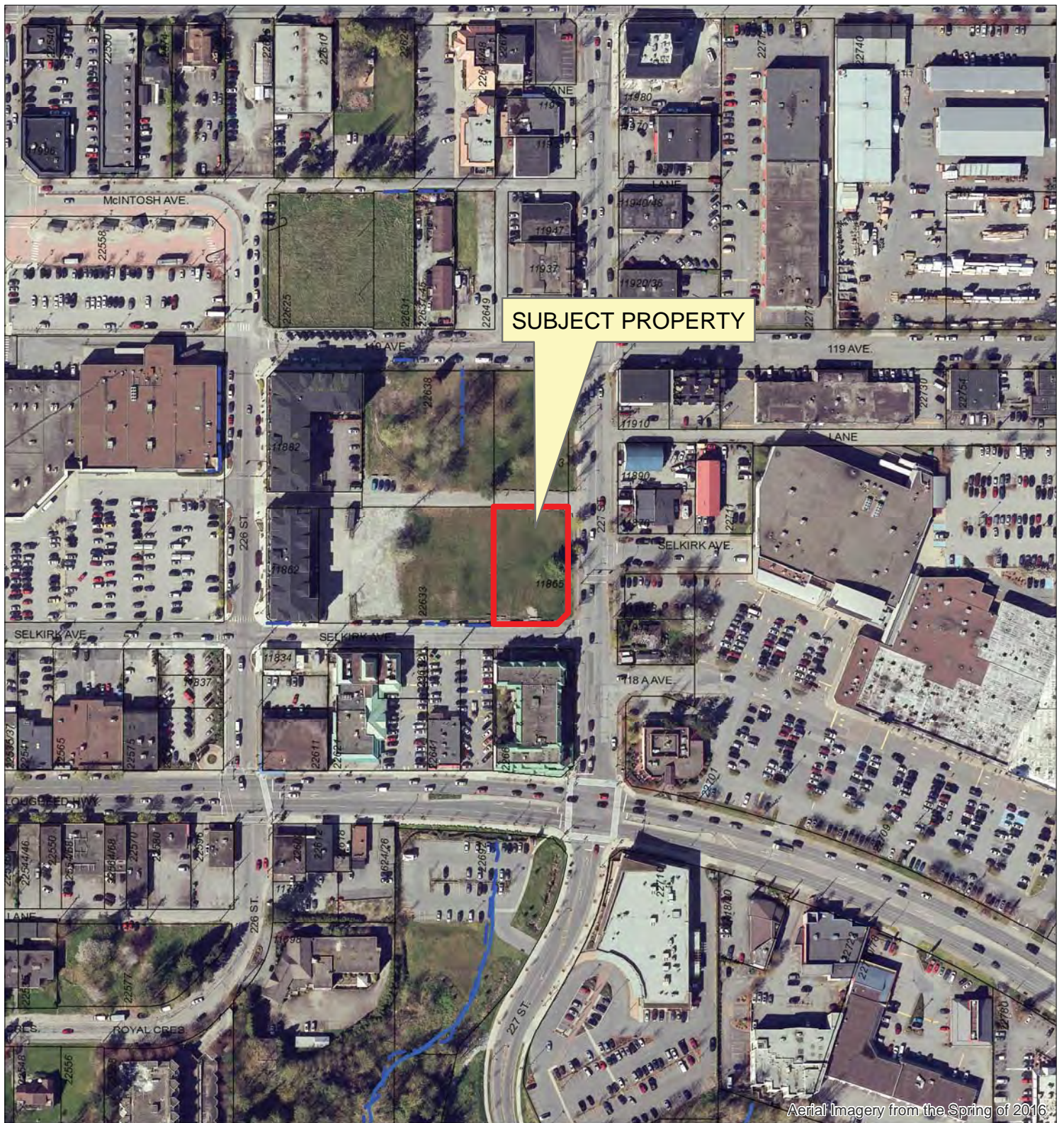
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- Indefinite Creek
- River
- Major Rivers & Lakes

11865 227 Street

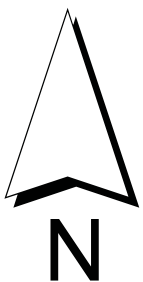


2017-500-DP
DATE: Oct 31, 2017

BY: JV



Aerial Imagery from the Spring of 2016



Scale: 1:2,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

11865 227 Street

PLANNING DEPARTMENT



MAPLE RIDGE

British Columbia

mapleridge.ca

2017-500-DP
DATE: Oct 31, 2017

BY: JV

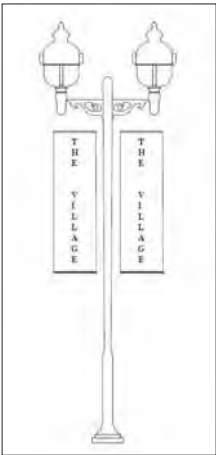
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SHEET LIST

- L1 PHASE LINES
- L2 SITE PLAN
- L3 TREE PLAN
- L4 SHRUB PLAN
- L5 HARDSCAPE PLAN
- L6 ON SITE FURNITURE PLAN
- L7 OFF-SITE PHASE 3
- L8 ROOFTOP PHASE 3
- L9 DETAILS
- L10 SPECIFICATION



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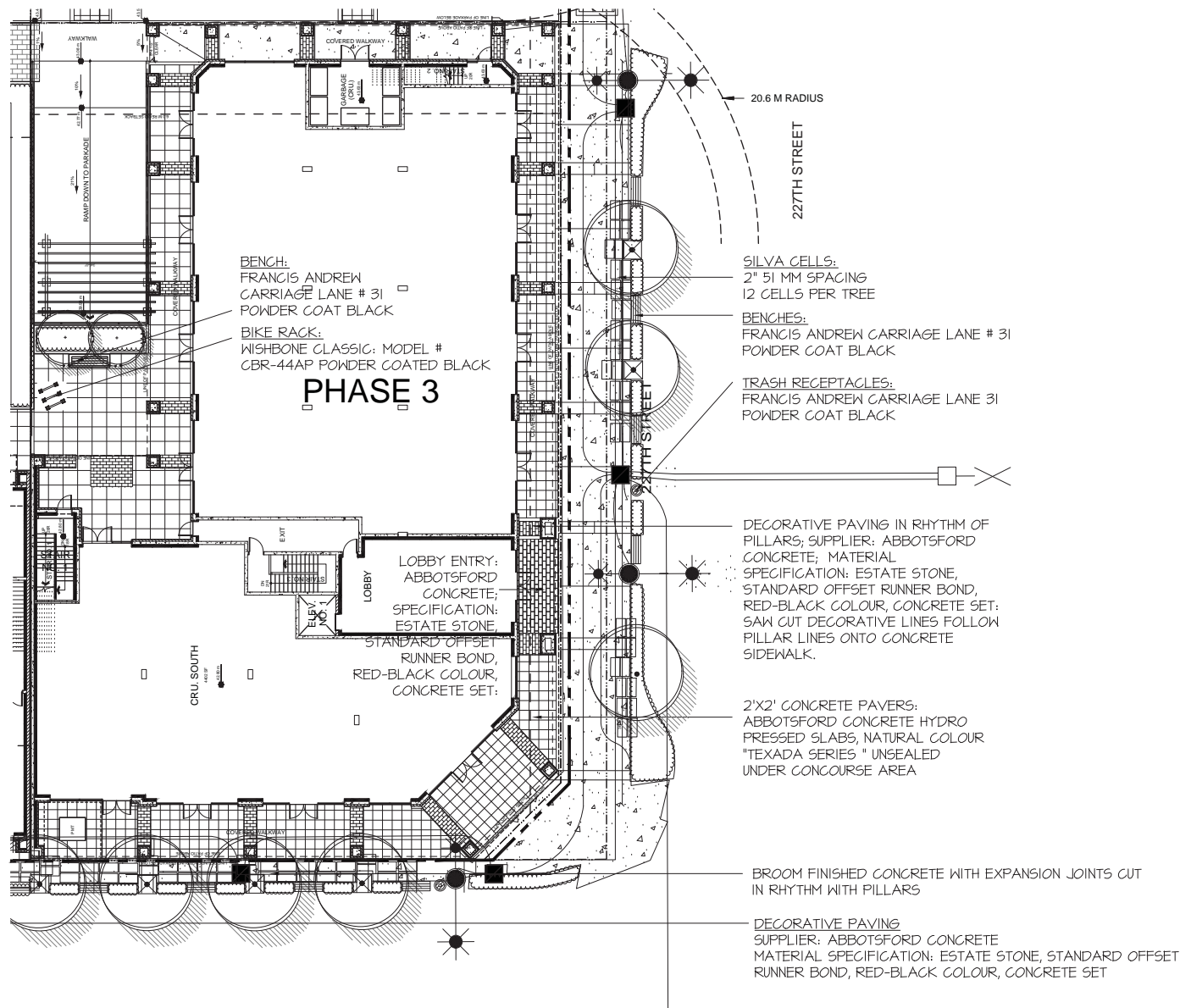
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OF 10



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MAPLE RIDGE, BC
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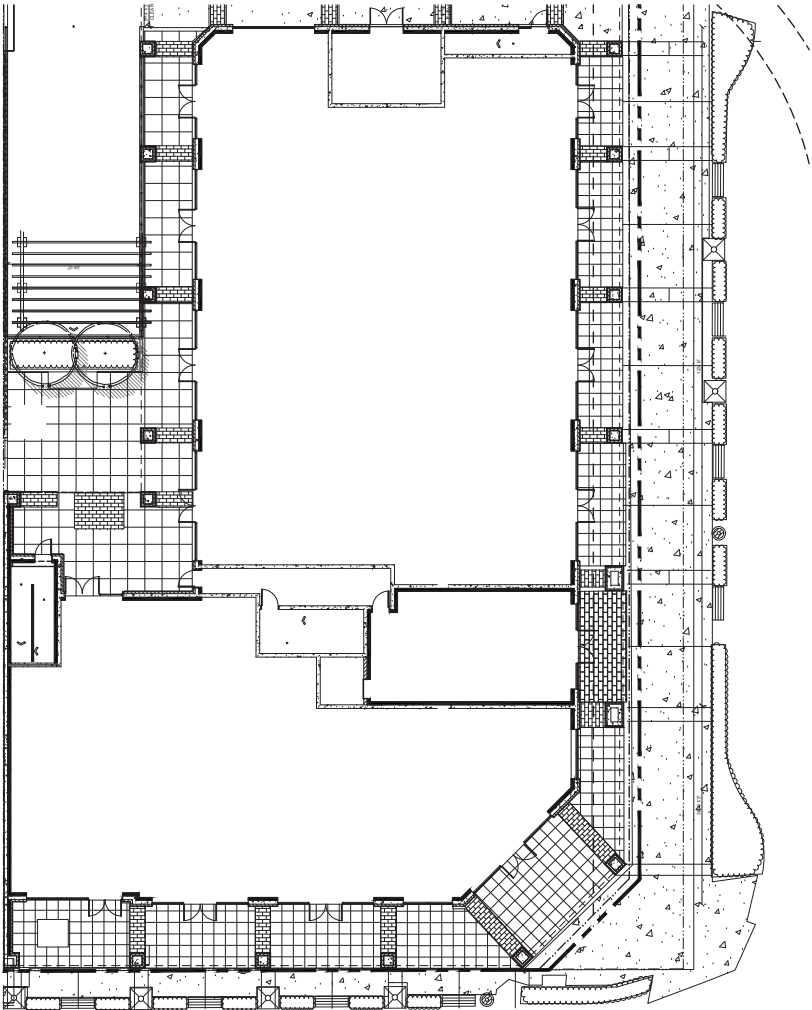
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2	CORNUS KOUSA 'HOLLEYES'	HOLLEYES CHINESE DOGWOOD	3M H15, L5M STD, B4B

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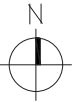
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BRICKWATER VILLAGE
MAPLE RIDGE, BC
PHASE 3

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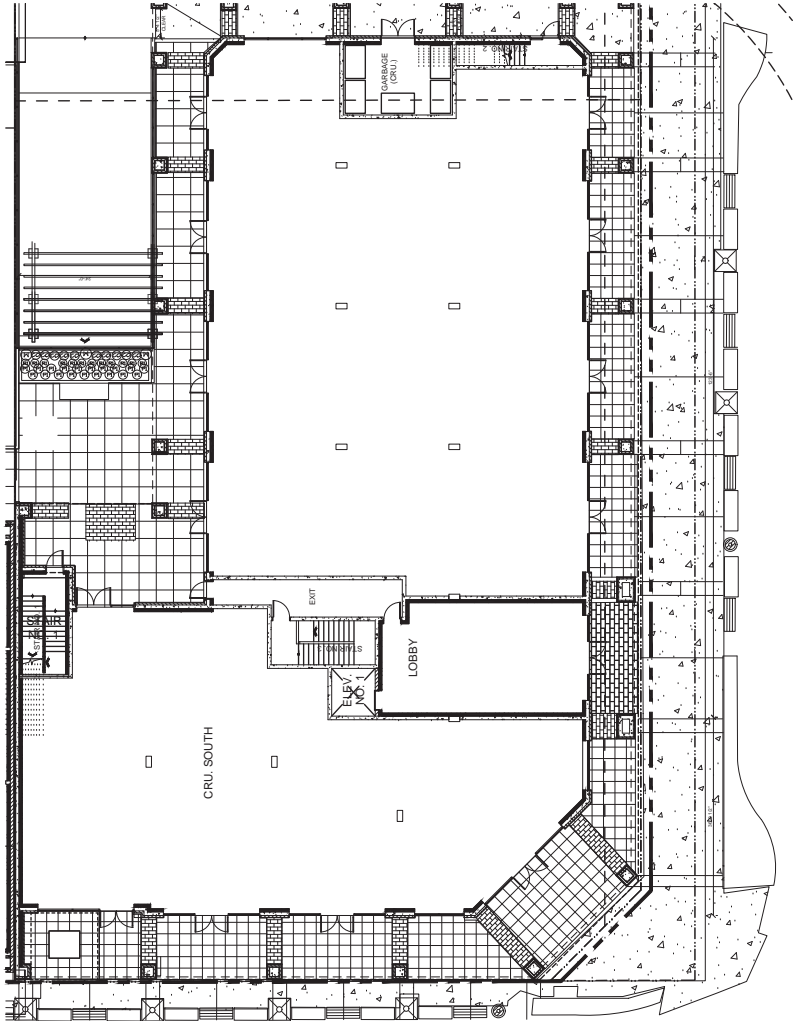
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DEC	10	COTONEASTER DAMMERI	BEARBERRY COTONEASTER	11 POT

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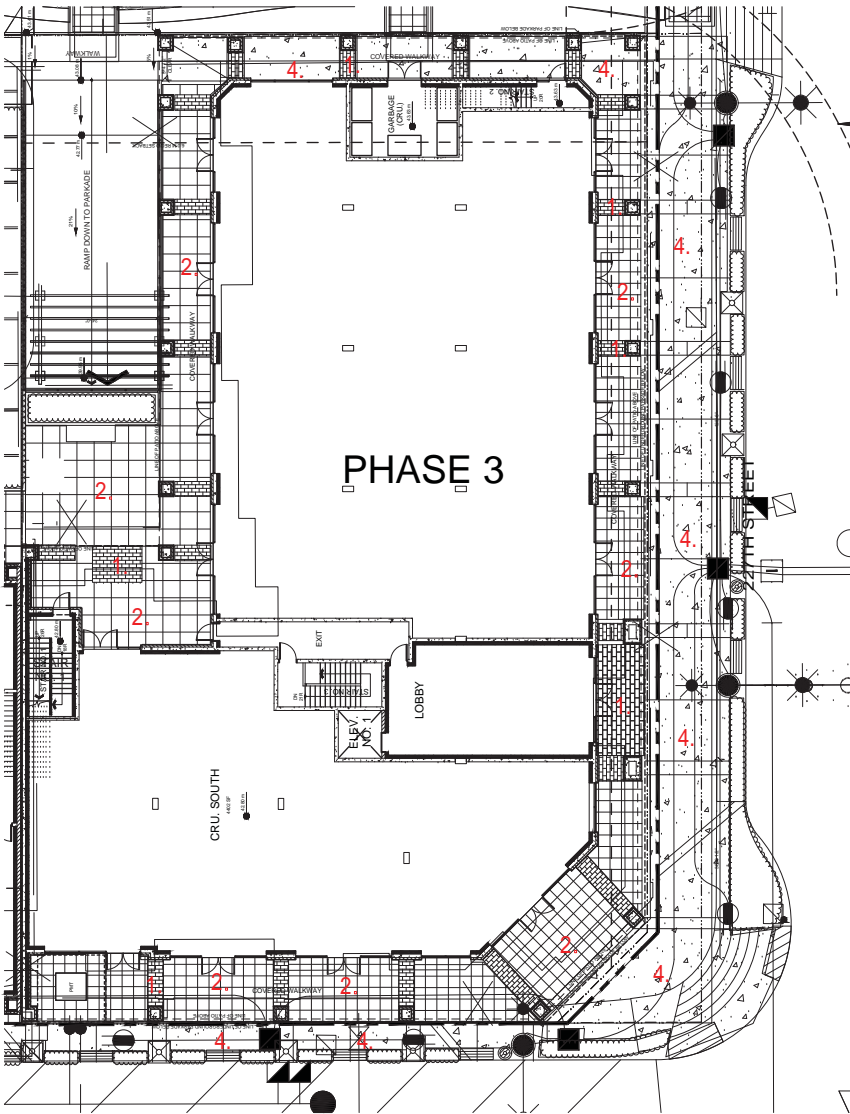
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MAPLE RIDGE, BC
PHASE 3

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OF 10
JOB NO 18017



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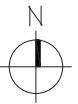
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3.  **EXPOSED AGGREGATE**
4.  **CONCRETE**
MATERIAL SPECIFICATION: BROOM FINISHED



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PROJECT:
BRICKWATER VILLAGE
MAPLE RIDGE, BC
PHASE 3

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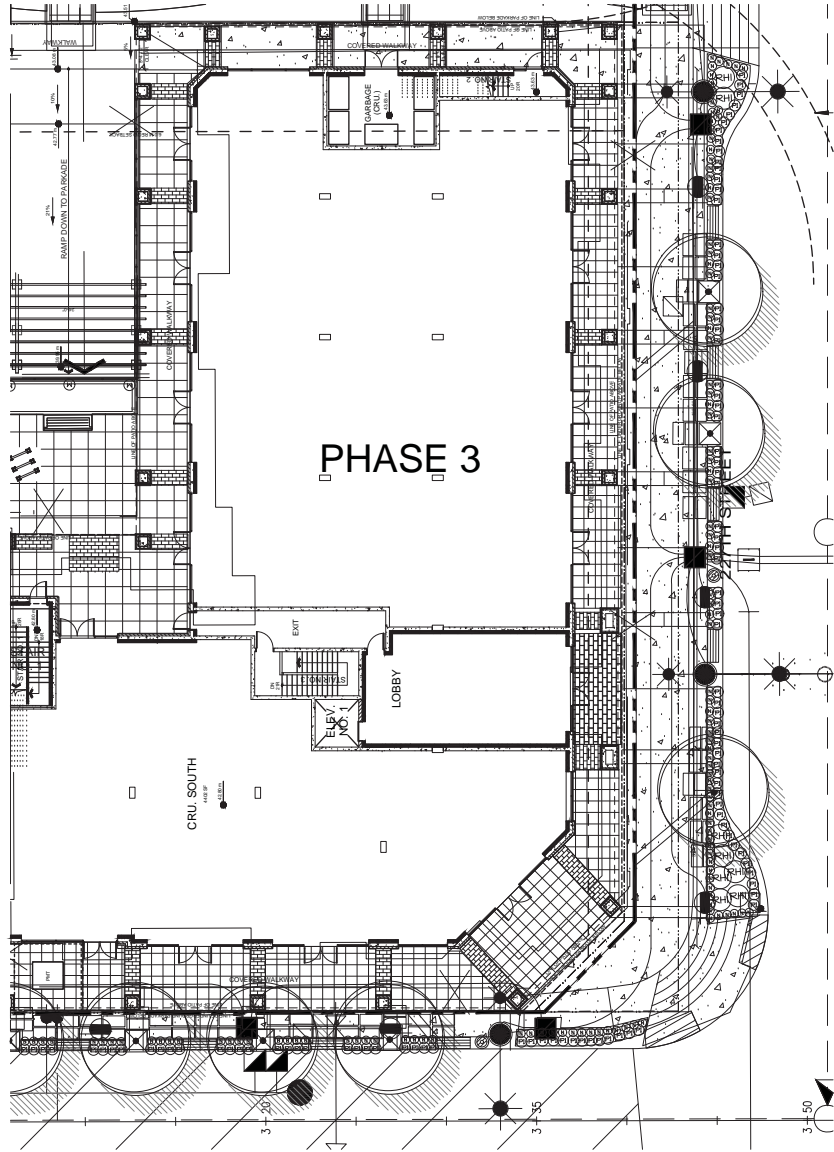
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DESIGN: TK
CHKD: MM
M2LA PROJECT NUMBER: **L5**
JOB NO 18017

16071-45.1p

PLANT SCHEDULE				M2 JOB NUMBER: 18017
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6CM CAL; 24 STD; B4B	
8	RHODODENDRON 'BON BELLS'	RHODODENDRON PINK	#2 POT; 20CM	
101	PENISSETUM ALOPECUROIDES 'HADELIN'	DWARF FOUNTAIN GRASS	#1 POT	
121	NEPETA X VERANICA 'DROPMORE'	CATMINT	15CM POT	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



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Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	07/10/2017	PHASE 3 DFP	TK
2	09/10/2017	ISSUED FOR BP-PHASE 2	BN
3	11/11/2017	UPDATED CIVIL RE-ISSUED FOR BP	GL
4	16/11/2017	RE-ISSUED FOR BP	TK
5	16/11/2017	PER ACP COMMENTS	TK/CL
6	16/11/2017	BP SUBMISSION	TK
7	16/11/2017	PHASE 2/4 ROOFTOP PLANS (BP)	DB
8	16/11/2017	DP SUBMISSION	TK
9	16/11/2017	PER CLIENT COMMENTS	DB
10	16/11/2017	PER MOST RECENT ARCH FILE	DB
11	16/11/2017	PER NEW SITE PLAN	BN
12	16/11/2017	PER FIRST ACP COMMENTS	TK
13	16/11/2017	PER NEW SITE PLAN FROM ARCHIT	TK

NO. DATE REVISION DESCRIPTION DR.

SEAL:

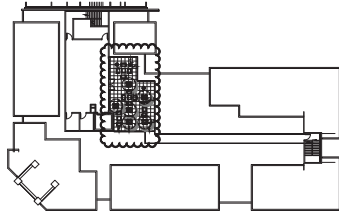
PROJECT:
BRICKWATER VILLAGE
MAPLE RIDGE, BC
PHASE 3

DRAWING TITLE:
OFF-SITE SHRUB PLAN
PHASE 3

DATE: FEB 5TH 2016	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	
DRAWN: TK	
DESIGN: TK	
CHKD: MM	
M2LA PROJECT NUMBER:	JOB NO 18017

L7

OF 10

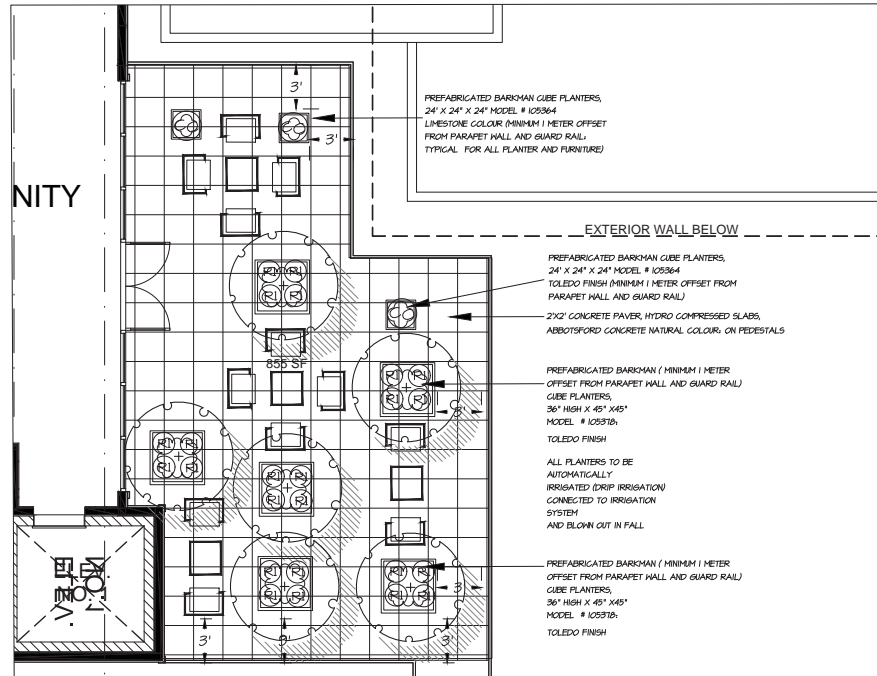


PLAN LOCATION

PLANT SCHEDULE				M2 JOB NUMBER: 18017
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	6	CORNUS KOUSA 'CHINENSIS'	CHINESE DOGWOOD	25M HT, STD FORM, B&B
GRASS	3	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FOERSTER REED GRASS	#2 POT
PERENNIAL	24	RUDEBECKIA FULGIDA VAR SULLIVANTII 'GOLDSTUR'	RUDEBECKIA	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNITA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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1 ROOFTOP LAYOUT PHASE 3
L8 SCALE: 1/4"=1'-0"

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NO.	DATE	REVISION DESCRIPTION	DR.
1	02/10/2017	PHASE 3 CP	TK
2	10/10/2017	ISSUED FOR BP-PHASE 2	BN
3	11/11/2017	UPDATED CIVIL RE-ISSUED FOR BP	GL
4	16/11/2017	RE-ISSUED FOR BP	TK
5	16/11/2017	PER ACP COMMENTS	TKGL
6	16/11/2017	BP SUBMISSION	TK
7	16/11/2017	PHASE 2/4 ROOFTOP PLANS (BP)	DB
8	16/11/2017	CP SUBMISSION	TK
9	16/11/2017	PER CLIENT COMMENTS	DB
10	16/11/2017	PER MOST RECENT ARCH FILE	DB
11	16/11/2017	FOR NEW SITE PLAN	BN
12	16/11/2017	PER FIRST ACP COMMENTS	TK
13	16/11/2017	PER NEW SITE PLAN FROM ARCHIT	TK

NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
BRICKWATER VILLAGE
MAPLE RIDGE, BC
PHASE 3

DRAWING TITLE:
ROOFTOP LAYOUT
PHASE 3

DATE: FEB 5TH 2018 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: TK
DESIGN: TK
CHKD: MM

L8

OF 10

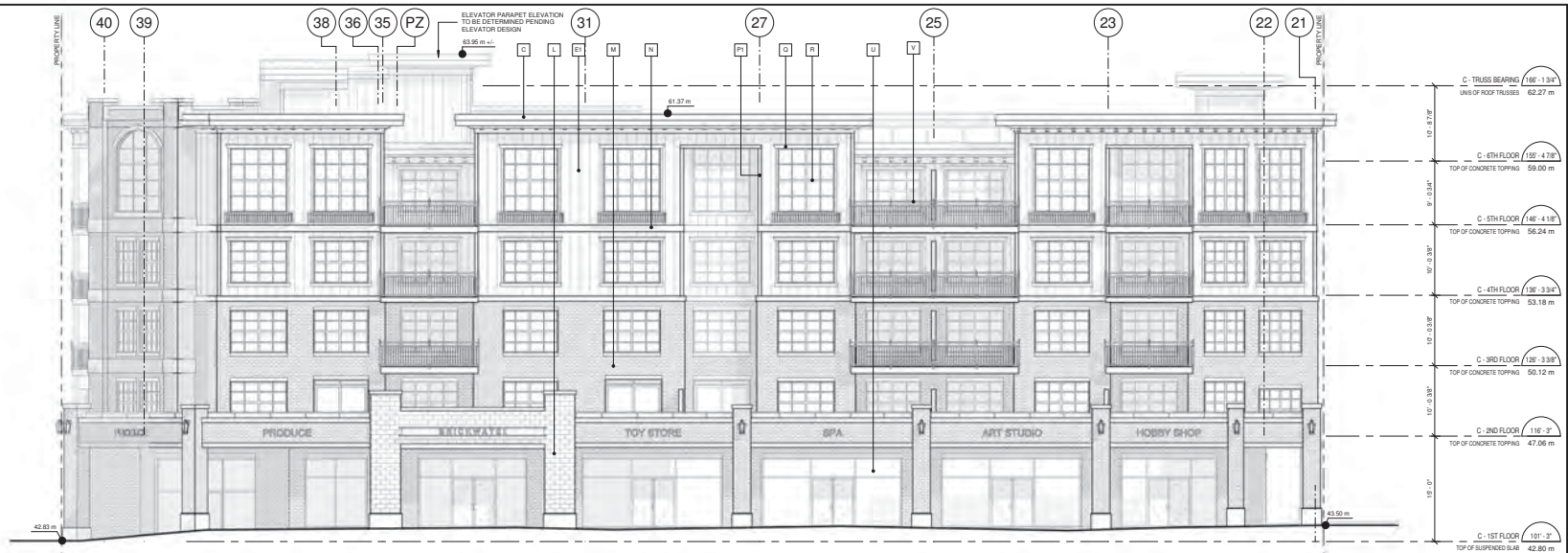
M2LA PROJECT NUMBER: JOB NO 18017



BRICKWATER VILLAGE - PHASE 3

<p>30: ISSUED FOR ADP DEC. 14 2017</p> <p>20: ISSUED FOR DEVELOPMENT PERMIT SEP. 15 2017</p> <p>10: ISSUED FOR CLIENT REVIEW JAN. 26 2017</p> <p>No. Description Date</p>	<p>CONSULTANT:</p>	<p>points west ARCHITECTURE</p> <p>203 - 2190 W. Railway St. Abbotsford, B.C. V2S 2S2</p> <p>PHONE: 604-864-8555 FAX: 604-864-8505 E: pwa@pointswestarch.com</p>	<p>PROJECT: BRICKWATER VILLAGE, BLDG C 48 UNITS</p> <p>11893 - 227th STREET, MAPLE RIDGE</p> <p>DATE: APRIL 2016 SCALE: 1/4" = 1'-0" DRAWN: WFP TF</p>	<p>DRAWING TITLE: COVER SHEET</p> <p>JOB NO: 1608</p> <p>SHEET NO: DP0.0c</p>
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EAST ELEVATION

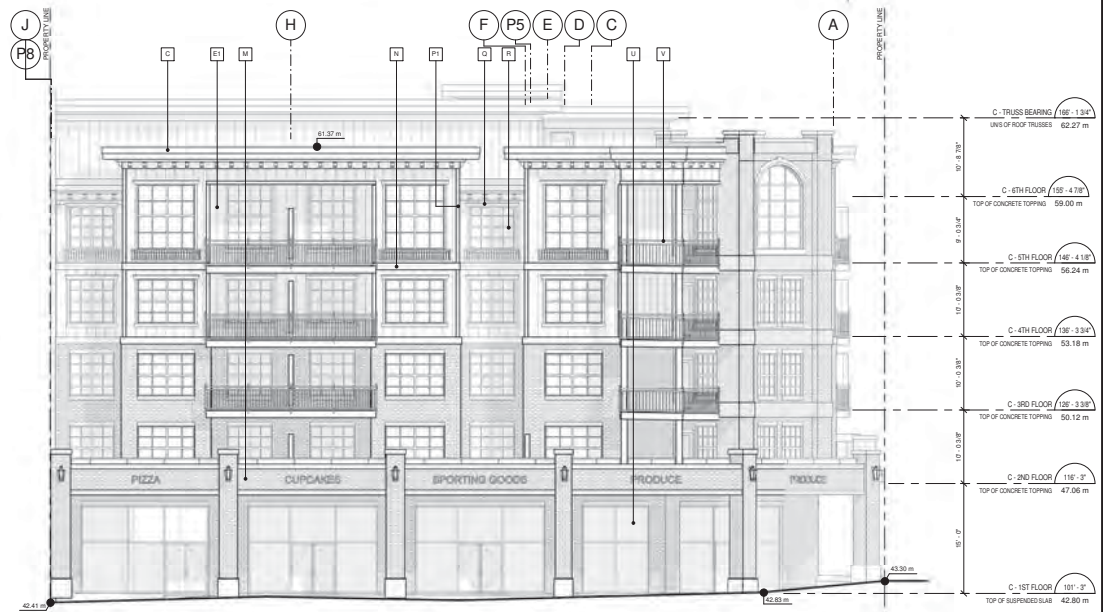
1/8" = 1'-0"

BUILDING FINISHES - BUILDING C

- C - FASCIA - PAINTED BUILT-UP FASCIA BOARD
COLOUR TO MATCH BENJAMIN MOORE 2124-10 WROUGHT IRON
- E1 - WALL - PAINTED CEMENTITIOUS BOARD AND BATTEN SIDING
COLOUR TO MATCH JAMES HARDIE COBBLE STONE
- L - WALL - CAST CONCRETE STONE
ARRISCRRAFT RENAISSANCE SANDBLASTED WHEAT
- M - WALL - BRICK VENEER
MUTUAL MATERIALS CLASSIC USED
- N - TRIM - PAINTED 2x12 MDOBAND & FLASHING (TYPICAL)
COLOUR AT 4TH FLOOR AND AT ALL DECK EDGES TO MATCH BENJAMIN MOORE 2124-10 WROUGHT IRON
COLOUR AT 5TH FLOOR TO MATCH JAMES HARDIE COBBLE STONE
- P1 - TRIM - PAINTED 2x6 CORNER TRIM
COLOUR TO MATCH JAMES HARDIE COBBLE STONE
- Q - TRIM - PAINTED 2x6 WINDOW TRIM
COLOUR TO MATCH BENJAMIN MOORE 2124-10 WROUGHT IRON
- R - GLAZING - VINYL FRAME WINDOW UNIT
FRAME COLOUR TO BE FACTORY BLACK
- U - GLAZING - PREFABRICATED STOREFRONT
FRAME COLOUR TO BE FACTORY BLACK
- V - MISC - METAL GUARD
COLOUR TO BE FACTORY BLACK

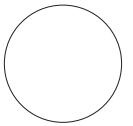
NOTES

1. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION



SOUTH ELEVATION

1/8" = 1'-0"



1. ISSUED FOR ADP	DES. 14 2017
2. ISSUED FOR DEVELOPMENT	ISS. 15 2017
PERMIT	
3. ISSUED FOR CLIENT REVIEW	JUL. 28 2017
No. Description	Date

REVISIONS:

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EMAIL: info@pointswest.ca

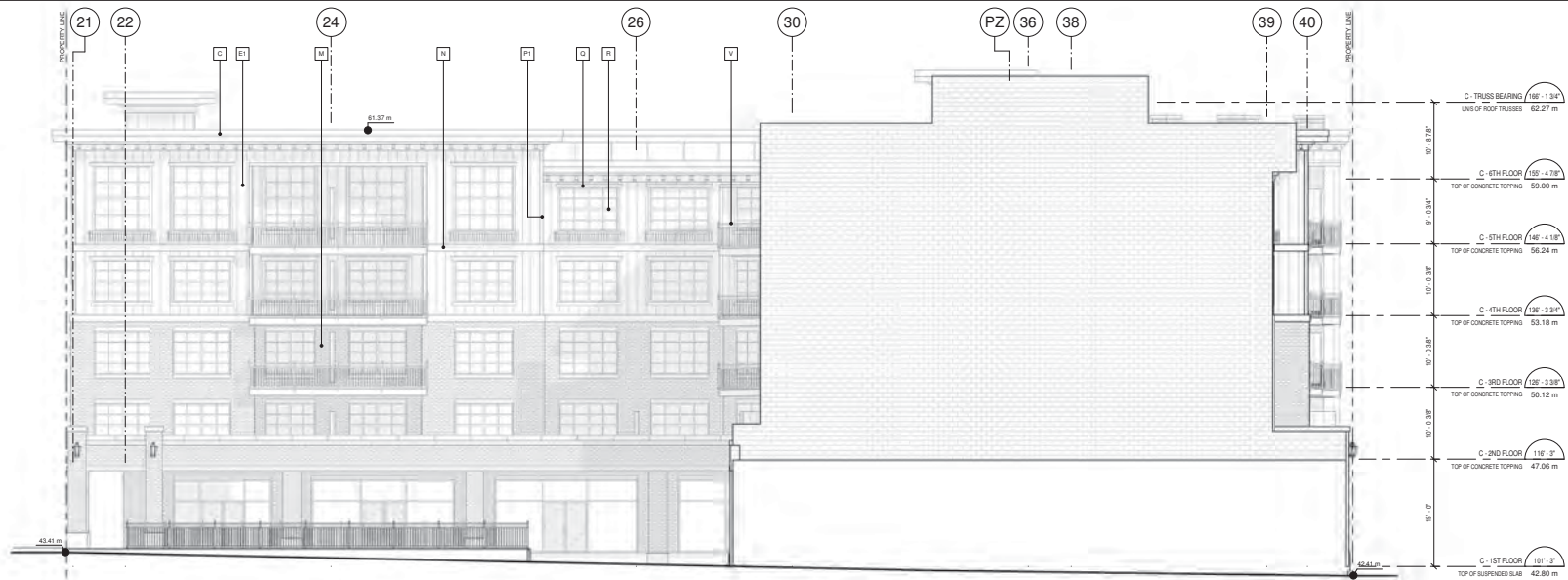
PROJECT:
BRICKWATER
VILLAGE, BLDG C, 48
UNITS

11893 - 227th STREET, MAPLE RIDGE

DATE:	APRIL 2016
SCALE:	As indicated
DRAWN:	WF TF

DRAWING TITLE:
ELEVATIONS

JOB NO:	SHEET NO:
1608	DP3.1c



WEST ELEVATION

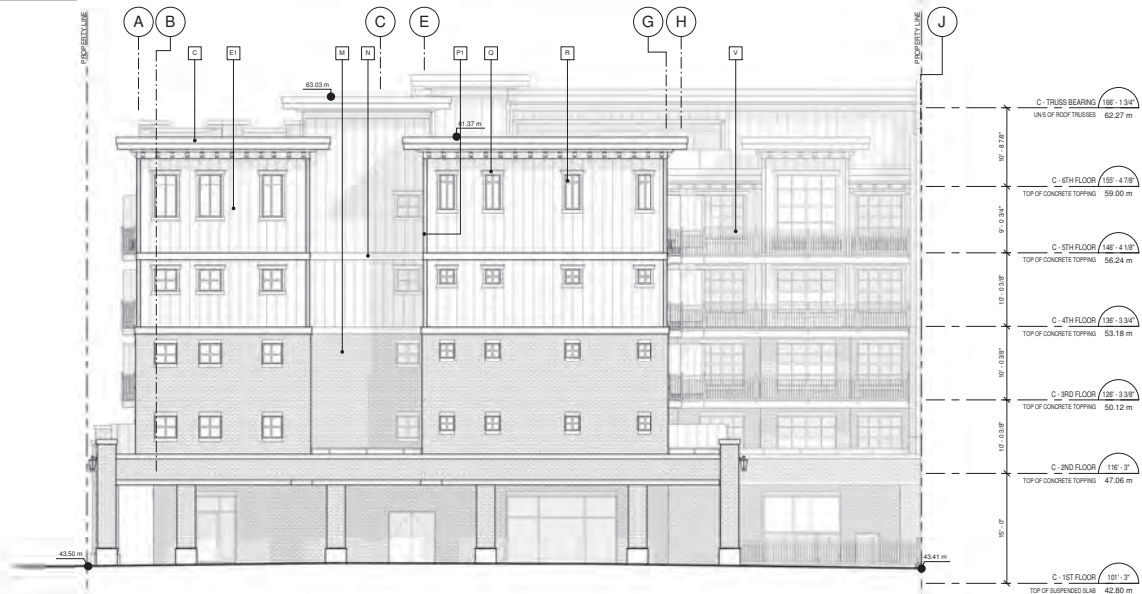
1/8" = 1'-0"

BUILDING FINISHES - BUILDING C

- C - FASCIA - PAINTED BUILT-UP FASCIA BOARD
COLOUR TO MATCH BENJAMIN MOORE 2124-10 WROUGHT IRON
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ARRISRAFT RENAISSANCE SANDBLASTED WHEAT
- M - WALL - BRICK VENEER
MUTUAL MATERIALS CLASSIC USED
- N - TRIM - PAINTED 2x12 MIBAND & FLASHING (TYPICAL)
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FRAME COLOUR TO BE FACTORY BLACK
- V - MISC - METAL GUARD
COLOUR TO BE FACTORY BLACK

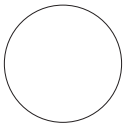
NOTES

1. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION



NORTH ELEVATION

1/8" = 1'-0"



30	ISSUED FOR ADP	DES. 14 2017
20	ISSUED FOR DEVELOPMENT	SEP. 15 2017
10	ISSUED FOR CLIENT REVIEW	JUN. 28 2017
No.	Description	Date

REVISIONS:

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CONSULTANT:

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PROJECT:
BRICKWATER
VILLAGE, BLDG C, 48
UNITS

11893 - 227th STREET, MAPLE RIDGE

DATE:	APRIL 2016
SCALE:	As indicated
DRAWN:	WF TF

DRAWING TITLE:
ELEVATIONS

JOB NO:	SHEET NO:
1608	DP3.2c

NOTES

1. THIS SITE PLAN IS TO BE READ IN CONJUNCTION WITH CIVIL & LANDSCAPE PLANS.
2. ALL TOP OF WALL AND FINISHED CONCRETE GRADES ARE TO BE CONFIRMED ON SITE.
3. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED.
4. METRIC GRADE ELEVATIONS ARE ACTUAL & GEODETIC.
5. MAIN FLOOR GEODETIC GRADE ELEVATION MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION.

LEGEND

- H/C - HANDICAPPED PARKING STALL
- S/C - SMALL CAR PARKING STALL
- SU - SUPPLY AIR
- EX - EXHAUST AIR
- T0A - TOP OF ASPHALT
- T0G - TOP OF FINISHED CONCRETE
- T0S - TOP OF GRADE
- T0B - TOP OF SUSPENDED SLAB
- T0W - TOP OF WALL
- AD - AREA DRAIN
- TBC - TO BE CONFIRMED
- SRW - SERVICE RIGHT OF WAY
- UND - UNLESS NOTED OTHERWISE

EXISTING 4
STOREY MIXED-
USE BUILDING

119TH AVENUE

LANE

227TH STREET

226TH STREET

SELKIRK AVENUE

EXISTING 4
STOREY MIXED-
USE BUILDING

BUILDING B
PHASE 2
6 STOREY

BUILDING A
PHASE 1
6 STOREY

BUILDING D
PHASE 4
6 STOREY

BUILDING C
PHASE 3
6 STOREY

3/	ISSUED FOR ADP	DEC. 14, 2017
9/	ISSUED FOR BUILDING PERMIT	NOV. 29, 2017
10/	ISSUED FOR CONSTRUCTION	SEP. 6, 2017
2/	ISSUED FOR DEVELOPMENT PERMIT	AUG. 2, 2017
1/	ISSUED FOR CLIENT REVIEW	SEP. 19, 2017
9/	REBUSSUED FOR BP	JUN. 28, 2017
5/	REBUSSUED FOR ADP	MAR. 10, 2017
4/	REBUSSUED FOR ADP	MAR. 10, 2017
3/	REBUSSUED FOR ADP	MAR. 3, 2017
2/	ISSUED FOR BUILDING PERMIT	FEB. 8, 2017
7/	REBUSSUED FOR DEVELOPMENT PERMIT	JAN. 20, 2017
3/	ISSUED FOR ADP	JAN. 20, 2017
4/	ISSUED FOR ADP	JAN. 20, 2017
5/	ISSUED FOR COORDINATION	JAN. 13, 2017
5/	REBUSSUED FOR DEVELOPMENT PERMIT	DEC. 20, 2016
2/	ISSUED FOR DEVELOPMENT PERMIT	DEC. 19, 2016
3/	ISSUED FOR DEVELOPMENT PERMIT	DEC. 19, 2016
1/	ISSUED FOR CLIENT REVIEW	DEC. 16, 2016
2/	ISSUED FOR CLIENT REVIEW	DEC. 16, 2016
4/	ISSUED FOR COORDINATION	NOV. 25, 2016
1/	ISSUED FOR CLIENT REVIEW	NOV. 22, 2016
3/	ISSUED FOR COORDINATION	NOV. 3, 2016

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E: pwest@pointswestarch.com

PROJECT:
BRICKWATER
VILLAGE

11893 - 227th STREET, MAPLE RIDGE

DATE: APRIL 2016
SCALE: As indicated
DRAWN: WVF TF HB AG AF

DRAWING TITLE:
SITE PLAN

JOB NO:
1509
1604
1608
1609

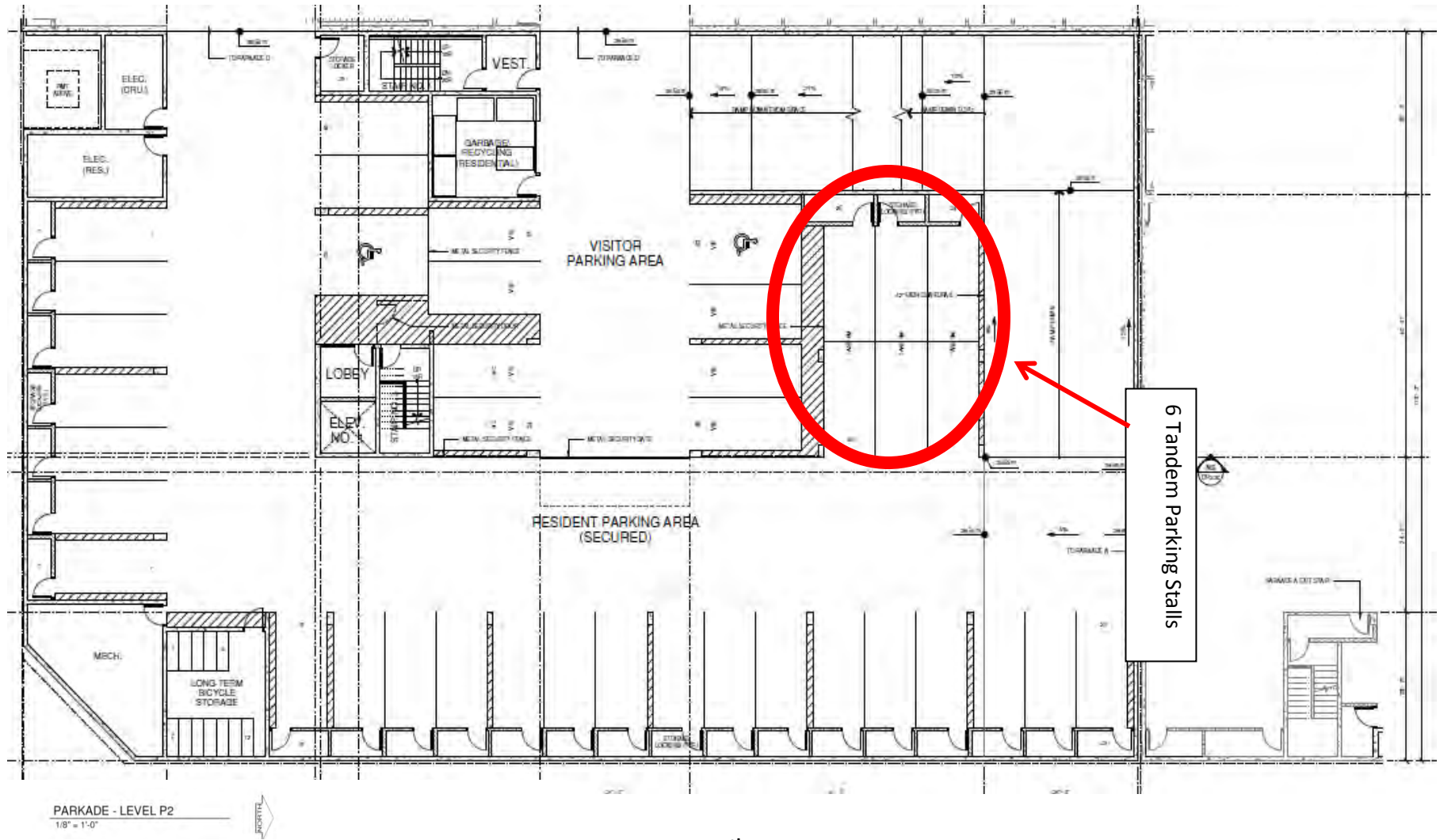
SHEET NO:
DP1.2

Phase 4 Site

APPENDIX E

Selkirk Avenue

Pedestrian Walkway

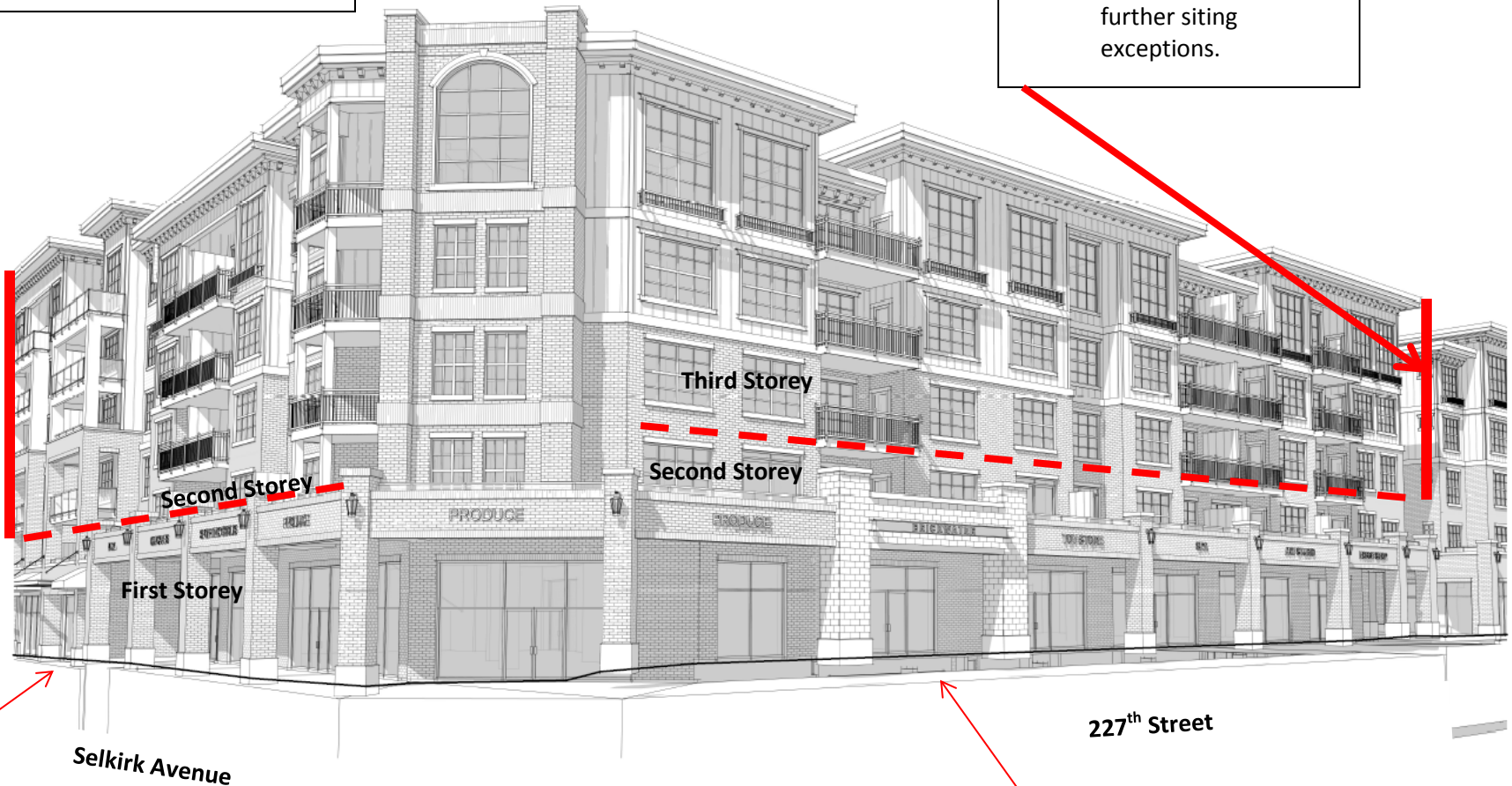


227th Street

APPENDIX F

To reduce the front yard setback from 7.5m to 1.1m where the building is used for apartment use above the second storey, with no further siting exceptions:

To reduce the exterior side yard setback above the third from 4.5m to 2.0m, with no further siting exceptions.



Front Yard

Exterior side yard

To reduce the exterior side yard setback above the third from 4.5m to 2.0m, with no further siting exceptions.

To reduce the interior side yard setback from 4.5m to 0.0m above the third storey, with no further siting exceptions.

Selkirk Avenue

Third Storey

Second Storey

Exterior Side

Pedestrian Walkway

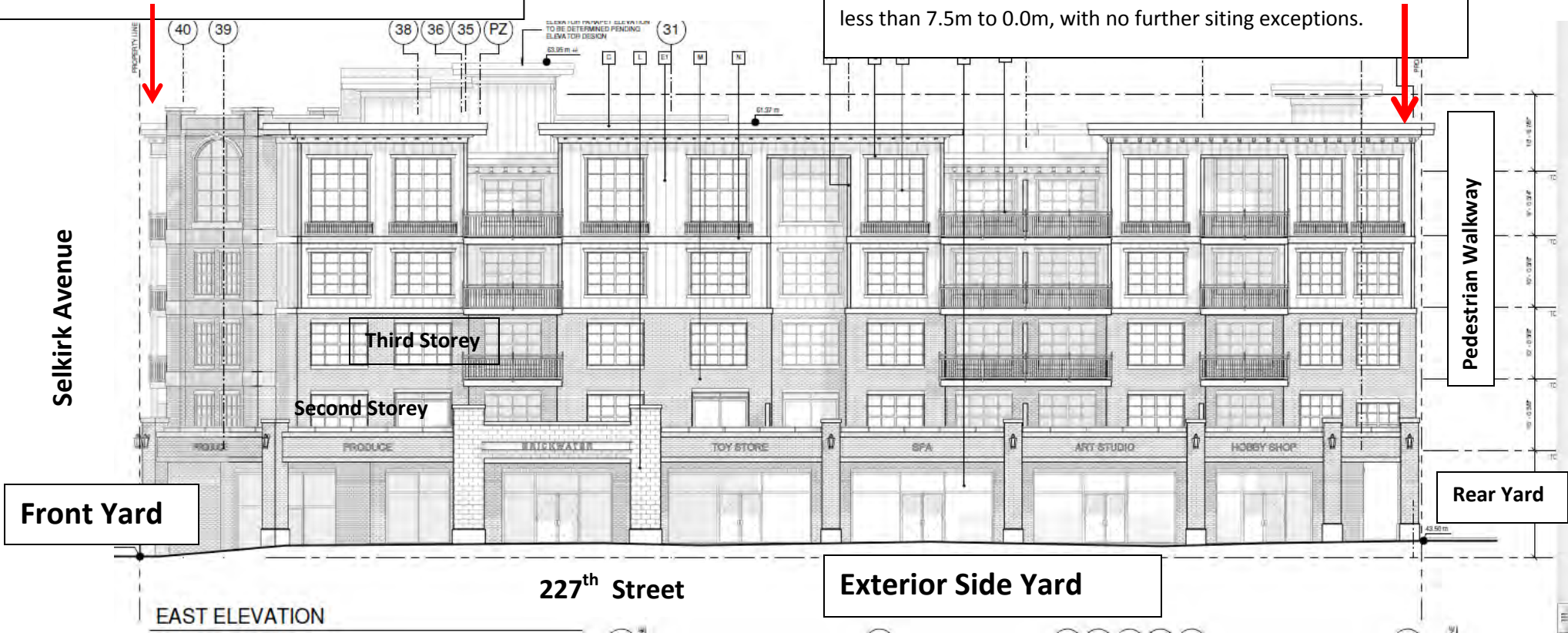
Rear Yard

Interior Side Yard



To reduce the front yard setback from 7.5m to 1.1m where the building is used for apartment use above the second storey, with no further siting exceptions.

To reduce the rear yard setback from 6.0m to 0.0m and where the building is used for apartment use above the second storey, the distance from rear lot lines above the second storey shall be not less than 7.5m to 0.0m, with no further siting exceptions.



City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
SUBJECT: Maple Ridge Highway and Traffic Amending Bylaw No. 7418-2018 and
Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018

MEETING DATE: March 13, 2018
MEETING: Council

EXECUTIVE SUMMARY:

The proposed changes to the Maple Ridge Highway and Traffic Bylaw No. 6704-2009 are a result of a combination of reviewing the actual bylaw for improvements and comparing best practices with other local municipalities.

When changes are made to the Highway and Traffic Bylaw, corresponding changes must be made to the Ticket Information Utilization Bylaw so that all sections in both bylaws are consistent.

RECOMMENDATION(S):

- 1) That the Maple Ridge Highway and Traffic Amending Bylaw No. 7418-2018 be given first, second and third reading.
- 2) That the Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018 be given first, second and third reading.

DISCUSSION:

a) Background Context:

Since the Highway and Traffic Bylaw was adopted in 2009 the time limit for parking on a street without moving has always been 48 hours. A review of this in regards to practicality for residents, as well as canvassing other municipalities, has led Staff to propose the change to 72 hours. This would keep the City in a consistent position with other neighbouring communities.

One of the other changes refers to “angle parking”. The current section states “in a nose in position in any cul-de-sac”. This is a somewhat antiquated description of what is really angle parking and it is felt that this change will more accurately reflect the actual infraction.

The final change is simply removing the words “which is in transit to or from the adjoining property” which have caused some confusion when trying to deal with residents dumping material on the road in front of private property.

When changes are made to the Highway and Traffic Bylaw, corresponding changes must be made to the Ticket Information Utilization Bylaw so that all sections in both bylaws are consistent.

CONCLUSIONS:

The proposed Amendment Bylaw to the existing Highway and Traffic Bylaw provides updated regulations for staff to pursue compliance with current parking and storage issues.

“Original signed by R. MacNair”

Prepared by: Robin MacNair
Manager of Bylaw & Licencing Services

“Original signed by Frank Quinn”

Approved by: Frank Quinn, MBA, P.Eng
General Manager: Public Works and Development Services

“Original signed by Paul Gill”

Concurrence: Paul Gill, CPA, CGA
Chief Administrative Officer

RM/jd

Appendix I - Maple Ridge Highway and Traffic Amending Bylaw No. 7418-2018

Appendix II - Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018

City of Maple Ridge**Maple Ridge Highway and Traffic Amending Bylaw No. 7418-2018**

A bylaw to amend Maple Ridge Highway and Traffic Bylaw No. 6704-2009.

WHEREAS the Council of The City of Maple Ridge deems it expedient to amend Maple Ridge Highway and Traffic Bylaw No. 6704-2009;

NOW THEREFORE, the Council of The City of Maple Ridge enacts as follows:

1. This bylaw may be cited as Maple Ridge Highway and Traffic Amending Bylaw No. 7418 - 2018.
2. Maple Ridge Highway and Traffic Bylaw No. 6704-2009 is amended by adding to Schedule "A" before "Bike Lane" the following definition:

"Angle Park" means the parking of a vehicle other than parallel to the lateral lines of a roadway.

3. Maple Ridge Highway and Traffic Bylaw No. 6704-2009 is amended by deleting Section 12.1(q) in its entirety and replacing it with:

(q) Angle Park – on any highway unless specifically permitted.

4. Maple Ridge Highway and Traffic Bylaw No. 6704-2009, is amended by deleting Section 12(z) in its entirety and replacing it with:

(z) 72 Hours – upon any highway for a continuous period of time exceeding 72 hours without movement;

5. Maple Ridge Highway and Traffic Bylaw No. 6704-2009, is amended by deleting Section 33.1 (a) in its entirety and replacing it with:

(a) place any fuel, lumber, merchandise, chattel or thing on a highway.

READ A FIRST TIME this ____ day of _____, 2018.

READ A SECOND TIME this ____ day of _____, 2018.

READ A THIRD TIME this ____ day of _____, 2018.

ADOPTED this ____ day of _____, 2018.

PRESIDING MEMBER

CORPORATE OFFICER

City of Maple Ridge

Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018

A bylaw to amend Maple Ridge Ticket Information Utilization Bylaw No. 6929-2012

WHEREAS the Council of The City of Maple Ridge deems it expedient to amend the Maple Ridge Ticket Information Utilization Bylaw No. 6929-2012

NOW THEREFORE, the Council of the City of Maple Ridge enacts as follows:

1. This bylaw may be cited as Maple Ridge Ticket Information Utilization Amending Bylaw No. 7419-2018
2. Maple Ridge Ticket Information Utilization Bylaw No. 6929-2012 is amended by making the following changes in Schedule 9:

Change the wording in Section 12.1 (q) to read, "Angle Park"

Change the wording in Section 12.1 (z) to read, "Park over 72 hours".

Change the wording in Section 33.1 (a) to read, "Place thing on highway"

3. Maple Ridge Ticket Information Utilization Bylaw No. 6929-2012 is amended by making the following change in Schedule 25:

Under Fail to post notice of Permit, change the Section from 6.11 to 6.12

READ A FIRST TIME this ____ day of _____, 2018.

READ A SECOND TIME this ____ day of _____, 2018.

READ A THIRD TIME this ____ day of _____, 2018.

ADOPTED this ____ day of _____, 2018.

PRESIDING MEMBER

CORPORATE OFFICER

City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council
FROM: Chief Administrative Officer
MEETING DATE: March 13, 2018
MEETING: Council
SUBJECT: Maple Ridge Business Licencing and Regulation Amending Bylaw No. 7441-2018

EXECUTIVE SUMMARY:

On February 27, 2018, Council adopted an amendment to the Zoning Bylaw to better support home occupations. For consistency, amendments to the Business Licence Bylaw are required.

In this case it is to ensure that definitions within the Business Licencing and Regulation Bylaw match the definitions in the Zoning Bylaw. Specifically, this is in relationship to the changes in the Zoning Bylaw in regards to Home Occupations.

The other housekeeping amendments are based on a review of the Bylaw to bring certain sections up to date.

RECOMMENDATION(S):

That Maple Ridge Business Licencing and Regulation Amending Bylaw No.7441-2018 be given first, second and third readings.

DISCUSSION:

a) Background Context:

Staff continually reviews City of Maple Ridge bylaws to ensure that they are current and consistent. When changes to one bylaw are adopted it can affect complementing bylaws. Because most business licence approvals are based on zoning it is important that there is consistency between the two bylaws.

With the adoption of the new regulations in the Zoning Bylaw regarding home occupations, it is important that the relevant sections in the Business Licence Bylaw are in line with these changes.

There are a couple of other housekeeping changes that also need to be made, most notably changing "District" to "City" throughout the entire bylaw.

CONCLUSIONS:

The adoption of this bylaw will ensure consistency with all Maple Ridge bylaws.

“Original signed by R. MacNair”

Prepared by: **R. MacNair**
Manager of Bylaw and Licencing Services

“Original signed by Frank Quinn”

Approved by: **Frank Quinn, MBA, P.Eng**
General Manager: Public Works and Development Services

“Original signed by Paul Gill”

Concurrence: **Paul Gill, CPA, CGA**
Chief Administrative Officer

RM/

Appendix I - Maple Ridge Business Licencing and Regulation Amending Bylaw No. 7441-2018

City of Maple Ridge

Maple Ridge Business Licencing and Regulation Amending No. 7441-2018

A bylaw to amend Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011

WHEREAS the Council of The City of Maple Ridge deems it expedient to amend Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011;

NOW THEREFORE, the Council of the City of Maple Ridge enacts as follows:

1. This bylaw may be cited as Maple Ridge Business Licencing and Regulation Amending No. 7441-2018.
2. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by removing the definition of **“District”**.
3. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by adding the following to the definitions section, after the definition of “Chief Constable”:

“City” means the City of Maple Ridge.

4. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by adding the following to the definitions section, after the definition of “Modelling Studio”:

“Neighbourhood Daycare” means an establishment for the provision of care and supervision of a maximum of 15 children in a home environment, licensed for use in accordance with *Community Care and Assisted Living Act*, and includes Group Daycare, Out of School Care, Pre-School, Emergency Care and Childminding, as defined under the *Child Care Licensing Regulation*.

5. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by changing all references from the word **“District”** to **“City”**.
6. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by removing the word “of” from Part 6 General Licence Requirements, Section 6.1 Licence Requirements, Subsection 6.1.5 and replacing it with the word “or”.
7. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by removing all references to Maple Ridge Dog Pound and Dog Control Bylaw under Part 7 Specific Regulations, Subsection 7.9 Dog Daycare and replacing it with Maple Ridge Animal Control and Licencing Bylaw.
8. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by changing the wording in Schedule A – Licence Fees, Section 3 ANIMAL SERVICES to Section 3 **ANIMAL CARE**.

9. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by adding to Schedule A – Licence Fees, Section 13 COMMUNITY CARE, Category f. Neighbourhood Daycare.
10. Maple Ridge Business Licencing and Regulation Bylaw No. 6815-2011 is amended by correcting the fee in Schedule A – Licence Fees, Section 36 REAL ESTATE, Category b. to read \$110.00.

READ A FIRST TIME this ____ day of _____, 2018.

READ A SECOND TIME this ____ day of _____, 2018.

READ A THIRD TIME this ____ day of _____, 2018.

ADOPTED this ____ day of _____, 2018.

PRESIDING MEMBER

CORPORATE OFFICER

City of Maple Ridge

TO:	Her Worship Mayor Nicole Read and Members of Council	MEETING DATE:	March 13, 2018
		FILE NO:	11-5600-01 & 09-3900-02
FROM:	Chief Administrative Officer	MEETING:	Council
SUBJECT:	Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 and Maple Ridge Water Service Amending Bylaw No. 7427-2018		

EXECUTIVE SUMMARY:

The Greater Vancouver Water District (GVWD) works with local governments to provide clean, safe drinking water to the Region's growing population. Since 1993, the GVWD has maintained a Water Shortage Response Plan to manage outdoor water usage during annual periods of peak demand, water shortages and emergencies. Following the implementation of advanced water restrictions during the unusually hot and dry summer of 2015, the GVWD initiated a two phase review of the plan in consultation with stakeholders. The initial review resulted in minor modifications to the plan that was adopted by Maple Ridge and other municipalities in 2016. The second review resulted in seven modifications to the plan that:

- recognize drinking water as a precious resource;
- maintain the environmental, economic vitality and health and safety of the region;
- optimize available water supplies and reduce water use; and
- minimize adverse impacts to public activity and quality of life for the region's residents.

The GVWD has also renamed the Water Shortage Response Plan to the Drinking Water Conservation Plan to better reflect the purpose and desired outcome of the plan.

Local governments are responsible for the enforcement of the Drinking Water Conservation Plan. It is recommended that Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 be given first, second and third readings. This will replace the existing Maple Ridge Water Shortage Response Plan Bylaw No. 6307-2005 and reflect the revisions to the GVWD plan.

The existing Maple Ridge Water Shortage Response Plan Bylaw is also currently referenced in the City's Water Service Bylaw and Ticket Information System Utilization Bylaw. Renaming the Water Shortage Response Plan Bylaw to the Drinking Water Conservation Plan Bylaw in recognition of the new GVWD plan name necessitates updating these bylaws. Thus it is recommended that Water Service Amending Bylaw No. 7427-2018 attached as Appendix C be given first, second and third readings. The Maple Ridge Ticket Information System Utilization Bylaw will be updated upon adoption of the proposed Drinking Water Conservation Plan Bylaw No. 7425-2018.

The GVWD Drinking Water Conservation Plan is attached as Appendix A.

The proposed Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 is attached as Appendix B.

The proposed Maple Ridge Water Service Amending Bylaw No. 7427-2018 is attached as Appendix C.

RECOMMENDATION:

THAT Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 be given first, second and third reading; and

THAT Maple Ridge Water Service Amending Bylaw No. 7427-2018 be given first, second and third reading.

DISCUSSION:

a) Background Context:

The GVWD works with member governments of Metro Vancouver to provide clean, safe drinking water to the region's 2.5 million residents. Metro Vancouver maintains a Drinking Water Conservation Plan (formerly the Water Shortage Response Plan) to manage the use of drinking water during periods of high demand, water shortages and emergencies. The plan was created in 1993, updated in 2004 and 2011, and amended in 2016.

The plan upholds the following principles:

1. Recognize drinking water as a precious resource that must be conserved;
2. Maintain the environmental, economic vitality and health and safety of the region to the extent possible in the face of a water shortage;
3. Optimize available water supplies and reduce water use; and
4. Minimize adverse impacts to public activity and quality of life for the region's residents.

More specifically, the plan is intended to ensure the conservation of drinking water used outdoors to achieve the following objectives:

- Prevent water from being wasted;
- Prepare for and respond to drought and emergency conditions;
- Ensure drinking water can be delivered to all users during the summer when rainfall levels are lowest and demand for water is highest;
- Adapt to a changing climate;
- Support fish habitat and ecosystems;
- Minimize the costly expansion of the water system infrastructure; and
- Maintain adequate water pressure to keep the system operating safely and effectively.

Following the hot, dry summer of 2015 during which Stage 3 restrictions were implemented, Metro Vancouver undertook a two phase review and update of the Water Shortage Response Plan (WSRP). Metro Vancouver and local government councils including Maple Ridge adopted first phase amendments in 2016. The GVWD Board has now approved second phase amendments for adoption by local governments.

Metro Vancouver consulted stakeholder groups regarding seven proposed Phase 2 amendments to the Water Shortage Response Plan. The consultation process included a local government workshop, online public survey, private sector surveys, private sector stakeholder workshops and regional public dialogues. The private sector workshops were attended by 35 participants representing the following eight sectors: commercial cleaning (pressure washing, window cleaning), golf, turf farm, landscape and nursery irrigation, commercial car washing, public and private school districts, and Chambers of Commerce.

Four regional public dialogues were attended by 135 members of the public and business representatives. Metro Vancouver received 371 completed online surveys; 336 from the public and 35 from private sector respondents. Feedback from the consultation process was presented to the GVWD Board for consideration.

The proposed Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 reflects Metro Vancouver's Drinking Water Conservation Plan. Part 8 of the proposed bylaw serves to repeal the Water Shortage Response Plan Bylaw.

b) Desired Outcome:

To replace the City's Water Shortage Response Plan Bylaw No. 6307-2005 with Drinking Water Conservation Plan Bylaw No. 7425-2018 that reflects changes to Metro Vancouver's Water Shortage Response Plan, which is now known as the Drinking Water Conservation Plan.

c) Citizen/Customer Implications:

Citizens and other customers would use the region's precious water resources in a more sustainable manner as indicated by the new Drinking Water Conservation Plan.

d) Interdepartmental Implications:

Currently, violations of water sprinkling regulations when in effect are dealt with under the Municipal Information Ticketing system. No adverse implications are anticipated.

e) Business Plan/Financial Implications:

Metro Vancouver estimates that not accounting for growth, average summer water usage may decline by 2% as a result of the Drinking Water Conservation Plan (correspondingly, annual water usage would decline by 1%). Impacts of the Drinking Water Conservation Plan on revenues are expected to be less than those routinely experienced due to annual variations in outdoor water use due to weather conditions. Impacts would be dampened as reductions in customer billing revenues would be offset in reductions in bulk water purchases from Metro Vancouver. Rates will be adjusted in future years as appropriate to accommodate changes in water usage associated with the Drinking Water Conservation Plan.

CONCLUSIONS:

The proposed Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018 will maintain the City's alignment with Metro Vancouver member municipalities in the consistent application of Metro Vancouver's Drinking Water Conservation Plan.

"Original signed by Joe Dingwall"

Prepared by: **Joe Dingwall, PEng.**
Manager of Utility Engineering

"Original signed by David Pollock"

Reviewed by: **David Pollock, PEng.**
Municipal Engineer

"Original signed by Frank Quinn"

Approved by: **Frank Quinn, MBA, PEng.**
General Manager: Public Works & Development Services

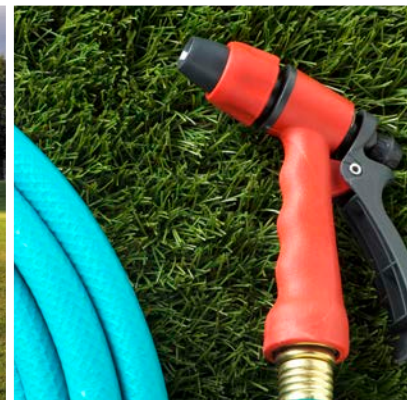
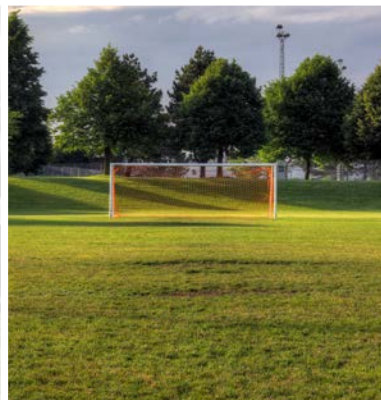
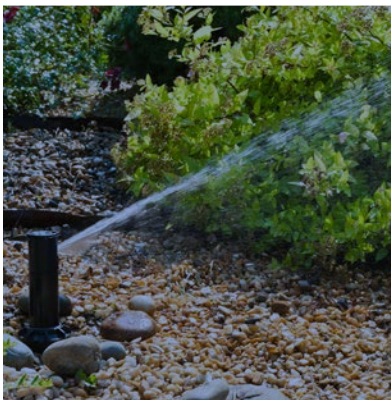
"Original signed by Paul Gill"

Concurrence: **Paul Gill, CPA, CGA**
Chief Administrative Officer

Att: Appendix A, B, & C



Metro Vancouver Drinking Water Conservation Plan



Published date: This Plan is to come into force and take effect on November 1, 2017

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1 Overview of the Drinking Water Conservation Plan

The Greater Vancouver Water District (GVWD) was created and constituted under the provincial statute the *Greater Vancouver Water District Act*, to supply drinking water to the Metro Vancouver region. The GVWD is governed by an Administration Board (the Board) consisting of representatives from the local government members of the GVWD. The Board appoints a Commissioner (the GVWD Commissioner) who provides management and oversight of the activities of the GVWD. The GVWD operates under the name “Metro Vancouver”.

Metro Vancouver, working together with the local government members of the GVWD, provides clean, safe drinking water to the region’s population of 2.5 million. Metro Vancouver’s *Drinking Water Conservation Plan* (DWCP) is a regional policy developed with local governments and other stakeholders to manage the use of drinking water during periods of high demand, mostly during late spring to early fall, and during periods of water shortages and emergencies. The DWCP helps ensure our collective needs for drinking water are met affordably and sustainably now, and in the future.

There are two complementary documents to the DWCP. One is the Board’s *Drinking Water Conservation Policy* which describes: 1) the GVWD Commissioner’s decision-making process for activating and deactivating Stages of the DWCP; and 2) the implementation process for local governments.

The second complementary document is Metro Vancouver’s *Drinking Water Management Plan*, which sets out the following three goals:

1. Provide clean, safe drinking water.
2. Ensure the sustainable use of water resources.
3. Ensure the efficient supply of water.

The water restrictions, as outlined in the DWCP, provide regional direction for meeting Goal 2 – Ensuring the sustainable use of water resources.

The DWCP applies only to local government members of the GVWD and the use of drinking water from the GVWD’s water system. Jurisdictions that are not local government members of the GVWD are encouraged to follow the restrictions in the plan to help conserve drinking water and demonstrate leadership and consistency to water users across the region. The DWCP restrictions do not apply to the use of rain water, grey water, any forms of recycled water, or water from sources outside the GVWD water system. If water is supplied from an alternative source other than the GVWD water system, such users are encouraged to display signs indicating the alternative water source.

Underlying the development and implementation of the DWCP are the following four principles:

1. Recognize drinking water as a precious resource that must be conserved.
2. Maintain the environmental, economic vitality and health and safety of the region to the extent possible in the face of a water shortage.
3. Optimize available water supplies and reduce water use.
4. Minimize adverse impacts to public activity and quality of life for the region’s residents.

2 Metro Vancouver's role in ensuring the sustainable use of water resources

2.1 Managing the region's drinking water responsibly

Metro Vancouver is responsible for storing, treating and delivering clean, safe drinking water through its local governments to over 2.5 million people in the Metro Vancouver region of British Columbia.

Metro Vancouver's water system includes three watersheds and associated dams and reservoirs, treatment facilities, an extensive transmission system, plus the performance of related operational and maintenance tasks to manage this infrastructure.

Metro Vancouver distributes water to local government members on a cost recovery basis.

Local governments then deliver drinking water, through their infrastructure, directly to individual properties. All individual billing and enforcement of water use restrictions is undertaken by each respective local government.

Metro Vancouver manages the region's water system in accordance with Provincial regulations and Federal guidelines. In addition to meeting those regulations and guidelines, Metro Vancouver is responsible for developing long-range plans for managing the region's drinking water and operating the water system. The system is operated in alignment with priorities identified in Metro Vancouver's *Board Strategic Plan*, under the region's *Drinking Water Management Plan* and in consideration of the principles of sustainability through decision making that considers social, economic, and environmental values.



2.2 Water conservation in Metro Vancouver

Water conservation is a major component of Metro Vancouver's planning to ensure the sustainable use of water resources. Helping water users such as residents, businesses, schools, and local governments to use only what they need helps ensure an efficient and relatively cost effective water system.

Most precipitation in Metro Vancouver occurs between November and April. Dry summer months lead to an increase in water use, particularly for the outdoor uses described in the DWCP. Assisting water users to develop sustainable water use habits year round makes a significant difference in lowering daily demand and sustaining reservoir levels during dry months. Lowering demand through water conservation practices also defers the need to invest in expanding the infrastructure, even as the region's population grows by approximately 35,000 residents annually.

The DWCP describes the staged restrictions related to outdoor water use that water users should follow to:

- Prevent water from being wasted;

- Prepare for and respond to drought and emergency conditions;
- Ensure drinking water can be delivered to all users during the summer when rainfall levels are lowest and the demand for water is highest;
- Adapt to a changing climate;
- Support fish habitat and ecosystems;
- Minimize the costly expansion of the water system infrastructure; and
- Maintain adequate water pressure to keep the system operating safely and effectively.

More information on Metro Vancouver's water conservation initiatives, improvements and expansion to the delivery system, and planning for future water supply can be found at metrovancover.org.

3 Drinking Water Conservation Plan – Stages 1 through 4

Each stage of the DWCP is designed to reduce demand for drinking water through specific water restrictions which become more restrictive with higher stages. The following general restrictions apply to all stages of the plan in addition to the specific water restrictions contained in each stage:

- All hoses must have an automatic shut-off device
- Water must not unnecessarily run off on impermeable surfaces such as driveways, curbs, pathways, or gutters when watering lawns and plants
- Artificial playing turf and outdoor tracks must not be watered except for a health or safety reason
- Hoses and taps must not run unnecessarily
- Irrigation systems must not be faulty, leaking, or misdirected

In most cases, the stages of the plan will be activated in successive order, but they can also be activated immediately in any order.

Stage 1 reduces demand in summer months, and is automatically in effect on May 1 until October 15.

Stages 2 and 3, activated and deactivated by the GVWD Commissioner, are likely to be activated during unusually hot and dry conditions to maximize conservation.

Stage 4, activated and deactivated by the GVWD Commissioner during an emergency to immediately limit water use to essential needs only.

The decision to activate more restrictive stages of the DWCP is based on measured facts, reasoned predictions, and historical patterns, with a goal of ensuring the sufficient supply of water until the concerns that caused the more restrictive stages are over, typically in the early fall with the return of seasonal rainfall.

3.1 Stage 1 Water Restrictions

Stage 1 comes into effect automatically each year – on May 1 until October 15 – to prevent drinking water wastage and ensure water users employ efficient and effective watering practices.

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Even-numbered civic addresses: on Wednesdays and Saturdays from 4 am to 9 am Odd-numbered civic addresses: on Thursdays and Sundays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 4 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non-residential watering times)	Even-numbered civic addresses: on Mondays from 1 am to 6 am and on Fridays from 4 am to 9 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am and on Fridays from 4 am to 9 am
	Watering new lawns or lawns being treated for European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
GOVERNMENTS/ SCHOOLS/PARKS	Watering lawns and grass boulevards	Even-numbered civic addresses: on Mondays from 1 am to 6 am and on Fridays from 4 am to 9 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am and on Fridays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation

User	Water Use	Restriction
GOVERNMENTS/ SCHOOLS/PARKS	Watering soil-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited

3.2 Stage 2 Water Restrictions

Stage 2 restrictions conserve drinking water to ensure the existing supply will last until the return of seasonal rainfall or until the water shortage situation is over. These restrictions are designed to conserve enough drinking water to avoid or delay moving to Stage 3 as long as possible.

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Even-numbered civic addresses: on Wednesdays from 4 am to 9 am Odd-numbered civic addresses: on Thursdays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 4 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment - Aesthetic cleaning by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non-residential watering times)	Even-numbered civic addresses: on Mondays from 1 am to 6 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Watering golf courses	Fairways watering anytime on any one day in a 7-day period, except if operating under an approved local government water management plan

User	Water Use	Restriction
NON-RESIDENTIAL	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment - Aesthetic cleaning by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Even-numbered civic addresses: on Mondays from 1 am to 6 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Watering soil-based playing fields	No more than 4 days in a 7-day period from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited
	Operating water play parks and pools	Prohibited except water play parks with user-activated switches
	Topping up or filling aesthetic water features	Prohibited

3.3 Stage 3 Water Restrictions

Stage 3 restrictions respond to serious drought conditions, or other water shortage, and achieve further reductions in drinking water use by implementing a lawn watering ban and additional stricter measures.

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers excluding edible plants	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non-residential watering times)	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers excluding edible plants	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Watering golf courses	Fairways watering prohibited except if operating under an approved local government water management plan
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason

User	Water Use	Restriction
NON-RESIDENTIAL		<ul style="list-style-type: none"> - Preparing a surface for painting or similar treatment by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited except for pools and hot tubs with a permit to operate in accordance with health authorities having jurisdiction over pool and hot tub regulation
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety
	Commercial vehicle washing	Prohibited except if: <ul style="list-style-type: none"> - A facility that installed an automatic vehicle wash system before November 1, 2017, is operating on a basic wash and rinse cycle only - A facility that installed an automatic vehicle wash system after November 1, 2017, is operating using a water recycling system that achieves a minimum 60% water recovery rate over the full wash cycle - A hand wash and self-service facility, is operating using high-pressure wands or brushes that achieve a maximum flow rate of 11.4 litres per minute
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Watering soil-based playing fields	No more than 3 days in a 7-day period from 7 pm to 9 am except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	No more than 5 days in a 7-day period from 7 pm to 9 am, except if:

User	Water Use	Restriction
GOVERNMENTS/SCHOOLS/PARKS		<ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited
	Operating water play parks	Prohibited except water play parks with user-activated switches
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited except for pools and hot tubs with a permit to operate in accordance with health authorities having jurisdiction over pool and hot tub regulation
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety

3.4 Stage 4 Water Restrictions

Stage 4 is an emergency stage that limits both indoor and outdoor water uses as much as possible to ensure an adequate supply of drinking water for human consumption, use in firefighting and to protect the quality of drinking water within the water system for public health.

Stage 4 is activated based on the rare occurrence of a significant emergency, such as an earthquake, flood, wild land and interface fire, severe weather, or a prolonged regional power outage that causes significant impacts to the water system infrastructure (e.g. damage to major water transmission lines, pump stations, or treatment plants).

In addition to the following outdoor water restrictions, Metro Vancouver could request that industrial water users implement voluntary reductions or reschedule production processes that consume large amounts of water until Stage 4 is deactivated.

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing impermeable surfaces	Prohibited except if ordered by a regulatory authority having jurisdiction for a health or safety reason
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non-residential watering times)	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited

NON-RESIDENTIAL	Watering golf courses	Prohibited
	Washing impermeable surfaces	Prohibited except if ordered by a regulatory authority having jurisdiction for health or safety reason
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety
	Commercial vehicle washing	Prohibited
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Prohibited
	Watering new lawns or lawns being treated for European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited
	Watering soil-based playing fields	Prohibited
	Watering sand-based playing fields	Prohibited
	Flushing water mains	Prohibited
	Operating water play parks	Prohibited
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, licence plates, and boat engines for safety

3.5 Stage activation

Stage 1 comes into effect automatically on May 1 until October 15 each year.

Stages 2, 3 and 4 are activated and deactivated by the GVWD Commissioner.

The following factors guide the GVWD Commissioner's decision to activate or deactivate stages of the DWCP:

- Available storage capacity of the Capilano and Seymour Reservoirs and alpine lakes;

- Water allocated to Metro Vancouver by BC Hydro from the Coquitlam Reservoir;
- Hydrologic forecasting parameters including temperature, rainfall, snowpack, and snowmelt;
- Seasonal water demand trends (measured and charted daily);
- User compliance with the restrictions; and
- Water transmission system performance and ability to deliver water during periods of high demand.

Once the GVWD Commissioner makes the decision to activate or deactivate a stage, all local governments are alerted within 24 hours, which triggers public notification and enforcement.

The GVWD Commissioner has the authority to activate, extend or deactivate stages at any time.

3.6 Public notification

Metro Vancouver and local governments are responsible for communicating information to water users about the restrictions in clear and plain language including:

- Providing public access to the restrictions in both a full and abbreviated version;
- Distributing communications materials;
- Promoting the annual start date of the restrictions;
- Notification of activation or deactivation of stages;
- Responding to queries; and
- Recording feedback for consideration in future reviews.

3.7 Monitoring and enforcement

Local governments incorporate the DWCP restrictions into local government bylaws, where each local government is responsible for monitoring and enforcing the restrictions in their communities. Local governments will ensure that their respective enforcement and penalties for violations of the water restrictions increase with each successive stage of the DWCP to reflect the severity of the situation requiring the activation of an advanced stage.

Local governments may use a variety of tools to promote and ensure bylaw compliance including educational materials, using verbal and written warnings, issuing tickets and imposing fines.

3.8 Updating the Drinking Water Conservation Plan

The DWCP is reviewed periodically to reflect population growth, climate change, new technologies and changes in water system infrastructure. Proposed changes are discussed with local governments responsible for plan implementation and enforcement, and with stakeholders. All updates are reviewed and approved by the Board.

4 Exemption for local governments for health and safety reasons

Metro Vancouver encourages all local governments to follow the watering restrictions in the DWCP to conserve water and demonstrate leadership. However, Metro Vancouver recognizes that local governments have important decisions to make regarding protecting public health and safety, and that certain circumstances may require the use of drinking water in a manner that is not consistent with the DWCP restrictions. Therefore, local governments have the authority to use water during any stage and are exempt from the restrictions in the DWCP for activities that are necessary for the purpose of protecting public health and safety. Examples include:

- Flushing water mains where a significant health or safety concern is identified;
- Washing down public spaces where significant health concerns are raised, or on the recommendation of the local health authority;
- Wetting forest and park perimeters or boulevards as part of a fire prevention strategy during extreme hot and dry weather, or on the recommendation of the local fire authority; and
- Protection of publicly funded infrastructure such as community playing fields or swimming facilities, on the recommendation of the city manager of the local government having jurisdiction.

5 Members of the Greater Vancouver Water District

The following are the members of the GVWD:

Village of Anmore	City of Maple Ridge	City of Port Moody
Village of Belcarra	City of New Westminster	City of Richmond
City of Burnaby	City of North Vancouver	City of Surrey
City of Coquitlam	District of North Vancouver	Tsawwassen First Nation
Corporation of Delta	City of Pitt Meadows	City of Vancouver
City of Langley	City of Port Coquitlam	District of West Vancouver
Township of Langley		

The Director representing Electoral Area A on the Metro Vancouver Regional District is a member of the GVWD Administration Board.

6 Glossary and terms

In the DWCP:

Aesthetic cleaning – means the use of water for cleaning when it is not for a health or safety reason.

Aesthetic water feature – means a fountain, pond, or other water feature that primarily serves an aesthetic purpose. It does not include ponds that contain fish.

Automatic shut-off device – means a device attached to a water hose that shuts off the supply of water automatically unless hand pressure is applied to operate the device.

Automatic vehicle wash system – includes:

- **Conveyor vehicle wash** – a commercial vehicle washing facility where the customer's vehicle moves through an enclosed conveyance mechanism during the wash.
- **In-bay vehicle wash** – a commercial vehicle washing facility where the customer parks the vehicle inside a bay, and the vehicle remains stationary while a spray mechanism moves over the vehicle to clean it.

Basic wash and rinse cycle – means a process sequence in an automatic vehicle wash system that consists of a single wash stage followed by a single rinse stage and no additional processes or optional stages; typically this is the minimum level of service that a customer can select, where total water usage is less than 200 litres per vehicle.

Board – means the Administration Board of the GVWD.

Commercial cleaning operation – means a company, partnership, or person that offers commercial cleaning services, including pressure washing, window cleaning, and other similar building cleaning services, to the public for a fee.

Commercial vehicle washing – means commercial vehicle washing services offered to the public for a fee, but excludes car dealerships, fleet vehicle washing facilities, and charity car washes.

Drip Irrigation – means an irrigation system that delivers water directly to the root zone of the plant at a low flow rate through individual emission points (emitters) using droplets of water and excludes sprinkler irrigation systems, micro-spray systems, misting systems, and soaker hoses.

Edible plant – means a plant grown for the purpose of human consumption.

European Chafer Beetle – means an invasive insect pest whose larvae feed on the roots of grasses, causing serious damage to lawns. The Chafer Beetle larvae can be treated naturally using nematodes, which typically requires a moist lawn for a period of 2 to 3 weeks from the day of application.

Flushing water main – discharging water from a water main for routine maintenance such as water quality management and measurement of firefighting flow capacity.

Golf course – means the greens, tee areas, and fairways that are designed and maintained as playing surfaces for golf, but does not include rough areas or lawns that are not maintained as playing surfaces.

Governments/Schools/Parks – includes property zoned for local government, provincial, or federal uses including road rights of way, and school, college, and university uses.

GVWD – means the Greater Vancouver Water District.

GVWD Commissioner – the person that the Administration Board of the GVWD appoints as its Commissioner.

Hand wash and self-service facility – a commercial vehicle washing facility where the facility's staff wash the customer's vehicle, or the customer wash their own vehicles with spray wands and brushes.

Health and safety reason – means a precaution necessary to protect health and safety, including the removal of contaminants, bodily fluids, slip and fall hazards, controlling pests, and suppressing and controlling dust.

Impermeable surface – means a material added to the surface of the ground, or on the exterior of a building or structure that is impermeable to water, including but not limited to glass, wood, concrete, asphalt, paving stones, and other similar materials.

Lawn – means a cultivated area surrounding or adjacent to a building that is covered by grass, turf, or a ground cover plant such as clover, including areas such as boulevards, parks, school yards and cemeteries, but excluding golf courses, soil-based playing fields, and sand-based playing fields.

Local government – means the local government members of the GVWD.

New lawn – means a lawn that is newly established either by seeding or the laying of new sod or turf.

Non-residential – includes properties zoned for a permitted use other than a residential use, including commercial, industrial, and institutional uses, and including a property zoned for mixed residential and non-residential uses, but excluding governments/schools/parks.

Non-residential pool and hot tub – means a pool or hot tub permitted to be operated in accordance with health authorities having jurisdiction over pool and hot tub regulation, including pools and hot tubs operated by government agencies, hotels, multi-family strata corporations, and private clubs.

Odd-numbered civic address or Even-numbered civic address – means the numerical portion of the street address of a property, and in the case of multi-unit commercial or residential complex such as townhouses, condominiums or other strata-titled properties, means the numerical portion of the street address that is assigned to the entire complex, and not the individual unit number.

Over-seeded – means the application of grass seed on existing turf, typically in early fall or spring and may also include associated processes such as aeration, weeding, dethatching and fertilization, for the purpose of mitigating against grass thinning.

Residential – means a property zoned for single-family or multi-family residential use.

Residential pool and hot tub – means a residential pool or hot tub installed for the use of the occupants and guests of one single family dwelling or duplex and does not require a permit in accordance with health authorities having jurisdiction over pool and hot tub regulation.

Sand-based playing field – means a playing field that is constructed with a highly permeable sand-based root zone typically 30 to 40 centimetres deep over a drainage system with drain pipes bedded in gravel, and is designed and maintained to be playable year-round.

Soaker hose – means a garden hose or pipe with small holes that allow water to seep into the ground, to the roots of plants, discharging water through the entire length of its porous surface.

Soil-based playing field – means a playing field that is covered with grass, sod or turf that is designed and maintained to be played upon, or that is used for sporting or other community events and activities, but does not include lawns, golf courses, or sand-based playing fields.

Vehicle – a device in, on or by which a person or item is or may be transported or drawn on a highway or other roadway.

Water management plan – a plan proposed by the owner or operator of a golf course, soil-based playing field, and sand-based playing field operators and approved by the local government having jurisdiction. The plan sets out terms such as water use targets during the different stages of the DWCP, restrictions to reduce water use, and reporting requirements for the owner or operator.

Water play park – a recreational facility that is primarily outdoors, including spray pools and wading pools, spray parks, splash pads, and water slides.

Watering lawn – means applying water to a lawn with any device or tool including but not limited to a sprinkler, hose, mister, or drip irrigation.

CITY OF MAPLE RIDGE

BYLAW NO. 7425-2018

A bylaw to establish a Drinking Water Conservation Plan

The Council of the City of Maple Ridge, in open meeting assembled, ENACTS AS FOLLOWS:

PART 1: CITATION

- 1.1 This Bylaw may be cited as "Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018".

PART 2: DEFINITIONS AND INTERPRETATION

- 2.1 In this Bylaw:

"Aesthetic cleaning" - means the use of water for cleaning when it is not for a health or safety reason.

"Aesthetic water feature" – means a fountain, pond, or other water feature that primarily serves an aesthetic purpose. It does not include ponds that contain fish.

"Automatic Shut-off Device" - means a device attached to a water hose that shuts off the supply of water automatically unless hand pressure is applied to operate the device.

"Automatic vehicle wash system" – includes:

- **Conveyor vehicle wash** – a commercial vehicle washing facility where the customer's vehicle moves through an enclosed conveyance mechanism during the wash.
- **In-bay vehicle wash** – a commercial vehicle washing facility where the customer parks the vehicle inside a bay, and the vehicle remains stationary while a spray mechanism moves over the vehicle to clean it.

"Basic wash and rinse cycle" – means a process sequence in an automatic vehicle wash system that consists of a single wash stage followed by a single rinse stage and no additional processes or optional stages; typically this is the minimum level of service that a customer can select, where total water usage is less than 200 litres per vehicle.

"Board" – means the Administration Board of the Greater Vancouver Water District.

"City" - means the City of Maple Ridge.

"Commercial cleaning operation" – means a company, partnership, or person that offers commercial cleaning services, including pressure washing, window cleaning, and other similar building cleaning services, to the public for a fee.

“Commercial vehicle washing” – means commercial vehicle washing services offered to the public for a fee, but excludes car dealerships, fleet vehicle washing facilities, and charity car washes.

“Drip Irrigation” – means an irrigation system that delivers water directly to the root zone of the plant at a low flow rate through individual emission points (emitters) using droplets of water and excludes sprinkler irrigation systems, micro-spray systems, misting systems, and soaker hoses.

“Edible plant” – means a plant grown for the purpose of human consumption.

“Engineer” - means the General Manager, Public Works & Development Services or his or her designate.

“European Chafer Beetle” – means an invasive insect pest whose larvae feed on the roots of grasses, causing serious damage to lawns. The Chafer Beetle larvae can be treated naturally using nematodes, which typically requires a moist lawn for a period of 2 to 3 weeks from the day of application.

“Flushing water main” – means discharging water from a water main for routine maintenance such as water quality management and measurement of firefighting flow capacity.

“Golf course” – means the greens, tee areas, and fairways that are designed and maintained as playing surfaces for golf, but does not include rough areas or lawns that are not maintained as playing surfaces.

“Governments/Schools/Parks” – includes property used and occupied for local government, provincial, or federal uses including road rights of way, and school, college, and university uses.

“GVWD” - means the Greater Vancouver Water District.

“GVWD Commissioner” – the person that the Administration Board of the GVWD appoints as its GVWD Commissioner.

“Hand wash and self-service facility” – a commercial vehicle washing facility where the facility’s staff wash the customer’s vehicle, or the customer wash their own vehicles with spray wands and brushes.

“Health and safety reason” – means a precaution necessary to protect health and safety, including the removal of contaminants, bodily fluids, slip and fall hazards, controlling pests, and suppressing and controlling dust.

“Impermeable surface” – means a material added to the surface of the ground, or on the exterior of a building or structure that is impermeable to water, including but not limited to glass, wood, concrete, asphalt, paving stones, and other similar materials.

“Lawn” – means a cultivated area surrounding or adjacent to a building that is covered by grass, turf, or a ground cover plant such as clover, including areas such as boulevards, parks, school yards and cemeteries, but excluding golf courses, soil-based playing fields, and sand-based playing fields.

“Local government” – means the local government members of the GVWD.

“New lawn” – means a lawn that is newly established either by seeding or the laying of new sod or turf.

“Non-residential” – includes properties used for a use other than a residential use, includes commercial, industrial, and institutional uses, and property used for mixed residential and non-residential uses, but excludes governments/schools/parks.

“Non-residential pool and hot tub” – means a pool or hot tub permitted to be operated in accordance with health authorities having jurisdiction over pool and hot tub regulation, including pools and hot tubs operated by government agencies, hotels, multi-family strata corporations, and private clubs.

“Odd-numbered civic address” or “Even-numbered civic address” – means the numerical street address of a property, and in the case of multi-unit commercial or residential complex such as townhouses, condominiums or other strata-titled properties, means the numerical portion of the street address that is assigned to the entire complex, and not the individual unit number.

“Over-seeded” – means the application of grass seed on existing turf and may also include associated processes such as aeration, weeding, dethatching and fertilization, for the purpose of mitigating against grass thinning.

“Permit” – means a permit issued under Part 5.

“Person” – includes a municipality, a diking district and a school district

“Public Announcement” – means one or more advertisements or public service announcements in any one of:

- (i) a television or radio broadcast from a station that broadcasts throughout the City;
- (ii) website and social media postings;
- (ii) a newspaper or other publication intended for general circulation, including one that is distributed without charge to the reader, that contains news and advertising, and is distributed within the City at least once per week.

“Residential” – means a property used for single-family or multi-family residential use.

“Residential pool and hot tub” – means a residential pool or hot tub installed for the use of the occupants and guests of one single family dwelling or duplex and does not require a permit in accordance with health authorities having jurisdiction over pool and hot tub regulation.

“Restriction Stage” – means Stage 1 Restrictions, Stage 2 Restrictions, Stage 3 Restrictions, or Stage 4 Restrictions.

“Sand-based playing field” – means a playing field that is constructed with a highly permeable sand-based root zone typically 30 to 40 centimetres deep over a drainage system with drain pipes bedded in gravel, and is designed and maintained to be playable year-round.

“Soaker hose” – means a garden hose or pipe with small holes that allow water to seep into the ground, to the roots of plants, discharging water through the entire length of its porous surface.

“Soil-based playing field” – means a playing field that is covered with grass, sod or turf that is designed and maintained to be played upon, or that is used for sporting or other community events and activities, but does not include lawns, golf courses, or sand-based playing fields.

“Stage 1 Restrictions” - means the restrictions on Water use described in Part 1 and Part 2 of Schedule 1.

“Stage 2 Restrictions” - means the restrictions on Water use described in Part 1 and Part 3 of Schedule 1.

“Stage 3 Restrictions” - means the restrictions on Water use described in Part 1 and Part 4 of Schedule 1.

“Stage 4 Restrictions” - means the restrictions on Water use described in Part 1 and Part 5 of Schedule 1.

“Vehicle” – a device in, on or by which a person or item is or may be transported or drawn on a highway, other roadway and upon the surface of land

“ Water”– used as a noun means water supplied directly or indirectly by GVWD or the City, whether or not mixed with rain water, gray water or recycled water.

“ Water”– used as a verb, and "Watering", mean the application or distribution of Water (used as a noun) to lands or plants but does not include Drip Irrigation.

“Water management plan” – a plan proposed by the owner or operator of a golf course, soil-based playing field, and sand-based playing field operators and approved by the City. The plan sets out terms such as water use targets during the different stages of the Drinking Water Conservation Plan Bylaw, restrictions to reduce water use, and reporting requirements.

“Water play park” – a recreational facility that is primarily outdoors, including spray pools and wading pools, spray parks, splash pads, and water slides.

“Water Use Plan” – means a Water Use Plan approved by the Engineer under Part 4.

“Watering lawn” – means applying water to a lawn with any device or tool including but not limited to a sprinkler, hose, mister, or drip irrigation.

- 2.2 The schedules to this Bylaw are integral parts of this Bylaw.
- 2.3 The Engineer may delegate some or all of his or her powers and duties under this Bylaw.

PART 3: DECLARATION AND ANNOUNCEMENT OF RESTRICTION STAGES

- 3.1 (a) The GVWD Commissioner may, by letter to the Corporate Officer or other City official, declare that the GVWD has activated a Restriction Stage.

(b) If the GVWD Commissioner makes a declaration under subsection (a), the Restriction Stage described in the declaration comes into force in the City 72 hours after the GVWD Commissioner or the Corporate Officer or other City official makes a Public Announcement of the declaration.

(c) When a Restriction Stage comes into force under this section, a Restriction Stage that had been in force, if any, ceases to be in force.
- 3.2 If no Restriction Stage is in force on May 1st of any year, Stage 1 Restrictions come into force on that date without prior declaration of the GVWD Commissioner or announcement under section 3.3.
- 3.3 If the GVWD Commissioner declares that the GVWD has activated Stage Restrictions, a Public Announcement by the Corporate Officer or other Municipal official or the GVWD Commissioner is sufficient for the purposes of paragraph 3.1(b) if it contains substantially the information set out in Schedule 1.
- 3.4 (a) No Restriction Stage remains in force after October 15th of any year, unless the GVWD Commissioner makes a declaration under this section.

(b) At any time before or after October 15th of any year the GVWD Commissioner may, by letter to the Corporate Officer or other Municipal official declare that notwithstanding subsection (a), a Restriction Stage will remain in force or come into force after October 15th.

(c) Subsections 3.1(b), 3.1 (c) and section 3.3 apply to a declaration made under this section, with such changes as are necessary, except that a Public Announcement of a declaration under this section shall state that the Restriction Stage that is continued in force or that comes into force after October 15th will remain in force until further declaration of the GVWD Commissioner.

(d) The GVWD Commissioner may make one or more declarations under this section.
- 3.5 (a) If at any time the Engineer deems it to be in the public interest, he or she may direct that any and all less essential services be further reduced or curtailed until such time as the Engineer deems it advisable to restore any or all of the services.

(b) The Engineer may impose restrictions under paragraph 3.5(a) in any area or areas of the City or all of the City as he or she deems advisable.

(c) Any such restrictions will come into force in the City 72 hours after the Corporate Officer or other Municipal official makes a Public Announcement of the restriction.

(d) No Person will act contrary to the restrictions imposed by the Engineer pursuant to paragraph 3.5(a).

PART 4: WATER USE PLANS

4.1 An operator of a golf course or a government, school, or park operator of a soil-based playing field or sand-based playing field may apply in writing to the Engineer for approval of a Water Use Plan stipulating:

(a) the volume of Water historically consumed from the first day of May to the fifteenth day of October of each year;

(b) the volume of Water to be consumed by the operation from the first day of May to the fifteenth day of October of each year under the proposed Water Use Plan;

(c) the measures to be followed by the operation to conserve Water and to reduce the use of Water;

(d) the schedule for Watering specified areas within the operation for each Restrictions Stage, except Stage 4;

(e) reporting of actual water use to the Engineer not less than once per month when Stage 1 Restrictions or Stage 2 Restrictions are in force, and not less than once every two weeks when Stage 3 Restrictions are in force; and

(f) such other information or commitments, conditions or restrictions as the Engineer may require.

4.2 The Engineer may approve a proposed Water Use Plan in whole or in part, and may amend the proposed Water Use Plan, or add such other or further commitments, conditions and restrictions as the Engineer considers advisable.

4.3 If the operator consents to adopt a Water Use Plan approved by the Engineer it shall signify such consent in writing, specifying the date on which the operator will adopt the Water Use Plan, in which case the Water Use Plan shall come into force for that operation on the later of the date specified in the notice of consent, or the date on which the Engineer receives the written notice of consent.

4.4 If the operator does not consent to adopt the Water Use Plan approved by the Engineer, the Water Use Plan shall be of no force or effect.

4.5 If a Water Use Plan is in force for an operation, the operator shall comply with all conditions and restrictions set out in the Water Use Plan.

- 4.6 The Engineer may terminate or suspend a Water Use Plan by notifying the operator in writing at least seven days before the termination date.
- 4.7 An operator may terminate a Water Use Plan by notifying the Engineer in writing, in which case the Water Use Plan is terminated on the later of the date specified in the notice, or the date on which the Engineer receives the notice.

PART 5: PERMITS

- 5.1 A Person may apply to the Engineer for a Permit authorizing the Person to Water when Stage 1 Restrictions or Stage 2 Restrictions are in force, at times specified in the Permit, at the premises described in the Permit, during the currency of the Permit if:

- (a) The Person has installed a new Lawn, either by placing sod or turf or by seeding, or has installed new landscaping on a substantial part of the outdoor portion of a property; or
- (b) The Person is applying nematodes to a Lawn to control the proliferation of European Chafer Beetles

A Permit issued during Stage 1 Restrictions or Stage 2 Restrictions will remain in effect during Stage 3 Restrictions until the expiry date indicated on the permit. A Permit does not exempt the holder from Stage 4 Restrictions.

No Permit shall be issued or renewed during Stage 3 Restrictions or Stage 4 Restrictions.

- 5.2 A government, school, or park may apply to the Engineer for a Permit authorizing watering at times specified in the Permit, at the premises described in the Permit, during the currency of the Permit. Permitted exemptions may be granted as described in Schedule 1 in relation to:

- (a) New lawns
- (b) Lawns being treated for the European Chafer Beetle
- (c) Newly over-seeded soil based playing fields
- (d) Newly over-seeded sand-based playing fields

A Permit issued during Stage 1 Restrictions or Stage 2 Restrictions will remain in effect during Stage 3 Restrictions until the expiry date indicated on the permit. A Permit does not exempt the holder from Stage 4 Restrictions.

No Permit for new lawns or the treatment of European Chafer Beetle shall be issued or renewed during Stage 3 Restrictions or Stage 4 Restrictions.

No Permit for over-seeded soil or sand based playing fields shall be issued or renewed during Stage 4 Restrictions.

A Permit does not exempt the holder from Stage 4 Restrictions.

- 5.3 A Permit issued applicable to a premises shall be affixed to a post facing the street, beside the principal driveway or otherwise so that it is fully visible from the street.
- 5.4 The application for a Permit must be in the form prescribed by the Engineer.

New Lawns or Landscaping

- 5.5 The Engineer, upon being satisfied that an applicant qualifies under section 5.1 or 5.2 due to new Lawn or landscaping installation, shall issue a Permit in the form set out in Schedule 2 (for residential properties) or Schedule 3 (for non-residential properties) or Schedule 4 (Government/School/Park) to the applicant upon payment of a non-refundable fee in the amount of
- \$30.00 for a single family dwelling unit or non-residential property and an additional \$30.00 for each of the dwelling units in a multiple residential development, to a maximum of \$150.00 for 5 or more dwelling units in a multiple residential development
 - \$0 for a Government, School or Park
- 5.6 A Permit issued under section 5.5 for new Lawns or landscaping shall expire and be of no force or effect 21 days after the date of its issue, unless the Person has been issued an extension under section 5.7.
- 5.7 Before or after the expiration of a Permit issued under section 5.5 a Person may apply for one extension of the Permit for new Lawn or landscape Watering on the same terms and conditions as may be imposed under section 5.5. Such an extension shall end on or before 42 days from the date of the issue of the Permit under section 5.5.

Nematode Application

- 5.8 The Engineer, upon being satisfied that an applicant qualifies under section 5.1 or 5.2 for nematode application, shall issue a Permit in the form set out in Schedule 2 (for residential properties), Schedule 3 (for non-residential properties) or Schedule 4 (Government/School/Park) to the applicant upon payment of a fee in the amount of \$0.
- 5.9 A Permit issued under section 5.8 for nematode application shall expire and be of no force or effect 21 days after the date of its issue. Permits issued for nematode application may not be renewed.

Newly over-seeded soil or sand based playing fields

- 5.10 The Engineer, upon being satisfied that an applicant qualifies under section 5.2 for newly over-seeded soil or sand based playing fields, shall issue a Permit in the form set out in Schedule 4 (Government/School/Park) to the applicant without fee

PART 6: OFFENCES AND PENALTIES

- 6.1 Every Person who violates or contravenes any of the provisions of this Bylaw, or suffers or allows to be done any act or thing that violates or contravenes this Bylaw, commits an offence.
- 6.2 A prosecution under this Bylaw may be commenced by:
- (a) proceedings under Division 3 of Part 8, of the *Community Charter*; or
 - (b) prosecution of the offence in accordance with the *Offence Act*.
- 6.3 Subject to section 6.4, if a prosecution is commenced pursuant to paragraph 6.2(b), upon conviction the offender shall be liable to pay a fine:
- (a) for a first conviction for an offence, of not more than \$10,000 and not less than \$3,000; and
 - (b) for a second or subsequent conviction for an offence, of not more than \$10,000 and not less than \$5,000 for each offence.
- 6.4 Where a prosecution is commenced against a commercial entity pursuant to paragraph 6.2(b) for an offence committed while Stage 4 restrictions are in effect, whether or not a Water Use Plan is in effect for the offender, upon conviction that Person shall be liable to pay a fine of not less than \$5,000.
- 6.5 Paragraph 6.3(b) applies whether or not a second or subsequent conviction is for conduct that preceded the conduct that is the subject matter of the prosecution then before the court.
- 6.6 If an offence under this Bylaw continues for more than one day, separate fines each not exceeding the maximum fine for that offence may be imposed for each day or part thereof in respect of which the offence occurs or continues.
- 6.7 In a prosecution under this Bylaw the onus of establishing an exemption under subsections 1.2, 2.2, or 3.2 of Schedule 1 lies on the Person claiming the exemption.

PART 7: DATE OF COMING INTO FORCE

- 7.1 This Bylaw comes into force and takes effect on the date of its adoption.

PART 8: REPEAL

- 8.1 Maple Ridge Water Shortage Response Plan Bylaw No. 6307-2005 and all amendments thereto are hereby repealed.

READ a first time the day of , 2018.

READ a second time the day of , 2018.

READ a third time the day of , 2018.

ADOPTED the day of , 2018.

PRESIDING MEMBER

CORPORATE OFFICER

Attachments:

- Schedule 1
- Schedule 2
- Schedule 3
- Schedule 4

**CITY OF MAPLE RIDGE
BYLAW NO. 7425-2018**

SCHEDULE 1 – STAGE RESTRICTIONS

PART 1: GENERAL RESTRICTIONS FOR ALL STAGES (1 THROUGH 4)

1. All hoses must have an automatic shut-off device;
2. Water must not unnecessarily run off on impermeable surfaces such as driveways, curbs, pathways, or gutters when watering lawns and plants;
3. Artificial playing turf and outdoor tracks must not be watered except for a health or safety reason;
4. Hoses and taps must not run unnecessarily;
5. Irrigation systems must not be faulty, leaking, or misdirected.

PART 2: STAGE 1 RESTRICTIONS

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Even-numbered civic addresses: on Wednesdays and Saturdays from 4 am to 9 am Odd-numbered civic addresses: on Thursdays and Sundays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 4 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non-residential watering times)	Even-numbered civic addresses: on Mondays from 1 am to 6 am and on Fridays from 4 am to 9 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am and on Fridays from 4 am to 9 am
	Watering new lawns or lawns being treated for European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation

User	Water Use	Restriction
GOVERNMENTS/ SCHOOLS/PARKS	Watering lawns and grass boulevards	Even-numbered civic addresses: on Mondays from 1 am to 6 am and on Fridays from 4 am to 9 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am and on Fridays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Watering soil-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited

PART 3: STAGE 2 RESTRICTIONS

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Even-numbered civic addresses: on Wednesdays from 4 am to 9 am Odd-numbered civic addresses: on Thursdays from 4 am to 9 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 4 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment - Aesthetic cleaning by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non- residential watering times)	Even-numbered civic addresses: on Mondays from 1 am to 6 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Watering golf courses	Fairways watering anytime on any one day in a 7-day period, except if operating under an approved local government water management plan

User	Water Use	Restriction
NON-RESIDENTIAL	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment - Aesthetic cleaning by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Even-numbered civic addresses: on Mondays from 1 am to 6 am Odd-numbered civic addresses: on Tuesdays from 1 am to 6 am
	Watering new lawns or lawns being treated for the European Chafer Beetle	Outside restricted lawn watering times if in compliance with a local government permit
	Watering trees, shrubs, and flowers excluding edible plants	On any day from 1 am to 9 am if using a sprinkler On any day at any time if using a handheld hose, soaker hose, water container, or drip irrigation
	Watering soil-based playing fields	No more than 4 days in a 7-day period from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	On any day from 7 pm to 9 am, except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited
	Operating water play parks and pools	Prohibited except water play parks with user-activated switches
	Topping up or filling aesthetic water features	Prohibited

PART 4: STAGE 3 RESTRICTIONS

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers excluding edible plants	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason - Preparing a surface for painting or similar treatment by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non- residential watering times)	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers excluding edible plants	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Watering golf courses	Fairways watering prohibited except if operating under an approved local government water management plan
	Washing impermeable surfaces	Prohibited except if: <ul style="list-style-type: none"> - For a health or safety reason

User	Water Use	Restriction
NON-RESIDENTIAL		<ul style="list-style-type: none"> - Preparing a surface for painting or similar treatment by a commercial cleaning operation
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited except for pools and hot tubs with a permit to operate in accordance with health authorities having jurisdiction over pool and hot tub regulation
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety
	Commercial vehicle washing	Prohibited except if: <ul style="list-style-type: none"> - A facility that installed an automatic vehicle wash system before November 1, 2017, is operating on a basic wash and rinse cycle only - A facility that installed an automatic vehicle wash system after November 1, 2017, is operating using a water recycling system that achieves a minimum 60% water recovery rate over the full wash cycle - A hand wash and self-service facility, is operating using high-pressure wands or brushes that achieve a maximum flow rate of 11.4 litres per minute
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	Local government permits issued in Stages 1 or 2 remain in effect until permit expires No new permits issued or renewed
	Watering trees, shrubs, and flowers	Prohibited if using a sprinkler or soaker hose On any day at any time if using a handheld hose, water container, or drip irrigation
	Watering soil-based playing fields	No more than 3 days in a 7-day period from 7 pm to 9 am except if: <ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Watering sand-based playing fields	No more than 5 days in a 7-day period from 7 pm to 9 am, except if:

User	Water Use	Restriction
GOVERNMENTS/SCHOOLS/PARKS		<ul style="list-style-type: none"> - Watering newly over-seeded fields if in compliance with a local government permit - Operating under an approved local government water management plan
	Flushing water mains	Prohibited
	Operating water play parks	Prohibited except water play parks with user-activated switches
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited except for pools and hot tubs with a permit to operate in accordance with health authorities having jurisdiction over pool and hot tub regulation
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety

PART 5: STAGE 4 RESTRICTIONS

User	Water Use	Restriction
RESIDENTIAL	Watering lawns	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing impermeable surfaces	Prohibited except if ordered by a regulatory authority having jurisdiction for a health or safety reason
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety
NON-RESIDENTIAL	Watering lawns (mixed-use buildings e.g. residential and commercial should follow Non- residential watering times)	Prohibited
	Watering new lawns or lawns being treated for the European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited

NON-RESIDENTIAL	Watering golf courses	Prohibited
	Washing impermeable surfaces	Prohibited except if ordered by a regulatory authority having jurisdiction for health or safety reason
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety
	Commercial vehicle washing	Prohibited
GOVERNMENTS/SCHOOLS/PARKS	Watering lawns and grass boulevards	Prohibited
	Watering new lawns or lawns being treated for European Chafer Beetle	All local government permits issued for lawn watering are invalidated
	Watering trees, shrubs, flowers and edible plants	Prohibited
	Watering soil-based playing fields	Prohibited
	Watering sand-based playing fields	Prohibited
	Flushing water mains	Prohibited
	Operating water play parks	Prohibited
	Topping up or filling aesthetic water features	Prohibited
	Topping up or filling pools and hot tubs	Prohibited
	Washing vehicles and boats	Prohibited except to clean windows, lights, mirrors, license plates, and boat engines for safety

PART 6: EXEMPTIONS

- 6.1 The City is exempt from the restrictions in Parts 1 to 5 of Schedule 1 for activities that are necessary for the purpose of protecting public health and safety.

CITY OF MAPLE RIDGE
BYLAW NO. 7425-2018

SCHEDULE 2 – RESIDENTIAL LAWN WATERING PERMIT



LAWN WATERING PERMIT

4:00 A.M. – 9:00 A.M. DAILY

THIS RESIDENTIAL PROPERTY
IS TEMPORARILY EXEMPT FROM CURRENT WATER RESTRICTIONS
UNDER BYLAW NO. 7425-2018

PERMIT PROPERTY ADDRESS

PERMIT EXPIRY DATE

This Permit **MUST BE VISIBLY DISPLAYED** on the residence during its term.

RECEIPT NUMBER:

City of Maple Ridge
11995 Haney Place, Maple Ridge, BC V2X 6A9 Tel: 604-467-7339 Fax: 604-467-7461
engineering@mapleridge.ca

CITY OF MAPLE RIDGE
BYLAW NO. 7425-2018

SCHEDULE 3 – NON-RESIDENTIAL LAWN WATERING PERMIT



LAWN WATERING PERMIT

1:00 A.M. – 6:00 A.M. DAILY

THIS NON-RESIDENTIAL PROPERTY
IS TEMPORARILY EXEMPT FROM CURRENT WATER RESTRICTIONS
UNDER BYLAW NO. 7425-2018

PERMIT PROPERTY ADDRESS

PERMIT EXPIRY DATE

This Permit **MUST BE VISIBLY DISPLAYED** on the residence during its term.

RECEIPT NUMBER:

City of Maple Ridge
11995 Haney Place, Maple Ridge, BC V2X 6A9 Tel: 604-467-7339 Fax: 604-467-7461
engineering@mapleridge.ca

CITY OF MAPLE RIDGE
BYLAW NO. 7425-2018

SCHEDULE 4 – GOVERNMENT, SCHOOL OR PARK LAWN WATERING PERMIT



☐ LAWN WATERING PERMIT

1:00 A.M. – 6:00 A.M. DAILY

☐ PLAYING FIELD WATERING PERMIT

DAILY

**THIS GOVERNMENT, SCHOOL OR PARK PROPERTY
IS TEMPORARILY EXEMPT FROM CURRENT WATER RESTRICTIONS
UNDER BYLAW NO. 7425-2018**

PERMIT PROPERTY ADDRESS

PERMIT EXPIRY DATE

This Permit **MUST BE VISIBLY DISPLAYED** on the residence during its term.

RECEIPT NUMBER:

City of Maple Ridge
11995 Haney Place, Maple Ridge, BC V2X 6A9 Tel: 604-467-7339 Fax: 604-467-7461
engineering@mapleridge.ca

CITY OF MAPLE RIDGE

Maple Ridge Water Service Amending Bylaw No. 7427-2018

A Bylaw to amend Maple Ridge Water Service Bylaw No. 6002-2001

WHEREAS the Council of the City of Maple Ridge deems it expedient to further amend the Maple Ridge Water Service Bylaw No. 6002-2001.

NOW THEREFORE, the Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as Maple Ridge Water Service Amending Bylaw No. 7427-2018
2. Maple Ridge Water Service Bylaw No. 6002-2001 is amended by changing all instances of Maple Ridge Water Shortage Response Plan Bylaw No. 6307-2005 to Maple Ridge Drinking Water Conservation Plan Bylaw No. 7425-2018.

READ a first time this day of , 2018.

READ a second time this day of , 2018.

READ a third time this day of , 2018.

ADOPTED this day of , 2018.

PRESIDING MEMBER

CORPORATE OFFICER

City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council

DATE: March 13, 2018

FILE NO: RFP-OP12-50

FROM: Chief Administrative Officer

ATTN: Council

SUBJECT: Contract Renewal Award: Electrical Contractor Services

EXECUTIVE SUMMARY:

In February 2013, the City entered into a 3-year contract with Boileau Electric & Pole Line Limited for the provision of electrical contractor services primarily consisting of on-call services to support existing City infrastructure, systems and facilities, such as sewage, storm, and water pump stations, reservoir, traffic lights, street lights, and illuminated pedestrian crossing signs. The contract allows for two contract extensions each of two years duration. The first contract extension expired on January 31, 2018 and the City has the option to renew the contract for an additional two years.

RECOMMENDATION:

That the contract for 'Electrical Contractor Services' be awarded to Boileau Electric and Pole Line Limited for the final two year option period and further that the Corporate Officer be authorized to execute the contract.

DISCUSSION:

a) Background Context:

In February 2013, the City entered into a 3-year contract with Boileau Electric & Pole Line Limited for the provision of electrical contractor services primarily consisting of on-call services to support existing City infrastructure, systems and facilities, such as sewage, storm, and water pump stations, reservoir, traffic lights, street lights, and illuminated pedestrian crossing signs. The contract allows for two contract extensions each of two years duration. The first contract extension expired on January 31, 2018 and the City has the option to renew the contract for an additional two years.

b) Business Plan/Financial Implications:

The work is to support existing City infrastructure, systems and facilities, such as sewage, storm, and water pump stations, reservoir, traffic lights, street lights, and illuminated pedestrian crossing signs. All work is completed on a time and material basis with estimates provided as required. Estimated annual value is approximately \$230,000.00 based on average of the previous years' excluding appropriate taxes. There will be no increase to the 2018-2020 unit pricing as Boileau Electric & Pole Line Limited have agreed to hold their rates.

CONCLUSION:

Within the scope of the work requirements detailed in RFP-OP12-50 and Proposal submission Boileau Electric and Pole Line Limited has met or exceeded the expectations in regards to the contract, renewing the contract for its final two (2) year optional period would provide the best value to the City.

“Original signed by Mike Gjaltema”

Prepared by: **Mike Gjaltema**
Electro/Mechanical Manager

“Original signed by Daniela Mikes”

Reviewed by: **Daniela Mikes**
Manager of Procurement

“Original signed by James Storey”

Approved by: **James Storey**
Director of Engineering Operations

“Original signed by Frank Quinn”

Approved by: **Frank Quinn**
General Manager: Public Works and Development Services

“Original signed by Paul Gill”

Concurrence: **Paul Gill**
Chief Administrative Officer

City of Maple Ridge

TO: Her Worship Mayor Nicole Read
and Members of Council

MEETING DATE: March 13, 2018
FILE NO:

FROM: Chief Administrative Officer

MEETING: Council

SUBJECT: Strategic Wildfire Prevention Initiative – UBCM Grant Funding

EXECUTIVE SUMMARY:

This report describes an opportunity for grant funding through UBCM under the Strategic Wildfire Prevention Initiative (SWPI) program for the purposes of educating residents on FireSmart principles. Effects of a wildfire are lessened and better managed on properties and communities which follow FireSmart principles. Council is being asked to provide support for the application.

RECOMMENDATION:

That the application for FireSmart Planning & Activities Grant Program funding through the Union of British Columbia Municipalities be supported.

DISCUSSION:

a) Background Context:

In 2016 and 2017 city staff applied for and received funding under the UBCM – Strategic Wildfire Prevention Initiative (SWPI) to educate private land owners on their part in community wildfire protection. Staff is again recommending applying for funds to continue this work in 2018. Plans for this year's funding include:

1. Continuing education presentations during the Fire Department's Hot Summer Nights Program in areas located in the wildfire development permit area.
2. Secure a booth at the Home Show to connect with and educate residents.
3. Design and purchase of FireSmart banners for public events.
4. A chipping event for residents who register and participate in property hazard assessments for cleanup from hazard mitigation.

All grant application submissions are vetted by the UBCM evaluation committee to ensure cost effectiveness and good value. Prior to obtaining final grant approval, applicants must provide a Council Resolution indicating support for the proposed activities and willingness to provide overall grant management.

b) Desired Outcome(s): (whenever possible)

In applying for funding under the UBCM – SWPI program, City staff intend on securing provincial funds to provide educational and planning opportunities for private land owners in the wildland urban interface. These opportunities will assist citizens with making their property as resilient as possible to the threat of interface forest fires.

c) Strategic Alignment (as appropriate):

The project that will be completed with grant funding will support building a safe and resilient community.

d) Interdepartmental Implications:

The project leaders are both career and paid-on-call firefighters.

e) Business Plan/Financial Implications:

The grant will cover 100% of all costs associated with FireSmart planning activities. There will be no cost to the City.

f) Alternatives:

Should Council choose not to adopt the resolutions, the application will not be successful.

CONCLUSIONS:

Education and planning are the cornerstones of fire prevention. Applying for provincial funds through the UBCM – SWPI program will enable staff to continue the work started in 2016. This funding program provides 100% cost coverage of all associated costs for the planning and delivery of FireSmart activities.

“Original signed by Timo Juurakko”

Prepared by: Timo Juurakko, Assistant Fire Chief

“Original signed by Howard Exner”

Approved by: Howard Exner, Fire Chief

“Original signed by Paul Gill”

Concurrence: **Paul Gill, CPA, CGA**
Chief Administrative Officer

Strategic Wildfire Prevention Initiative
FireSmart Planning & Activities Grant Program

**February 2018 Intake
APPLICATION FORM**

Please complete and return this form by February 23, 2018. All questions are to be answered by typing directly in this form. For detailed instructions regarding application requirements, please refer to February 2018 SWPI FireSmart Planning & Activities Grant Program & Application Guide.

SECTION 1: APPLICANT INFORMATION

Local Government or First Nation: City of
Maple Ridge

Date of Application: February 23, 2018

Contact Person*: Timo Juurakko

Title: Assistant Fire Chief

Phone: 604.476.3051

E-mail: tjuurakko@mapleridge.ca

* Contact person must be an authorized representative of the applying local government or First Nation

SECTION 2: COMMUNITY INFORMATION

1. SCOPE OF PROJECT. Are the proposed activities for a specific neighbourhood or community within your local government/First Nation or for entire area? Please describe the proposed area.
Proposed activities are for interface areas of the City of Maple Ridge: Silver Valley, Rock Ridge, Whonnock

2. FIRESMART COMMUNITY RECOGNITION. Has your First Nation or a neighbourhood or community within your local government/First Nation achieved FireSmart Community Recognition status from Partners in Protection?

No

3. LOCAL FIRESMART REPRESENTATIVE TRAINING. Has a staff person, elected official or community member in your local government or First Nation completed the Local FireSmart Representative workshop? Please indicate the workshop date and location.

Timo Juurakko - April 2012, Kamloops; Michael Van Dop - May 2015, Kamloops; Dustin Williamson, Steve Howe, Rob Sikora - March 2017, Chilliwack

SECTION 3: PROJECT INFORMATION

4. PROJECT INFORMATION.

Project title:

Proposed project start and end dates: Start: May 2018 End: October 2018

Total Project Budget: \$10,000

5. DESCRIPTION OF PROPOSED ACTIVITIES.

Please describe the specific activities you plan to undertake. Refer to Table 1 in the Program & Application Guide for the FireSmart disciplines and eligible activities.

Design and purchase 3 banners to support our community event static displays visually.

Host 2 barbecue events in conjunction with our popular Hot Summer Nights public relations/education program (July/August); distribute FireSmart information and encourage property owners to sign up for property risk assessments.

Through the highly successful Ridge-Meadows Home Show which occurs during the weekend of Wildfire Community Preparedness Day, on May 5; we have secured a booth where we will schedule homeowners for site assessments and also schedule a "before/after" chipping event - we secure a chipper/operator/truck for part of a day and Maple Ridge residents who signed up bring photos of their property before clean up and after clean up and then are allowed to chip debris for free.

Design and produce promotional FireSmart items such as water bottles/t-shirts/note pads/pencils as per the committee's design abilities.

6. OUTCOMES/PROGRESS TO DATE.

If you have previously received funding under the SWPI FireSmart grant program, please provide an update on the outcomes of those funded projects or a summary of progress to date.

We have received funding for the last two years and held numerous events. Hopefully this year we can augment the May 5th Wildfire Community Preparedness Day to a degree to capture community interest to make our other events more successful.

7. INTENDED OUTCOMES & DELIVERABLES.

What will be the specific deliverables? How will the project encourage communities and citizens to adopt and conduct FireSmart practices to mitigate the negative impacts of wildfire to assets on community and private property?

1. For residents in long established neighbourhoods in the interface, the goal is to educate the property owners/occupants on FireSmart principles so that they take action to help their homes and neighbourhoods survive a wildfire and to obtain recognition from FireSmart Canada.

8. COMMUNITY PARTNERS.

Please list all confirmed partners (e.g. community or resident organization, First Nation or Aboriginal organization or other local government) that will directly participate in your project and the specific role they will play.

No other partners at this time.

SECTION 4: REQUIRED APPLICATION MATERIALS

Only complete applications will be considered for funding. The following separate attachments are required to be submitted as part of the application:

- ☒ Completed Application Form
- ☐ Local government Council or Board resolution, or First Nation Band Council resolution, indicating support for the current proposed activities and willingness to provide overall grant management
- ☒ Detailed budget

SECTION 5: SIGNATURE (To be signed by Local Government or First Nation Applicant)

Applications are required to be signed by an authorized representative of the applicant. Please note all application materials will be shared with the Province.

Name: Time Juurakko

Title: Assistant Fire Chief - City of Maple Ridge

Signature:

Date: February 23, 2018

All applications should be submitted to:

Local Government Program Services, Union of BC Municipalities

E-mail: swpi@ubcm.ca

Mail: 525 Government Street, Victoria, BC, V8V 0A8

Preliminary Budget: 2018 MRFD Strategic Wildfire Prevention Initiative

Event Promotions	1/4 Page Newspaper x2	\$250.00
	1/4 Page Newspaper x2	\$250.00
	1/4 Page Newspaper x2	\$250.00
Educational Materials	Design/Printing	\$1,000.00
	Banners	\$1,550.00
Event Barbecue	Food/Drink/Propane	\$200.00
	Food/Drink/Propane	\$200.00
	Food/Drink/Propane	\$200.00
Booth at Homeshow		\$640.00
Wages for Homeshow	40 hours	\$1,200.00
Wages for Site Assessments	80 hours	\$2,400.00
Wages for Chipping Day	6 hours x 2	\$360.00
Chipper/Truck/Staff	6 hours	\$1,500.00
		\$10,000.00