City of Maple Ridge

COUNCIL MEETING AGENDA
December 14, 2021
7:00 p.m.
Virtual Online Meeting including Council Chambers

Meeting Decorum:
Council would like to remind all people present tonight that serious issues are decided at Council meetings which affect many people's lives. Therefore, we ask that you act with the appropriate decorum that a Council Meeting deserves. Commentary and conversations by the public are distracting. Should anyone disrupt the Council Meeting in any way, the meeting will be stopped and that person's behavior will be reprimanded. The meeting is live streamed and recorded by the City of Maple Ridge.

Note: This Agenda is also posted on the City's website at www.mapleridge.ca

The purpose of a Council meeting is to enact powers given to Council by using bylaws or resolutions. This is the venue for debate of issues before voting on a bylaw or resolution.

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100 CALL TO ORDER

200 AMENDMENTS TO THE AGENDA

300 APPROVAL OF THE AGENDA

400 ADOPTION OF MINUTES

401 Minutes of the Regular Council Meeting of November 23, 2021

500 PRESENTATIONS AT THE REQUEST OF COUNCIL – Nil

600 DELEGATIONS

601 **Economic Development Strategy**
Presentation by Chris Fields, Principal, Rynic

602 **Downtown Maple Ridge Business Improvement Area Facade Program**
Presentation to be provided by Flori Chaykowski, Executive Director

700 CONSENT AGENDA

If Council decides, all the recommendations in the reports on the Consent Agenda can be approved in one motion, without discussion. If Council wishes to discuss a report, that report is removed from the Consent Agenda. A report may be removed should discussion be required, should a member of Council wish to vote against the recommendations or should a member of Council indicate a conflict of interest in relation to the topic. Any reports not removed from the Consent Agenda are passed without discussion.

701 Minutes

701.1 Development Agreements Committee Meetings of:

- November 30, 2021
- December 7, 2021

701.2 Committees and Commissions of Council Meetings

Agricultural Advisory Committee

- June 24, 2021
- October 4, 2021

Community Heritage Commission

- October 7, 2021

Environmental Advisory Committee

- May 26, 2021
- October 6, 2021

Municipal Advisory Committee on Accessibility and Inclusiveness

- September 23, 2021

Parks, Recreation and Culture Committee

- June 2, 2021
- September 29, 2021

Social Policy Advisory Committee

- May 5, 2021

Transportation Advisory Committee

- September 22, 2021

702 Reports

702.1 Disbursements for the month ended October 31, 2021

Staff report dated December 14, 2021 providing information on disbursements for the month ended October 31, 2021.

702.2 **2021 Council Expenses**

Staff report dated December 14, 2021 listing Council expenses recorded to November 30, 2021.

702.3 **Maple Ridge Pitt Meadows Arts Council Society Annual Report and Financial Statements**

Staff report dated December 14, 2021 submitting their Annual Report and Financial Statements for the fiscal year end on June 30, 2021.

703 **Correspondence** – Nil

704 **Release of Items from Closed Council Status**

704.1 Item Released from Closed Status - December 7, 2021

Item 04.02 - Appointment to the Board of Variance
- Tracy Spackman

Item 04.03 - Committee/Commission Membership Appointment - 2022 Appointments

Agricultural Advisory Committee
- Alec Biln
- Jeff Laity

Community Heritage Commission
- Graham Strang

Economic Development Advisory Committee
- Craig Fewer
- Lilian Kan
- Elliot Markillie

Environmental Advisory Committee
- Mark Adams
- Brian Clark
- Kirk Grayson

Parks, Recreation and Culture Committee
- Sasha Passaglia
- Stephen Von Sychowski

Public Art Steering Committee
- Amiel Logan

Transportation Advisory Committee
- Charles Glover
- Jerry Kok
- Chris O'Brian
- Dylan Stott
- Jennifer Wright

Item 04.04 - Advisory Design Panel Membership - 2022 Appointments
- Jaswinder Gabri
- San Yun Kim

705 **Recommendation to Receive Items on Consent**

800 UNFINISHED BUSINESS

The items in the "Unfinished Business" category are staff reports presented at an earlier Council Workshop meeting, typically a week prior, to provide Council with an opportunity to ask staff detailed questions. The items are now before the regular Council Meeting for debate and vote. Both meetings are open to the public. ***The reports are not reprinted again in hard copy****, however; they can be found in the electronic agenda or in the Council Workshop agenda packages dated accordingly.*

900 CORRESPONDENCE – Nil

1000 BYLAWS

Bylaws for Adoption

1001 **Parking Bylaw Amendment - Payment-In-Lieu Rates Parking Rate, Off-Street Parking and Loading Amending Bylaw No. 7795-2021**

Off-Street Parking and Loading Amending Bylaw No. 7795-2021 for adoption.

1002 **2017-031-RZ, 21333 River Road, RS-1 to RT-2, Zone Amending Bylaw No. 7348-2017**

Staff report dated December 14, 2021 recommending adoption.

1003 **2017-185-RZ, 11143 Princess Street, RS-1 to R-1, Zone Amending Bylaw No. 7362-2017**

Staff report dated December 14, 2021 recommending adoption.

1004 **2018-231-RZ, 28621 104 Avenue and 10455 287 Street, A-1 and A-2 to RS-3, Zone Amending Bylaw No. 7483-2018**

Staff report dated December 14, 2021 recommending adoption.

1005.1 **2013-087-RZ, 23500 and 23550 Larch Avenue, RS-2 and RS-3 to RM-1 and P-1, Official Community Plan Amending Bylaw No. 7526-2018**

Staff report dated December 14, 2021 recommending adoption.

1005.2 **2013-087-RZ, 23500 and 23550 Larch Avenue, RS-2 and RS-3 to RM-1 and P-1, Zone Amending Bylaw No. 7068-2014**

Recommending adoption.

1006.1 **2018-464-RZ, 11907 223 Street, RM-3 to RM-2, Official Community Plan Amending Bylaw No. 7631-2020**

Staff report dated December 14, 2021 recommending adoption.

1006.2 **2018-464-RZ, 11907 223 Street, RM-3 to RM-2, Zone Amending Bylaw No. 7563-2019**

Recommending adoption.

1007 **2022-2026 Financial Plan Bylaw No. 7813-2021**

Recommending adoption

1100 COMMITTEE REPORTS AND RECOMMENDATIONS

The items in the "Committee Reports and Recommendations" category are staff reports presented at an earlier Committee of the Whole meeting, typically a week prior, to provide Council with an opportunity to ask staff detailed questions. The items are now before the regular Council Meeting for debate and vote. Both meetings are open to the public. ***The reports are not reprinted again in hard copy****, however; they can be found in the electronic agenda or in the Committee of the Whole agenda package dated accordingly.*

1101 **2019-032-CP, Lougheed Transit Corridor Area Plan and Development Permit Guidelines**

Staff report dated December 7, 2021 recommending that Maple Ridge Official Community Plan Amending Bylaw No. 7781-2021 to include the Lougheed Transit Corridor Area Plan and Development Permit Guidelines and reflect the Commercial land use implications be given first reading, that staff work in partnership with the Ministry of Transportation and Infrastructure, TransLink, and the City of Pitt Meadows to undertake a Lougheed Highway study and that a land use review of properties adjacent to the Lougheed Transit Corridor Area Plan to ensure appropriate transitional land uses be conducted.

1102 **2021-341-RZ, 22108, 22118, 22126, 22136, 22146, 22154 and 22164 Lougheed Highway, RS-1 to RM-2**

Staff report dated December 7, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7780-2021 to rezone from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential), to permit the future construction of a six-storey, 224 unit residential apartment building be given first reading and that the applicant provides further information as described on Schedules C, D, and E of the Development Procedures Bylaw No. 5879-1999.

1103 **2021-352-RZ, 23613 132 Avenue, RS-2 to RM-1**

Staff report dated December 7, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7787-2021 to rezone from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential) to permit the future construction of 20 townhouse dwelling units in five separate buildings be given first reading and that the applicant provide further information as described on Schedules C, D, E and J of the Development Procedures Bylaw No. 5879-1999.

1104 **2021-393-RZ, 10869 and 10911 248 Street, RS-3 to R-1, R-2 and R-3**

Staff report dated December 7, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7811-2021 to rezone from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential; R-2 (Single Detached (Medium Density) Urban Residential), R-3 (Single Detached (Intensive) Urban Residential), to permit a future subdivision of approximately 11 R-1 (Single Detached (Low Density) Urban Residential zoned lots, 12 R-2 (Single Detached (Medium Density) Urban Residential) zoned lots and 11 R-3 (Single Detached (Intensive) Urban Residential) zoned lots, for a total of approximately 34 lots be given first reading and that the applicant provide further information as described on Schedules A, B, E, F, and G of the Development Procedures Bylaw No. 5879-1999, along with the information required a Subdivision application.

1105 **2021-471-RZ, 22582, 22588, 22596, 22606 and 22610 121 Avenue, RS-1 to RM-2**

Staff report dated December 7, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7810-2021 to rezone from RS-1 (Single Detached Residential) to RM-3 (Medium/High Density Apartment Residential), to permit the future construction of a five storey apartment building with approximately 87 units be given first reading and that the applicant provide further information as described on Schedules C, D and E of the Development Procedures Bylaw No. 5879–1999.

1106 **2019-255-RZ, 12297 222 Street and 22175 and 22185 123 Avenue, RS-1 to CD-6-21**

Staff report dated December 7, 2021 recommending that Maple Ridge Official Community Plan Amending Bylaw No. 7803-2021 to amend Urban Residential and Conservation designations be given first and second reading and be forwarded to Public Hearing and that Maple Ridge Zone Amending Bylaw No. 7812-2021 to rezone from RS-1 (One Family Urban Residential) to CD-6-21 (Medium Density Mixed Use Rental and Market Apartment Residential), to accommodate a seven-storey mixed market and rental and apartment building intendant to be utilized by seniors and individuals with various disabilities and special needs and provide a 36 space neighbourhood child care centre be given first and second reading and be forwarded to Public Hearing.

1107 **2019-268-RZ, 22340 & 22328 St. Anne Avenue and 11654 & 11664 223 Street, C-3 and RS-1 to CD-3-21**

Staff report dated December 7, 2021 recommending that Maple Ridge Official Community Plan Amending Bylaw No. 7796-2021 to change the maximum height restriction from 5 to 6 storeys for sites designated Low-rise Multi-Family apartment, Commercial, and Mixed-Use in Port Haney be given first and second reading and be forwarded to Public Hearing and that Maple Ridge Zone Amending Bylaw No. 7584-2019 to rezone from C-3 (Town Centre Commercial), RS-1 (One Family Urban Residential) to CD Zone based on CRM (Commercial/Residential) for a mixed use development with 111 apartment units and 535.46 square metres (6,115 square feet) office and retail space be given second reading as amended and be forwarded to Public Hearing.

1108 **2021-215-RZ, Zone Amending Bylaw No. 7749-2021**

Staff report dated December 7, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7749-2021 to include housekeeping amendments to Maple Ridge Zoning Bylaw No. 7600-2019 be given first and second reading and that a Public Hearing be waived.

1109 **2013-087-DVP, 2013-087-DP, 23500 and 23550 Larch Avenue**

Staff report dated December 7, 2021 recommending that that the Corporate Officer be authorized to sign and seal 2013-087 DVP and 2013-087-DP to reduce the front and rear setbacks, and to increase the retaining wall height.

1110 **2018-464-DVP, 2018-464-DP, 11907 223 Street**

Staff report dated December 7, 2021 recommending that the Corporate Officer be authorized to sign and seal 2018-464-DVP and 2018-464-DP to reduce front lot line and rear lot line setbacks, and proposed in-lieu parking contribution for eight parking spaces.

5. ENGINEERING SERVICES

1131 **Increased Contract Value for ITT-EN17-27: Engineering Design and Construction Services for South Slope Forcemain Upsizing and 225 Street Sanitary Pump Station Upgrades**

Staff report dated December 7, 2021 recommending that the Associated Engineering (B.C.) Ltd. Contract for ITT-EN17-27: Engineering Design and Construction Services for South Slope Forcemain Upsizing and Pump Station Modifications, be increased by $435,000 for construction services (contract administration and inspection services) for Phase 3.

1132 **Local Area Service - 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021**

Staff report dated December 7, 2021 recommending that 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021 be given first, second and third readings.

6. CORPORATE SERVICES – Nil

7. PARKS, RECREATION & CULTURE – Nil

8. ADMINISTRATION

1191 Telecommunications Antenna Structure Proposal – SBA Canada - UBC Research Forest

Staff report dated December 7, 2021 recommending that concurrence for the proposed wireless communications tower at 14500 Silver Valley Road Avenue be approved and further that staff be directed to prepare a Letter of Concurrence for delivery to both SBA Canada and Innovation, Science and Economic Development Canada.

1200 STAFF REPORTS

1201 Renewal of Funding for the Downtown Maple Ridge Business Improvement Association's Facade Improvement Program

Staff report dated December 14, 2021 titled "Renewal of Funding for the Downtown Maple Ridge Business Improvement Association's Facade Improvement Program" recommending the renewal of matching funding for the DMRBIA's Facade Improvement Program be approved for a five-year period to a maximum of $25,000 annually, commencing January 1, 2022.

1202 Economic Development Strategy

Staff report dated December 14, 2021 titled "Economic Development Strategy" recommending that the Economic Development Strategy be adopted.

1300 OTHER MATTERS DEEMED EXPEDIENT

1400 PUBLIC QUESTION PERIOD

1500 MAYOR AND COUNCILLOR REPORTS

1600 NOTICES OF MOTION AND MATTERS FOR FUTURE MEETING

1700 ADJOURNMENT

PUBLIC QUESTION PERIOD

The purpose of the Public Question Period is to provide the public with an opportunity to ask questions of Council on items that are of concern to them, with the exception of Public Hearing bylaws which have not yet reached conclusion.

Council will not tolerate any derogatory remarks directed at Council or staff members.

Each person will be permitted **2 minutes** to ask their question (a second opportunity is permitted if no one else is sitting in the chairs in front of the podium). Questions must be directed to the Chair of the meeting and not to individual members of Council. **The total session is limited to 15 minutes.**

Council reserves the right to defer responding to a question in order to obtain the information required to provide a complete and accurate response.

Other opportunities are available to address Council including public hearings, delegations and community forum. The public may also make their views known to Council by writing or via email and by attending open houses, workshops and information meetings. Serving on an Advisory Committee is an excellent way to have a voice in the future of this community.

For more information on these opportunities contact:
Clerk's Department at **604-463-5221** or **clerks@mapleridge.ca**
Mayor and Council at **mayorcouncilandcaol@mapleridge.ca**

APPROVED BY:
DATE: Dec 10, 2021

PREPARED BY: C. Crabtree
DATE: Dec. 10, 2021

CHECKED BY: C. Schmidt
DATE: Dec. 10/2021

City of Maple Ridge

COUNCIL MEETING AGENDA

December 14, 2021
7:00 p.m.
Virtual Online Meeting including Council Chamber

ADDENDUM

700 *CONSENT AGENDA*

703.1 Financial Impact of Surrey Police Service on Lower Mainland Municipalities

Letter from the National Police Federation dated December 8, 2021.

PREPARED BY: _____ APPROVED BY: _____

DATE: December 13, 2021 DATE: Dec 13, 2021

Doc#2947637

400 **Adoption and Receipt of Minutes**

City of Maple Ridge

COUNCIL MEETING MINUTES

November 23, 2021

The Minutes of the City Council Meeting held virtually and hosted in Council Chambers on November 23, 2021 at 7:01 p.m. at City Hall, 11995 Haney Place, Maple Ridge, British Columbia for the purpose of transacting regular City business.

PRESENT	*Appointed Staff*
Elected Officials	S. Hartman, Chief Administrative Officer
Mayor M. Morden	C. Carter, General Manager Planning & Development Services
Councillor J. Dueck	C. Crabtree, General Manager Corporate Services
Councillor C. Meadus	D. Pollock, General Manager Engineering Services
Councillor G. Robson	P. Hlavac-Winsor, General Counsel and Executive Director,
Councillor R. Svendsen	Legislative Services
Councillor A. Yousef	S. Nichols, Corporate Officer
	T. Thompson, Director of Finance
ABSENT	*Other Staff as Required*
Councillor K. Duncan	C. Goddard, Director of Planning

Note: These Minutes are also posted on the City's Web Site at www.mapleridge.ca
Video of the meeting is posted at media.mapleridge.ca/Mediasite/Showcase

Note: Due to the COVID-19 pandemic, Councillor Robson and Councillor Yousef participated electronically. The Mayor chaired the meeting from Council Chambers.

100 *CALL TO ORDER*

200 *AMENDMENTS TO THE AGENDA*

Addition of Items to 704 Release of Items from Closed Council Status

300 *APPROVAL OF THE AGENDA*

R/2021-CM-365
It was moved and seconded

That the agenda of the Regular Council Meeting of November 23, 2021 be amended with the addition of items to Section 704 Release of Items from Closed Council Status as follows:

Released at the November 23, 2021 Special Closed Council Meeting

- Item 04.02 City of Maple Ridge and CUPE Local 622 Memorandum of Agreement – motion to approve the Memorandum of Agreement between the City of Maple Ridge and CUPE Local 622 passed at the November 23, 2021 Special Closed Council Meeting; and further

That the agenda of the Regular Council Meeting of November 23, 2021 be approved as amended.

CARRIED

400 *ADOPTION AND RECEIPT OF MINUTES*

401 Minutes of the Regular Council Meeting of November 9, 2021

R/2021-CM-366
It was moved and seconded

That the minutes of the Regular Council Meeting of November 9, 2021 be adopted as circulated.

CARRIED

402 Report of the Public Hearing of November 16, 2021

R/2021-CM-367
It was moved and seconded

That the report of the Public Hearing of November 16, 2021 be adopted as circulated.

CARRIED

500 *PRESENTATIONS AT THE REQUEST OF COUNCIL* – Nil

600 *DELEGATIONS* – Nil

700 *ITEMS ON CONSENT*

701 *Minutes*

701.1 Development Agreements Committee Meetings

- November 9, 2021
- November 17, 2021

702 Reports

702.1 2021 Council Expenses

Staff report dated November 23, 2021 listing Council expenses recorded to October 31, 2021.

702.2 **Disbursements for the month ended September 30, 2021**

Staff report dated November 23, 2021 providing information on disbursements for the month ended September 30, 2021.

702.3 **2022 Acting Mayor Appointments and Government Agencies, Committees & Commissions and Community Groups and Organization Appointments**

Staff report dated November 23, 2021 recommending that the Acting Mayor Schedule and appointments for December 2021 to December 2022 be approved and that the appointments to Government Agencies, Advisory and/or Legislated Committees, Special Committees, Community Groups and Organizations and Standing Committees for December 2021 to December 2022 be approved.

703 *Correspondence* – Nil

704 *Release of Items from Closed Council Status*

From the Special Closed Council Meeting of November 23, 2021

- Item 04.02 City of Maple Ridge and CUPE Local 622 Memorandum of Agreement – motion to approve the Memorandum of Agreement between the City of Maple Ridge and CUPE Local 622

705 Recommendation to Receive Items on Consent

R/2021-CM-368
It was moved and seconded

That items on the Consent Agenda for the November 23, 2021 Council Meeting be received into the record.

CARRIED

800 *UNFINISHED BUSINESS* – Nil

900 *CORRESPONDENCE* – Nil

1000 *BYLAWS*

1001 **2016-238-RZ, 24212 112 Avenue**

1001.1 **Maple Ridge Official Community Plan Amending Bylaw No. 7265-2016**
To redesignate the subject property from Institutional, Low Density Residential, Low/Medium Density Residential and Conservation, to Park, Low/Medium Density Residential and Conservation, and add to Conservation and remove from Conservation.

R/2021-CM-369
Moved and seconded

That Official Community Plan Amending Bylaw No. 7265-2016 be given third reading.

CARRIED

1001.2 **Maple Ridge Zone Amending Bylaw No. 7266-2016**

To rezone from RS-3 (Single Detached Rural Residential) to RS-1b (Single Detached [Medium Density] Residential). The current application is to permit the future subdivision of approximately 10 single-family lots.

R/2021-CM-370
Moved and seconded

That Zone Amending Bylaw No. 7266-2016 be given third reading.

CARRIED

1002 **2019-331-RZ, 25597 130 Avenue**
Maple Ridge Zone Amending Bylaw No. 7586-2019

To rezone from RS-3 (Single Detached Rural Residential) to RS-2 (Single Detached Suburban Residential). The current application is to permit a future subdivision of two (2) lots.

R/2021-CM-371
Moved and seconded

That Zone Amending Bylaw No. 7586-2019 be given third reading.

CARRIED

Councillor Yousef – OPPOSED

1003 **2020-062-RZ, 22347 117 Avenue, 22349 North Avenue and Unaddressed Lot (PID 008-130-493)**

1003.1 **Maple Ridge Official Community Plan Amending Bylaw No. 7794-2021**

To redesignate the subject properties from Low-Rise Apartment to Town Centre Commercial.

R/2021-CM-372
Moved and seconded

That Official Community Plan Amending Bylaw No. 7794-2021 be given third reading.

CARRIED

1003.2 **Maple Ridge Zone Amending Bylaw No. 7649-2020**

To rezone from RT-1 (Two Family Urban Residential) and RM-3 (High Density Apartment Residential) to C-3 (Town Centre Commercial). The current application is to permit the future construction of a six-storey building with ground-level commercial space and approximately 67 apartment units.

R/2021-CM-373
Moved and seconded
That Zone Amending Bylaw No. 7649-2020 be given third reading.

CARRIED

Bylaws for Adoption

1004 2018-430-RZ, 23689 and 23717 Fern Crescent, RS-2 to RM-1
Staff report dated November 23, 2021 recommending adoption

1004.1 Maple Ridge Official Community Plan Amending Bylaw No. 7730-2021
To amend the Silver Valley Area Plan Official Community Plan Land Use Designation Map to adjust the Conservation Boundary.

R/2021-CM-374
Moved and seconded
That Official Community Plan Amending Bylaw No. 7730-2021 be adopted.

CARRIED

1004.2 Maple Ridge Zone Amending Bylaw No. 7520-2018
To rezone from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential) to permit construction of a 35-unit townhouse development.

R/2021-CM-375
Moved and seconded
That Zone Amending Bylaw No. 7520-2018 be adopted.

CARRIED

1005 Maple Ridge Cemetery Amending Bylaw No. 7797-2021
To amend Maple Ridge Cemetery Bylaw No. 7612-2020

R/2021-CM-376
Moved and seconded
That Cemetery Amending Bylaw No. 7797-2021 be adopted.

CARRIED

1100 *REPORTS AND RECOMMENDATIONS*

Planning and Development Services

1101 2021-117-RZ, #1 - 23382 River Road, Temporary Use Permit

Staff report dated November 16, 2021 recommending that Temporary Use Permit 2021-117-RZ to allow for a temporary retail thrift clothing store within the previous small diner/restaurant forced to close due to COVID restrictions be forwarded to the next available Public Hearing and subsequent Council meeting.

R/2021-CM-377
Moved and seconded

That the Temporary Use Permit 2021-117-RZ, respecting property located at #1 - 23382 River Road, be forwarded to the next available Public Hearing and subsequent Council meeting for decision.

CARRIED

1102 2021-357-RZ, 12333 227 Street, RS-1 to RT-1

Staff report dated November 16, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7801-2021 to rezone from RS-1 (Single Detached Residential) to RT-1 (Two-Unit Urban Residential) to permit the future construction of a duplex be give first reading and that the applicant provide further information as described on Schedule C of the Development Procedures Bylaw No. 5879-1999.

R/2021-CM-378
Moved and seconded

1. **That Zone Amending Bylaw No. 7801-2021 be given first reading; and further**

2. **That the applicant provide further information as described on Schedule C of the Development Procedures Bylaw No. 5879-1999.**

CARRIED

1103 2021-402-RZ, 20535 123 Avenue, RS-1 to R-1

Staff report dated November 16, 2021 recommending that Maple Ridge Zone Amending Bylaw No. 7800-2021 to rezone from RS-1 (Single Detached Residential) to R-1 (Single Detached [Low Density] Urban Residential) to permit a future subdivision of approximately two lots, each approximately 460 m^2 in area be given first reading and that the applicant provide further information as described on Schedule B of the Development Procedure Bylaw No. 5879-1999, along with the information required for a Subdivision application.

R/2021-CM-379
Moved and seconded

1. **That Zone Amending Bylaw No. 7800-2021 be given first reading; and further**

2. That the applicant provide further information as described on Schedule B of the Development Procedures Bylaw No. 5879-1999, along with the information required for a Subdivision application.

CARRIED

1104 2018-430-DVP, 2018-430-DP, 23689 and 23717 Fern Crescent

Staff report dated November 16, 2021 recommending that the Corporate Officer be authorized to sign and seal 2018-430-DVP for a reduction in setbacks, an increase in building height and a reduction for the combined Common Open Area(s) and that the Corporate Officer be authorized to sign and seal 2018-430-DP to allow 35 RM-1 (Low Density Townhouse Residential) zoned townhouses.

The Corporate Officer advised that 10 notices were sent in relation to the item and that W. Pinder, Maple Ridge Lapidary Club, responded expressing opposition and/or concerns.

R/2021-CM-380
Moved and seconded

1. That the Corporate Officer be authorized to sign and seal 2018-430-DVP respecting properties located at 23689 and 23717 Fern Crescent; and further

2. That the Corporate Officer be authorized to sign and seal 2018-430-DP respecting properties located at 23689 and 23717 Fern Crescent.

CARRIED

1105 Aquifer Mapping Update, Official Community Plan Amending Bylaw

Staff report dated November 16, 2021 recommending that Maple Ridge Official Community Plan Amending Bylaw No. 7802-2021 to remove the Aquifer Map from the Official Community Plan and replace the map with text to clarify that groundwater sources are under the jurisdiction of the Province be given first and second reading and be forwarded to Public Hearing.

R/2021-CM-381
Moved and seconded

1. In respect of Section 475 of the Local Government Act, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:
   a. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
   b. The Board of any Regional District that is adjacent to the area covered by the plan;

c. The Council of any municipality that is adjacent to the area covered by the plan;
d. First Nations;
e. Boards of Education, Greater Boards and Improvements District Boards; and
f. The Provincial and Federal Governments and their agencies;

and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment; and further

2. That Official Community Plan Amending Bylaw No. 7802-2021 be given first and second reading and be forwarded to Public Hearing.

CARRIED

1191 UBCM 2021 Community Emergency Preparedness Fund (CEPF)

Staff report dated November 16, 2021 recommending that an application for grant funding to hire a consultant to review and update the City of Maple Ridge's Evacuation Route Plan be submitted to the Union of British Columbia Municipalities (UBCM) and that the City of Maple Ridge provide overall grant management for the funding.

R/2021-CM-382
Moved and seconded

That an application be submitted to the Union of British Columbia Municipalities Community Emergency Preparedness Fund (CEPF) for grant funding to hire a consultant to review and update the City of Maple Ridge's Evacuation Route Plan; and further

That overall grant management for the funding be provided by the City of Maple Ridge.

CARRIED

1200 *STAFF REPORTS*

1201 2022 Council Meeting Schedule

Staff report dated November 23, 2021 recommending that the 2022 Council Meeting Schedule be adopted.

R/2021-CM-383
Moved and seconded

That the 2022 Council Meeting Schedule as attached to the staff report dated November 23, 2021, titled "2022 Council Meeting Schedule" be amended to allow staff flexibility when adopted.

CARRIED

1300 *OTHER MATTERS DEEMED EXPEDIENT* – Nil

1400 *PUBLIC QUESTION PERIOD* – Nil

1500 *MAYOR AND COUNCILLORS' REPORTS* – Nil

Note: Councillor Yousef left the meeting at 7:22 p.m. and did not return

1600 NOTICES OF MOTION AND MATTERS FOR FUTURE MEETINGS – Nil

1700 *ADJOURNMENT* – 7:23 p.m.

M. Morden, Mayor

Certified Correct

S. Nichols, Corporate Officer

600 **Delegations**

700 ***ITEMS ON CONSENT***

701 **Minutes**

701.1 **Development Agreements Committee**

CITY OF MAPLE RIDGE
DEVELOPMENT AGREEMENTS COMMITTEE

November 30, 2021
Mayor's Office

CIRCULATED TO:

Michael Morden, Mayor
Chair

Scott Hartman, Chief Administrative Officer
Member

Catherine Schmidt, Recording Secretary

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1. 2013-087-RZ

LEGAL:	Lot 1 Section 28 Township 12 New Westminster District Plan EPP114470 Lot 2 Section 28 Township 12 New Westminster District Plan EPP114470 Lot 4 Section 28 Township 12 New Westminster District Plan 24142 Lot 38 Section 28 Township 12 New Westminster District Plan 40978
PID:	n/a
LOCATION:	23500 and 23550 Larch Avenue
OWNER:	KBK No. 108 Ventures Ltd. (Warren MacKenzie)
REQUIRED AGREEMENTS:	Geotechnical Covenant (Lot 1) No Build & Land Acquisition Covenant (Lot 2) Rezoning Servicing Agreement (Lots 4 and 38) Demolition/No Build/No Disturb Covenant (Lots 4 and 38) Stormwater Management Covenant (Lot 1) Visitor Parking Covenant (Lot 1)

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENTS AS THEY RELATE TO 2013-087-RZ.

CARRIED

2. 2018-464-RZ

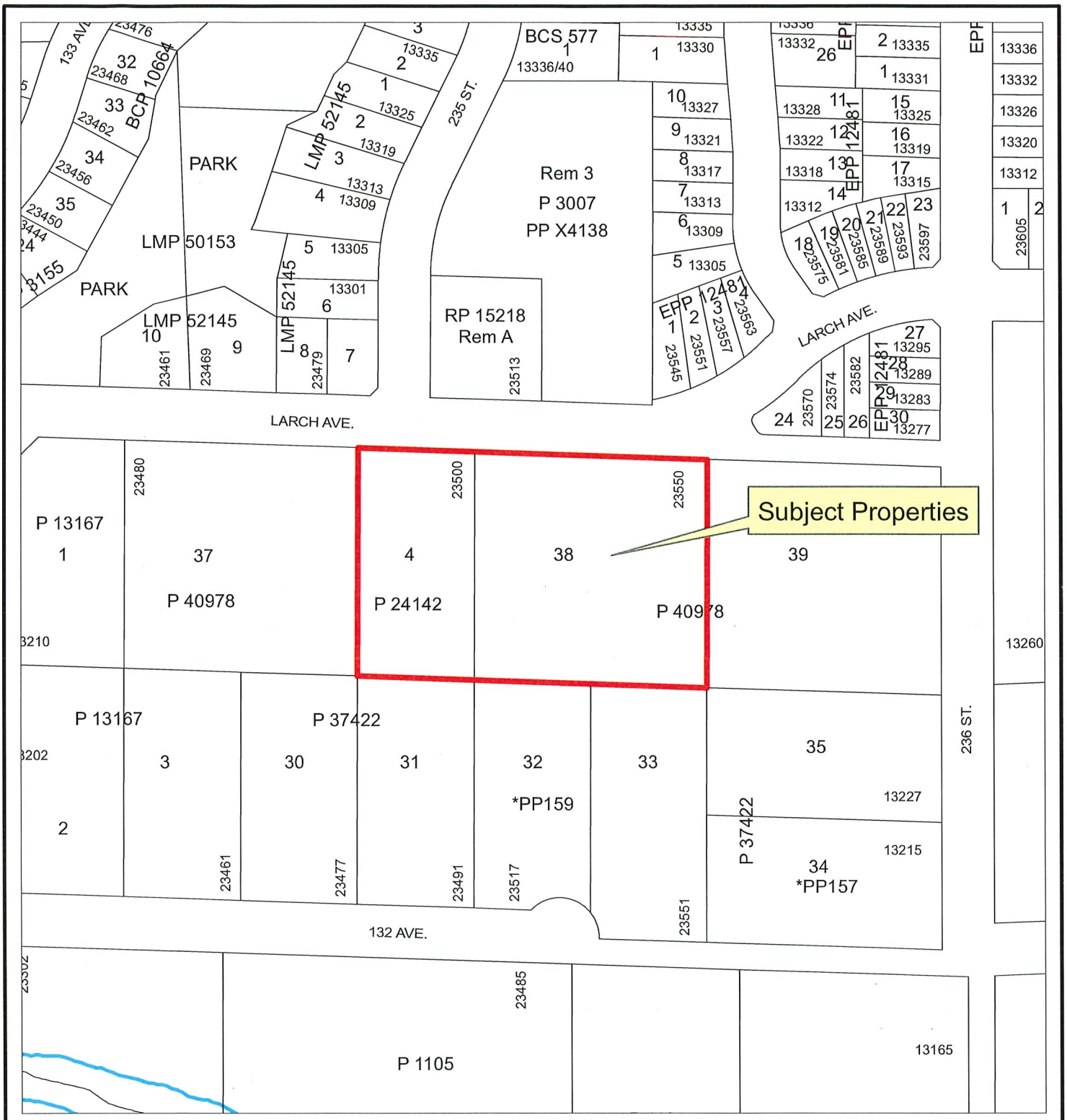
LEGAL:	Lot 4 District Lot 398 Group 1 New Westminster District Plan 8380
PID:	011-308-681
LOCATION:	11907 223 Street
OWNER:	1153922 B.C. Ltd.
REQUIRED AGREEMENTS:	Rezoning Servicing Agreement

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 2018-464-RZ.

CARRIED

Michael Morden, Mayor
Chair

Scott Hartman, Chief Administrative Officer
Member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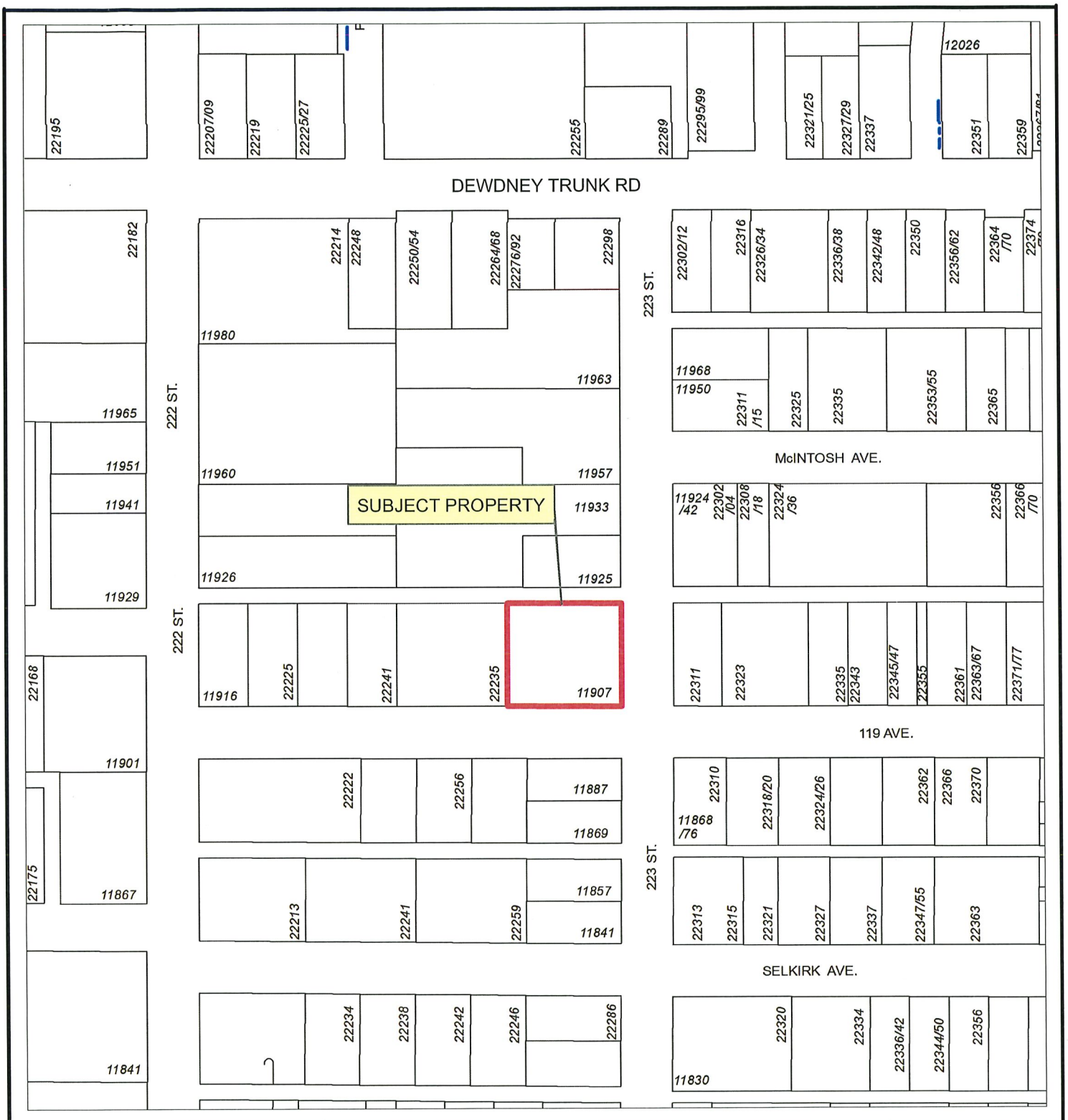
132 AVE.
235 ST.
236 ST.
PARK
LMP 50153
LMP 52145
BCP 10664
Rem 3
P 3007
PP X4138
RP 15218
Rem A
P 13167
P 40978
P 24142
P 37422
*PP159
*PP157
P 1105
23500/23550 Larch Ave
N
Scale: 1:2,000
City of Pitt Meadows
District of Mission
District of Langley
FRASER R.
MAPLE RIDGE
British Columbia
CORPORATION OF THE DISTRICT OF MAPLE RIDGE
FINANCE DEPARTMENT
DATE: Sep 6, 2013
2013-087-RZ
BY: JV



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Scale: 1:2,000

Legend

Ditch Centreline

11907 223 St

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2018-464-RZ
DATE: Nov 8, 2018

BY: LP

CITY OF MAPLE RIDGE
DEVELOPMENT AGREEMENTS COMMITTEE

December 7, 2021
Mayor's Office

CIRCULATED TO:

Michael Morden, Mayor
Chair

Scott Hartman, Chief Administrative Officer
Member

Catherine Schmidt, Recording Secretary

---

1. 5245-20-B565

LEGAL:	Lot 722 District Lot 278 Group 1 New Westminster District Plan 114
PID:	004-368-932
LOCATION:	20614 Lorne Avenue
OWNER:	Komal, Navdeep and Sukhdev Josan
REQUIRED AGREEMENTS:	Building Development Agreement

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 5245-20-B565.

CARRIED

2. 21-119073 BG

LEGAL:	Lot 12 Section 16 Township 12 New Westminster District Plan LMP36721
PID:	024-052-591
LOCATION:	11637 Creekside Street
OWNER:	Sadaf and Zeeshan Syed
REQUIRED AGREEMENTS:	Release of Covenant (BM21960)

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 21-119073 BG.

CARRIED

3. 16-129495 BG

LEGAL:	Lot 2 District Lot 280 Group 1 New Westminster District Plan 69333
PID:	001-531-883
LOCATION:	20199 Ashley Crescent
OWNER:	Owais Mahmood Akbar and Madiha Akbar
REQUIRED AGREEMENTS:	Temporary Residential Use Covenant

THAT THE MAYOR AND CORPORATE OFFICER BE AUTHORIZED TO SIGN AND SEAL THE PRECEDING DOCUMENT AS IT RELATES TO 16-129495 BG.

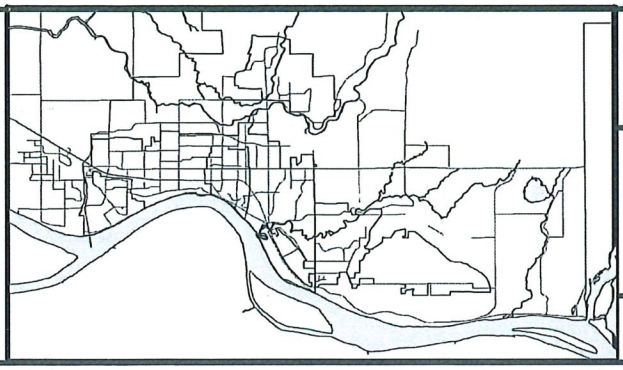
CARRIED

Michael Morden, Mayor
Chair

Scott Hartman, Chief Administrative Officer
Member

N

Scale: 1:2,000



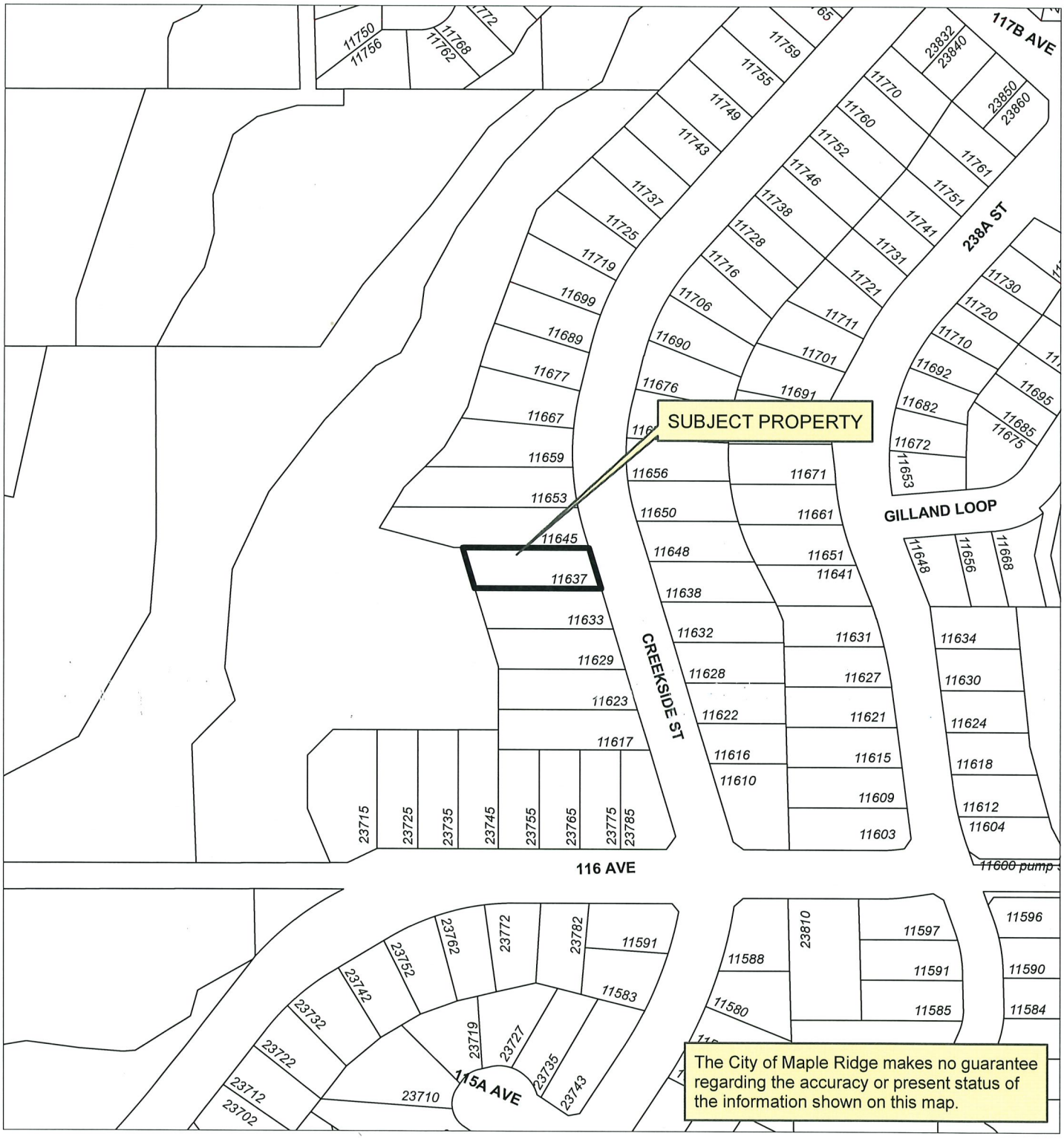
20614 Lorne Ave

ENGINEERING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: Subject Map
DATE: Nov 24, 2021

BY: NV



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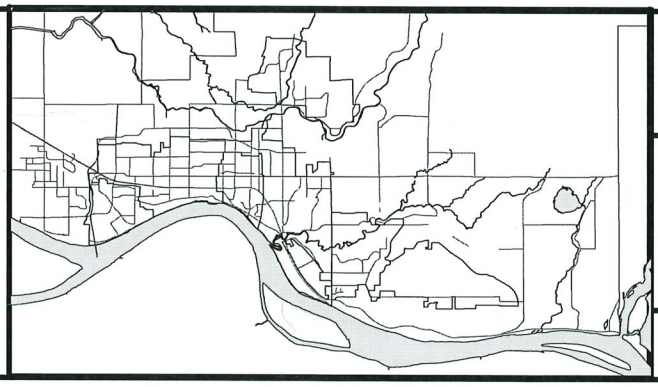


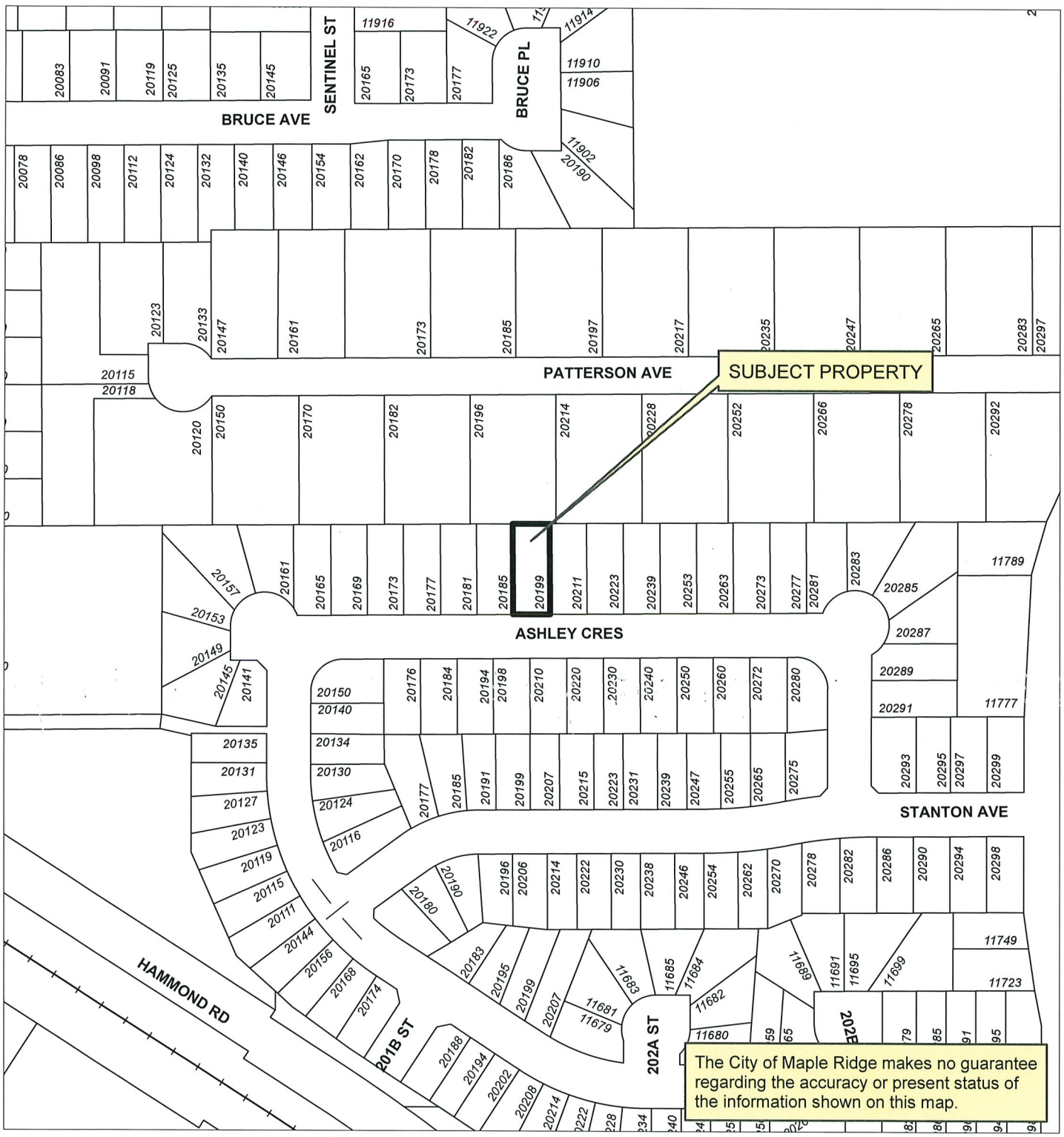
11637 Creekside St

ENGINEERING DEPARTMENT

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: Subject Map
DATE: Nov 29, 2021 BY: NV



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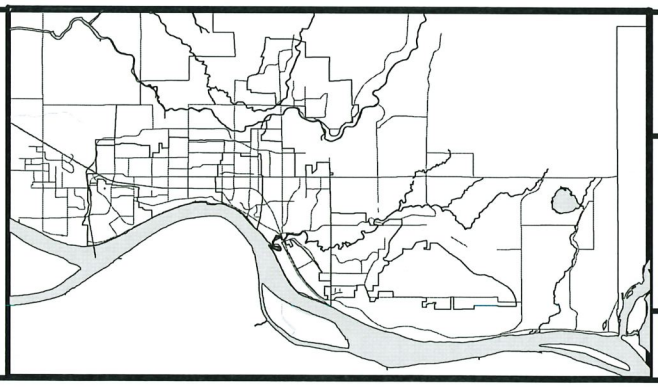

20199 Ashley Cres

ENGINEERING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: Subject Map

DATE: Nov 29, 2021

BY: NV

701.2 Minutes of Meetings of Committees and Commissions of Council

City of Maple Ridge
Agricultural Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Agricultural Advisory Committee, held via Zoom teleconference on June 24, 2021 at 7:00 pm

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COMMITTEE MEMBERS PRESENT

Councillor Gordy Robson	Council Liaison
Bill Hardy, Chair	Member at Large
Carla Schiller, Vice Chair	Member at Large
Pascale Shaw	Member at Large
Lorraine Bates	Agricultural Fair Board Representative
Conley Keyes	B.C. Ministry of Agriculture (Non-voting member)
Melissa Maltais	Fraser North Farmers Market Society Representative

STAFF MEMBERS PRESENT

Adam Rieu	Staff Liaison, Planner 1
Sabina Chand	Committee Clerk, Legal and Legislative Services

COMMITTEE MEMBERS ABSENT

Shannon Lambie	Agriculture Land Commission (Non-voting member)

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1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-012
It was moved and seconded

That the agenda for the June 24, 2021 Agricultural Advisory Committee meeting be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

R/2021-013
It was moved and seconded

That the minutes of the May 27, 2021 Agricultural Advisory Committee meeting be adopted as circulated.

CARRIED

4. DELEGATIONS

4.1 Empowering Farmers with DirectFood Store
Colin Schmidt, SR VP, Product Development, DirectFood Store

C. Schmidt provided an introductory presentation on DirectFood Store's business model which provides opportunities for farmers to sell their products to consumers online. Discussion followed on e-grocery growth, local food, delivery and COVID-19 business environment. The Chair opened the floor for questions and comments and thanked C. Schmidt for the presentation.

Note: C. Schmidt left at 7:35 pm

5. NEW AND UNFINISHED BUSINESS

5.1 AAC Educational Opportunities

The Staff Liaison provided an update on the educational speaker series topics related to agriculture such as pollinators in an urban setting and backyard composting. It was noted that the first speaker series is scheduled for early July.

6. LIAISON UPDATES

6.1 Staff Liaison

The Staff Liaison provided a brief update on the following items:

- Committee update presentation to Council in the fall
- Farm vehicle update – educational information will be posted on the City's webpage
- COVID-19 City protocols

6.2 Council Liaison - NIL

7. TASK FORCE UPDATES

7.1 2021 Food and Garden Contest

The Staff Liaison reported approximate sixty contest entries were received and the Task Force will be meeting to review submissions and announce winners shortly.

8. QUESTION PERIOD FOR THE PUBLIC – NIL

9. ROUNDTABLE

The Chair informed that A. Poszar resigned from the membership and acknowledged his work on the Committee. Melissa Maltais advised that a new Executive Director, Fraser North Farmers Market Society representative will be joining the Committee as of July 1, 2021.

10. ADJOURNMENT

There being no further business, the meeting adjourned at 8:48 p.m.

The next regular meeting of the Agricultural Advisory Committee will be held on Wednesday, September 30, 2021 at 7:00 pm.

Bill Hardy, Chair

/sc

City of Maple Ridge
Agricultural Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Agricultural Advisory Committee, held via Zoom teleconference on October 4, 2021 at 7:00 pm

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COMMITTEE MEMBERS PRESENT

Councillor Gordy Robson	Council Liaison
Bill Hardy, Chair	Member at Large
Carla Schiller, Vice Chair	Member at Large
Lorraine Bates	Agricultural Fair Board Representative
Conley Keyes	B.C. Ministry of Agriculture (Non-voting member)
Alex Pope	Fraser North Farmers Market Society Representative

STAFF MEMBERS PRESENT

Adam Rieu	Staff Liaison, Planner 1
Mike McLean	Committee Clerk, Legal and Legislative Services
Stephanie Nichols	Corporate Officer

COMMITTEE MEMBERS ABSENT

Shannon Lambie	Agriculture Land Commission (Non-voting member)

---

1. CALL TO ORDER – 7:01 pm

2. APPROVAL OF THE AGENDA

R/2021-014
It was moved and seconded

That the agenda for the October 4, 2021 Agricultural Advisory Committee meeting be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

R/2021-015
It was moved and seconded

That the minutes of the June 24, 2021 Agricultural Advisory Committee meeting be adopted.

CARRIED

4. DELEGATIONS

4.1 Open Air Burning – Metro Vancouver
Julie Saxton, Air Quality Planner, Parks and Environment, Metro Vancouver

J. Saxton provided a presentation on the effects of open-air burning, including the health and environmental impacts, current regulations and scope of proposed emission regulations.

Note: J. Saxton left the meeting at 7:28 pm

4.2 Cannabis Regulations – Metro Vancouver
Arvind Saraswat, Senior Project Engineer, Bylaw and Regulation Development, Parks and Environment

A. Saraswat provided a presentation on managing emissions from cannabis production and processing, including site-specific permitting and approval, regulation development process, proposals for managing emissions from indoor cultivation, emissions management plans and emissions control requirements for cannabis production facilities.

Note: E. Berube joined the meeting at 7:35 pm

Note: C. Schiller joined the meeting at 7:37 pm

Note: A. Saraswat left the meeting at 7:42 pm

Note: E. Berube left the meeting at 7:42 pm

5. NEW AND UNFINISHED BUSINESS

5.1 Agricultural Education Update

The Staff Liaison provided an update on agriculture education initiatives, including the 'All Things Compost' event and the speaker series.

5.2 2022 Committee Work Plan Draft

The Staff Liaison presented the Committee with the 2022 draft EAC Work Plan to be reviewed and endorsed by Council. Items on the work plan include gathering public input into the development of community gardens and food and garden contest, exploring alternative options for underutilized fallow lands, providing education and awareness of farm vehicles on City roads, assisting with the development and implementation of Agricultural Plan and exploratory options for 2022.

R/2021-016
It was moved and seconded
That the 2022 Committee Work Plan Draft be adopted as presented.

CARRIED

5.3 Fall Membership Recruitment

The Staff Liaison provided an update on the recruitment of Committee members.

6. LIAISON UPDATES

6.1 Staff Liaison

The Staff Liaison discussed Agricultural Land Commission approvals and additional dwelling units and secondary suites.

6.2 Council Liaison

Council Robson provided an update on the following:

- The loss of dairy farms
- Cube farming
- Update of the 'Grow a Row, Give a Row' initiative

7. TASK FORCE UPDATES

7.1 2021 Food and Garden Contest

The Staff Liaison provided an update on submissions for the 2021 Food and Garden Contest.

8. QUESTION PERIOD FOR THE PUBLIC - NIL

9. ROUNDTABLE

Members provided updates and reports on related agricultural activities and events.

10. ADJOURNMENT – 8:42 pm

Bill Hardy, Chair

/mm

City of Maple Ridge
Community Heritage Commission
MINUTES

The Minutes of the Regular Meeting of the Community Heritage Commission, held via Zoom teleconference on October 7, 2021 at 7:00 pm.

COMMISSION MEMBERS PRESENT

Councillor Ryan Svendsen	Council Liaison
Jared Bissky, Vice Chair	Member at Large
Romana Osborne	Member at Large
Eric Phillips	Member at Large
Julie Koehn	Maple Ridge Historical Society Representative

STAFF PRESENT

Krista Gowan	Staff Liaison, Planner 1
Mike McLean	Committee Clerk, Legal and Legislative Services

ABSENT

Shane Gehring, Chair	Member at Large
Ross Dunning	Maple Ridge Historical Society Representative

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1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-017
It was moved and seconded

That the agenda for the October 7, 2021 Community Heritage Commission meeting be approved as circulated.

CARRIED

3. ADOPTION OF MINUTES

R/2021-018
It was moved and seconded

That the minutes of the Maple Ridge Community Heritage Commission for May 13, 2021 be adopted.

CARRIED

4. DELEGATIONS – NIL

5. NEW AND UNFINISHED BUSINESS

5.1 Municipal Scan of Heritage Plaques/Signage Presentation

Romana Osborne discussed signage options used by other municipalities for heritage sites, including the prevention of vandalism and the creation of plaques by local artists. Councillor Ryan Svendsen discussed replacing valuable metals with less valuable materials to discourage vandalism. Vice Chair Jared Bissky requested that R. Osborne provide further insight into options for heritage plaques/signage during upcoming Committee meetings.

Note: Julie Koehn joined the meeting at 7:04 pm

5.2 Youth Grant Research Presentation

Vice Chair Bissky noted with the absence of Chair Shane Gehring that the Youth Grant Research Presentation should be revisited during the next Committee meeting.

5.3 2022 CHC Work Plan

The Staff Liaison provided an update on the 2022 CHC Work Plan, including the conservation masterplan, advising on heritage revitalization matters, and updating the heritage register.

R/2021-019
It was moved and seconded

That the Community Heritage Commission Work Plan be adopted as is and recommended to Council for approval.

CARRIED

5.4 Annual Heritage Awards

Vice Chair Bissky discussed the process of advertising for the Annual Heritage Awards. Eric Phillips discussed recognizing the contributions of local residents to the preservation of heritage.

5.5 BC Historical Federation 2021 Conference Report Out

J. Koehn provided an overview of the 2021 BC Historical Federation Conference, including the history of the Peace Arch and the value of incorporating different historical perspectives.

5.6 2022 Membership Recruitment

The Staff Liaison provided an update on recruiting members for the CHC and the upcoming deadline for submissions on October 17, 2021.

6. LIASION UPDATES

6.1 Council Liaison

Councillor Svendsen provided an update on the following:

- Pedestrian safety initiatives
- The announcement of Michael Van Dop as the new Fire Chief

6.2 Staff Liaison

The Staff Liaison provided an update on the following:

- The Music on the Wharf concert series
- The demolition of property on Battle Avenue

6.3 Maple Ridge Historical Society

J. Koehn provided an update on the following:

- The repair of the historic caboose
- The 1920s fashion exhibit at the ACT Art Gallery
- The ACT Art Gallery's YouTube channel
- The Music on the Wharf concert series

7. TASK FORCE UPDATES

7.1 Heritage Incentive Planning

Vice Chair Bissky spoke about the possibility of providing financial incentives for the preservation of heritage properties. The Staff Liaison discussed the process of consulting with local groups to determine the logistics of administering and distributing funds.

7.2 Heritage Plan

The Staff Liaison provided an update on the results of recent open house initiatives for the Heritage Plan, including engagement with First Nations and school districts.

Note: Councillor Svendsen left the meeting at 8:03 pm.

8. QUESTION PERIOD FOR THE PUBLIC

9. ROUNDTABLE

E. Phillips discussed the heritage designation of the Port Haney Wharf, the potential for the restoration of a heritage commercial area and the status of various heritage properties. R. Osborne discussed the opportunity to mark the inaugural National Truth and Reconciliation Day and the inclusion of Indigenous peoples in heritage efforts. J. Koehn spoke about attending events on the National Day for Truth and Reconciliation.

10. ADJOURNMENT – 8:22 pm.

The next regular meeting of the Community Heritage Commission will be held on Thursday, November 18, 2021 at 7:00 pm

Jared Bissky, Acting Chair

/mm

City of Maple Ridge
Environmental Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Environmental Advisory Committee (EAC) held via Zoom teleconference on May 26, 2021 at 7:00 pm.

COMMITTEE MEMBERS PRESENT

Councillor Judy Dueck	Council Liaison
Bill Hardy, Chair	Member at Large
Jessie Lees, Vice Chair	Member at Large
Ross Davies	Member at Large
Dennis Kinsey	Member at Large
Simon Matthews	Member at Large
Janice Jarvis	Environmental Professional

STAFF MEMBERS PRESENT

Rodney Stott	Staff Liaison/Environmental Planner
Sabina Chand	Committee Clerk, Legal and Legislative Services

GUEST

Anne Marie Whittaker	Eco Plan International

---

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-005
It was moved and seconded

That the May 26, 2021 Environmental Advisory Committee agenda be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

R/2021-006
It was moved and seconded

That the minutes of the Maple Ridge Environmental Advisory Committee meeting dated April 14, 2021 be adopted as circulated.

CARRIED

4. DELEGATIONS

4.1 Green Infrastructure Strategy Overview - *Anne Marie Whittaker, Eco Plan International*

Anne Marie recapped the presentation from the December 9, 2020 EAC meeting and provided further details on the Green Infrastructure Strategy Plan. Highlights of the presentation included: creation of the roadmap to green infrastructure, project process/timeline, currently in Phase 3: EAC review/department review and details on next steps for Council review and adoption.

Following the presentation, the Committee asked the Staff Liaison to forward the draft Green Infrastructure background reports to members that will be reviewed by Council at the July 13, 2021 Workshop.

Note: Jessie Lees joined at 7:28 pm and left at 7:43 pm

5. NEW AND UNFINISHED BUSINESS

5.1. 2022 Business Plan

The Staff Liaison advised the Committee of the annual business planning timeline and that the 2022 draft EAC Work Plan will be reviewed and endorsed by Council in the fall.

5.2. Environmental Professional Vacancy

The Staff Liaison provided an update on the Environmental Professional vacancy for the EAC membership and advised members to refer candidates for 2022 membership recruitment this fall.

6. LIAISON UPDATES

6.1. Staff Liaison

The Staff Liaison provided an update on the upcoming Green Infrastructure Subcommittee speaker series presentations and noted that the recorded sessions will be forwarded to the Committee.

6.2. Council Liaison

Councillor Dueck provided update on the following:

- Strategic Transportation Plan public engagement survey was sent to EAC via email
- Building Service Review – currently in progress and working with a consultant
- COVID-19 City safety protocols

Note: Anne Marie left at 7:57 pm

7. SUBCOMMITTEE UPDATE

7.1 Green Infrastructure Subcommittee

The Chair noted that the ongoing presentations for the Green Infrastructure speaker series will continue and the meeting information will be shared with the Committee shortly.

8. QUESTION PERIOD

Kirk Grayson, Member of the Public, inquired to the creation of the design charette referenced in the Green Infrastructure Strategy presentation to which the Staff Liaison replied that various stakeholders and experts are brought together to compile the design and final feedback is provided by Council.

9. ROUNDTABLE

Members provided updates and reports on related environmental activities and events.

10. ADJOURNMENT

There being no further business, the meeting adjourned at 8:08 p.m.

The next regular meeting of the Environmental Advisory Committee will be held on Wednesday September 8, 2021 at 7:00 pm.

Bill Hardy, Chair

/sc

City of Maple Ridge
Environmental Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Environmental Advisory Committee (EAC) held via Zoom teleconference on October 6, 2021 at 7:00 pm.

COMMITTEE MEMBERS PRESENT

Councillor Judy Dueck	Council Liaison
Bill Hardy, Chair	Member at Large
Jessie Lees, Vice Chair	Member at Large
Ross Davies	Member at Large
Simon Matthews	Member at Large

STAFF MEMBERS PRESENT

Rodney Stott	Staff Liaison/Environmental Planner
Michael McLean	Committee Clerk, Legal and Legislative Services

ABSENT

Dennis Kinsey	Member at Large
Janice Jarvis	Environmental Professional

---

1. CALL TO ORDER – 7:06 pm

2. APPROVAL OF THE AGENDA

R/2021-007
It was moved and seconded
That the October 6, 2021 Environmental Advisory Committee agenda be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

R/2021-008
It was moved and seconded
That the minutes of the Environmental Advisory Committee meeting dated May 26, 2021 be adopted as circulated.

CARRIED

4. DELEGATIONS

5. NEW AND UNFINISHED BUSINESS

5.1. 2022 EAC Work Plan Draft

The Staff Liaison discussed the progress of the 2022 EAC Work Plan. Items included the Green Infrastructure Subcommittee community outreach, guest speaker series on green infrastructure, environmental communications tools and updates on EAC activities.

5.2. Annual Committee/Subcommittee Presentation to Mayor and Council

The Staff Liaison outlined the activities of the EAC and the Green Infrastructure Subcommittee, including dates for presentation to Council.

5.3. Subcommittee Terms of Reference Renewal

The Staff Liaison discussed the renewal of the terms of reference for the Green Infrastructure Subcommittee.

6. LIAISON UPDATES

6.1. Staff Liaison

The Staff Liaison provided an update on the following:

- The progress of applications for Members at Large and Professional Volunteers
- Efforts by Metro Vancouver to identify long-term planning objectives
- Performance targets for livability, resiliency to climate change, and urban development

6.2. Council Liaison

Councillor Dueck provided an update on the following:

- Metro 2050 plan and collaborating with other municipalities
- Adoption of a regional growth strategy
- Additional business planning by Council
- Selection of a new Chief Administrative Officer and Fire Chief

7. SUBCOMMITTEE UPDATE

7.1 Green Infrastructure Subcommittee

The Staff Liaison discussed the progress of findings from the Green Infrastructure Subcommittee.

8. QUESTION PERIOD - NIL

9. ROUNDTABLE

Members provided updates and reports on related environmental activities.

10. ADJOURNMENT

There being no further business, the meeting adjourned at 8:08 pm.

The next regular meeting of the Environmental Advisory Committee will be held on Wednesday November 10, 2021 at 7:00 pm.

Bill Hardy, Chair

/mm

MAPLE RIDGE/PITT MEADOWS
MUNICIPAL ADVISORY COMMITTEE ON ACCESSIBILITY AND INCLUSIVENESS

The Minutes of the Regular Meeting of the Maple Ridge/Pitt Meadows Municipal Advisory Committee on Accessibility and Inclusiveness, held via Zoom teleconference on September 23, 2021 at 4:30 pm.

COMMITTEE MEMBERS PRESENT

Councillor Chelsa Meadus	Council Liaison, City of Maple Ridge
Councillor Gwen O'Connell	Council Liaison, City of Pitt Meadows
Laurie Geschke, Chair	Member at Large, Maple Ridge
Kim McLennan	Fraser Health Representative
Trina Prince	Member at Large, Pitt Meadows
Katie Sullivan	School District 42 Board Trustee

STAFF PRESENT

Petra Frederick	Staff Liaison, City of Maple Ridge

ABSENT

Michael Biggar	Member at Large, Maple Ridge
Don Mitchell	Member at Large, Maple Ridge
Carolina Echeverri	Family Education and Support Centre Representative
Jackie Senchyna	Staff Liaison, City of Pitt Meadows

---

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-011
It was moved and seconded

That the September 23, 2021 Maple Ridge Pitt Meadows Municipal Advisory Committee on Accessibility and Inclusiveness agenda be adopted.

CARRIED

3. ADOPTION OF MINUTES

R/2021-012
It was moved and seconded

That the minutes of the Maple Ridge Pitt Meadows Municipal Advisory Committee on Accessibility and Inclusiveness dated April 15, 2021 be adopted as circulated.

CARRIED

4. DELEGATIONS

The Committee expressed interest in inviting the City of Maple Ridge's Community Safety Officer as a delegation to the November meeting to provide an update on the Community Safety Plan.

5. NEW AND UNFINISHED BUSINESS

5.1. 2022 Committee Work Plan Draft

The Committee discussed 2021 deliverables, found milestones and 2022 deliverables.

R/2021-013
It was moved and seconded

That the Municipal Advisory Committee on Accessibility and Inclusiveness supports the 2022 Committee Work Plan as proposed and recommends approval by Council.

CARRIED

5.2. COVID-19 Safety Update

P. Frederick provided a brief update to members regarding the implementation of the vaccine passport within Parks, Recreation and Culture (PRC) services along with opportunities for community members to access their vaccine card through the Maple Ridge Library or BC Government Service agency.

5.3. Inclusive and Accessible Volunteerism (discussion)

P. Frederick introduced to the committee a draft supplemental guide 'Creating Accessible and Inclusive Events'. P. Frederick will distribute the guide with committee members for their review, comments and feedback. The final version will be presented at the November meeting for adoption.

6. LIAISON UPDATES

6.1 City of Pitt Meadows

The City of Pitt Meadows is open for business with a masking mandate still in effect. The new BC Housing building located directly behind the Pitt Meadows Family Recreation Centre offering attainable rent has been approved and the start date is to be announced. The new Community Services building is slated to open January 1, 2022 and will offer residents of both Maple Ridge and Pitt Meadows a one-stop shop for accessing community services along with some attainable housing options, including Youth beds (18 to 25 years old). At this time the building manager has been hired. Pitt Meadows is a growing community and continues to see traffic issues, which the city is working through.

6.2 City of Maple Ridge

The City of Maple Ridge is in the process of hiring a new Chief Administrative Officer (CAO), as the outgoing CAO Al Horseman has resigned from his position. Council hopes to have a new CAO in place by October 2021 and is looking for someone that can offer long-term guidance, growth and communication. The City's new Community Safety Officer program is in full operation, with six staff members and runs seven days per week, 16 hours per day.

7. SUBCOMMITTEE AND TASK FORCE UPDATES

7.1 Age-Friendly Subcommittee

Age-Friendly Subcommittee hosted a workshop for building managers, building owners and strata councils who are supporting senior residents and providing attendees with resources pertaining to Building Emergency Preparedness, Community Safety and Senior-based resources, to support 'Aging Well in Place'. The workshop had 23 participants with 20 buildings and/or strata's representatives.

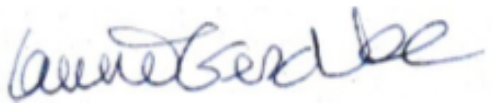
7.2 2021 Work Plan Update – reviewed during agenda item 5.1

7.3 2021 MACAI Awards

The 2021 MACAI award nominations have now closed with nine nominations. It was noted that P. Frederick will work with the same photographer from last year and staff to put together the virtual video of the 2021 award nominees.

8. ROUNDTABLE – NIL

9. ADJOURNMENT – 6:06 p.m.



_____
Laurie Geschke, Chair

/pf

City of Maple Ridge
Parks, Recreation and Culture Committee
SPECIAL MEETING MINUTES

The Minutes of the Special Meeting of the Parks, Recreation and Culture Committee (PRCC) held via Zoom teleconference on June 2, 2021 at 4:00 pm.

COMMITTEE MEMBERS PRESENT	
Councillor Ryan Svendsen, Chair	Council Liaison
Cass MacLeod, Vice Chair	Member at Large
Carolyn Gosling	Member at Large
Clayton Maitland	Member at Large
Mike Murray	School District No. 42 Board Trustee
Stephen Von Sychowski	Member at Large

STAFF PRESENT	
Danielle Pope	Director of Recreation & Community Engagement/Staff Liaison
Valoree Richmond	Director of Parks and Facilities/Staff Liaison
Sabina Chand	Committee Clerk, Legal and Legislative Services

COMMITTEE MEMBERS ABSENT	
Karlo Tamondong	Member at Large

Note: Stephen Von Sychowski joined at 4:34 pm

1. CALL TO ORDER

2. NEW AND UNFINISHED BUSINESS

2.1 2021-2022 PRCC Work Plan

The Staff Liaisons outlined the purpose of the PRCC Work Plan is to develop a framework that aligns with the Committee's Terms of Reference and the City's strategic priorities to accomplish common goals: Community Safety; Intergovernmental Relations; Growth; Community Pride & Spirit; Natural Environment.

The Chair opened the floor for discussion and feedback on the creation of the draft 2021-2022 PRCC Work Plan. Members raised overall interest on the following initiatives:

- Support the development of PRC's Master Plan (Growth);
- Develop methods to increase sponsorship opportunities to support enhancing programs, services and infrastructure (Growth);
- Support truth and reconciliation by collaborating and connecting with our indigenous communities (Inter-Gov Relations);
- Seek opportunities to bring neighbourhoods together through programs, engagement and purpose (Community Pride & Spirit).

The Chair and Staff Liaisons thanked all members for their valuable input and will circulate the draft Plan via email prior to the next meeting for comments. Further discussion will take place at the September 29, 2021 PRCC meeting.

3. ADJOURNMENT – 5:25 p.m.

The next regular meeting of the Parks, Recreation and Culture Committee will be held on Wednesday, September 29, 2021 at 4:00 pm.

Councillor R. Svendsen, Chair

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City of Maple Ridge
Parks, Recreation and Culture Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Parks, Recreation and Culture Committee (PRCC) held via Zoom teleconference on September 29, 2021 at 4:00 pm.

COMMITTEE MEMBERS PRESENT

Councillor Ryan Svendsen, Chair	Council Liaison
Cass MacLeod, Vice Chair	Member at Large
Carolyn Gosling	Member at Large
Mike Murray	School District No. 42 Board Trustee
Stephen Von Sychowski	Member at Large
Karlo Tamondong	Member at Large

STAFF PRESENT

Danielle Pope	Director of Recreation & Community Engagement/Staff Liaison
Valoree Richmond	Director of Parks and Facilities/Staff Liaison
Christa Balatti	Manager of Health & Wellness
Chad Neufled	Manager of Parks, Planning & Development
Dave Speers	Recreation Coordinator, Health & Wellness
Vickie Fulton	Administrative Assistant

COMMITTEE MEMBERS ABSENT

Clayton Maitland	Member at Large

1. CALL TO ORDER

2. ADOPTION OF THE MINUTES

R/2021-10
It was moved and seconded
That the minutes of the Maple Ridge Parks, Recreation and Culture Committee special meeting dated June 2, 2021 be adopted.

CARRIED

3. DELEGATIONS – NIL

4. NEW AND UNFINISHED BUSINESS

4.1 Sports Network Update

Dave Speers, Recreation Coordinator, Health & Wellness, provided a presentation on the Sports Network.

4.2 2021-2022 PRCC Work Plan Update/Review

- Mike Murray and Carolyn Gosling volunteered to support the development of PRC's Master Plan.
- Cass MacLeod and C. Gosling volunteered to support in developing methods to increase sponsorship opportunities to support enhancing programs, services, and infrastructure.
- Stephen Von Sychowski and M. Murray volunteered to support truth and reconciliation by collaborating and connecting with our indigenous communities.
- Karlo Tamondong volunteered to support in seeking opportunities to bring neighbourhoods together through programs, engagement, and purpose.

R/2021-11

It was moved and seconded

That the Parks, Recreation and Culture Advisory Committee supports the 2021-2022 Work Plan as proposed and recommends approval by Council.

CARRIED

4.3 Fall Membership Recruitment

The Staff Liaisons advised that the call for volunteers for advisory committees of Council is open until October 17, 2021.

- It was suggested to include youth representation as Committee Members at Large.

4.4 Policy Reviews:

4.4.1 Park Donation and Gift

R/2021-12

It was moved and seconded

That the Parks, Recreation & Culture Advisory Committee supports the Park Donation and Gift Policy as proposed and recommends approval by Council.

CARRIED

4.4.2 Fees & Charges

R/2021-13

It was moved and seconded

That the Park, Recreation & Culture Advisory Committee supports the Fees and Charges 2021 as proposed and recommends approval by Council.

CARRIED

4.4.3 Parks and Facility Allocation

R/2021-14

It was moved and seconded

That the Parks, Recreation & Culture Advisory Committee supports the Park and Facility Allocation Policy as proposed and recommends approval by Council.

CARRIED

5. LIAISON UPDATES

5.1 Staff Liaison

The Staff Liaisons provided an update on the following items:

- Celebrate the Night is scheduled on October 22, 2021
- Staff encourages the Parks, Recreation & Culture Advisory Committee to follow the City of Maple Ridge's Facebook, Instagram, and Community Events Calendar for up-to-date celebrations, events or other important announcements.
- PRCC Staff is currently working with Metro Vancouver on a promotional video of the Albion Community Centre. Staff Liaisons will send the Parks, Recreation & Culture Advisory Committee the link to the video once it goes live.

5.2 Council Liaison - NIL

6. QUESTION PERIOD FROM THE PUBLIC - NIL

7. ROUNDTABLE - NIL

8. ADJOURNMENT

There being no further business, the meeting adjourned at 6:00 p.m.

The next regular meeting of the Parks, Recreation and Culture Committee will be held on Wednesday, November 24, 2021 at 4:00 pm.

Councillor Svendsen, Chair

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City of Maple Ridge
Social Policy Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Social Policy Advisory Committee (SPAC) held via Zoom teleconference on May 5, 2021 at 6:00 pm.

COMMITTEE MEMBERS PRESENT

Councillor Svendsen, Vice Chair	Council Liaison
Blaire Mikoda, Chair	Member at Large
Eileen Dwillies	Maple Ridge Pitt Meadows Katzie Seniors Network
Jenny Earley	Maple Ridge Pitt Meadows Katzie Community Network
Marissa Stalman	Member at Large
Tarel Swansky	Member at Large

STAFF PRESENT

Tony Cotroneo	Staff Liaison/Manager, Recreation & Community Engagement
Petra Frederick	Community Coordinator, Recreation & Community Engagement
Sabina Chand	Committee Clerk

COMMITTEE MEMBERS ABSENT

Sim Khurme	Youth Member at Large
Kim Dumore	School District No. 42 Board Trustee
Brenna Ayliffe	Fraser Health

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-010
It was moved and seconded

That the May 5, 2021 Social Policy Advisory Committee Meeting Agenda be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

R/2021-011
It was moved and seconded

That the minutes of the Maple Ridge Social Policy Advisory Committee meeting dated March 24, 2021 be adopted.

CARRIED

4. DELEGATIONS

4.1 Introduction to the Municipal Advisory Committee on Accessibility and Inclusiveness (MACAI) Petra Frederick and Laurie Geschke, MACAI

Laurie Geschke, Chair of MACAI provided an introductory presentation on the Committee's current initiatives and answered questions and comments from members. Discussion followed on future collaboration with other advisory committees on similar workplan objectives.

Note: Petra Frederick and Laurie Geschke left at 6:15 pm

5. NEW AND UNFINISHED BUSINESS

5.1 Cities Reducing Poverty 2021 Membership Discussion

Chair reminded everyone of the conversation from the previous meeting that was tabled. Discussion ensued about membership costs and specifics about how many seats are available and who could attend.

R/2021-012
It was moved and seconded

That the Social Policy Advisory Committee directs the Staff Liaison to review and confirm the membership information and explore registrations options as necessary.

CARRIED

5.2 Anti-Discrimination Policy

The Committee Clerk noted that the Anti-Discrimination HR policy applies to all employees and volunteers working for the City of Maple Ridge and is to be reviewed and acknowledged by the Committee.

5.3 Respectful Workplace Policy

The Committee Clerk noted that the Respectful Workplace HR policy applies to all employees and volunteers working for the City of Maple Ridge and is to be reviewed and acknowledged by the Committee.

6. LIAISON UPDATES

6.1 Staff Liaison

The Staff Liaison provided update on the following:

- Update on City Hall operations during the pandemic;
- Youth park mentorship program;
- Update on the work in progress for the Accessible and Inclusiveness Framework Strategy for Maple Ridge.

6.2 Council Liaison - NIL

7. TASK FORCE UPDATES

7.1 2021 SPAC Work Plan

The Chair advised that the Task Force met prior to the meeting today to discuss the Work Plan initiatives for 2021. The Staff Liaison provided a brief update on a few carry over items from the 2020 Plan that were delayed by COVID-19 and noted that the Primary Care Network presentation will be deferred to 2022. Discussion followed on current community safety initiatives and members inquired about a follow up presentation from the Community Safety Officer.

R/2021-013
It was moved and seconded

That the Social Policy Advisory Committee invite the Maple Ridge Community Safety Officer to provide an update on the current Safety Plan at a future meeting.

CARRIED

Jenny Earley provided a brief summary on a virtual webinar called Strengthening Resiliency and highlighted key points of the presentation: impacts of toxic stress, personal support, housing stability, food security and mental health wellness. J. Earley advised that the presentation will be available to public and recommended that all members watch it.

R/2021-014
It was moved and seconded

That the Social Policy Advisory Committee watch the Strengthening Resiliency presentation when available at a future meeting as a group.

CARRIED

8. QUESTION PERIOD - NIL

9. ROUNDTABLE

Members provided verbal reports on relevant events, activities and social policy topics.

Note: Eileen Dwillies left at 7:01 pm

9.1 Youth Strategy - NIL

9.2 Community Action Team (CAT) - NIL

10. ADJOURNMENT

There being no further business, the meeting adjourned at 7:14 p.m.

The next regular meeting of the Social Policy Advisory Committee will be held on Wednesday, July 7, 2021 at 6:00 pm.

Blaire Mikoda, Chair

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City of Maple Ridge
Transportation Advisory Committee
MEETING MINUTES

The Minutes of the Regular Meeting of the Transportation Advisory Committee (TAC), held via Zoom teleconference on September 22, 2021 at 7:00 pm.

COMMITTEE MEMBERS PRESENT

Councillor Chelsa Meadus	Council Liaison
Vijay Soparkar, Chair	Member at Large
Eric Phillips, Vice Chair	Member at Large
Jennifer Wright	Member at Large
Ineke Boekhorst	Member at Large

STAFF MEMBERS PRESENT

Mark Halpin	Staff Liaison/Manager of Transportation
Sabina Chand	Committee Clerk, Legal and Legislative Services

ABSENT

Korleen Carreras	School District No. 42 Board Trustee

Note: Ineke Boekhorst joined at 7:30 pm

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

R/2021-018
It was moved and seconded

That the agenda for the September 22, 2021 Transportation Advisory Committee be approved as circulated.

CARRIED

3. ADOPTION OF THE MINUTES

3.1 Regular Meeting Minutes – June 23, 2021

R/2021-19
It was moved and seconded

That the minutes of the Maple Ridge Transportation Advisory Committee meeting dated June 23, 2021 be adopted.

CARRIED

4. DELEGATIONS - NIL

5. NEW AND UNFINISHED BUSINESS

5.1 2022 TAC Work Plan Draft

The Staff Liaison reviewed the draft 2022 TAC Work Plan with the Committee that was sent via email to all members prior to the meeting. Discussion ensued on timeline, process and expectations from the Committee.

R/2021-20
It was moved and seconded

That the Transportation Advisory Committee Work Plan be adopted as is and recommended to Council for approval.

CARRIED

5.2 Transport 2050 Staff Update

The Staff Liaison provided an update on the Transport 2050 timeline and answered questions and comments from the Committee. The Staff Liaison informed the Committee that TransLink presented to Council on September 7, 2021. To view the presentation: http://media.mapleridge.ca/Mediasite/Play/1f3b8d4f9efb4c0b9778d2120f519c401d (beginning at approximately 1:06:24).

The Staff Liaison advised the Committee of a public engagement opportunity coming soon and that the next steps include a final draft to be presented to Council in December 2021.

R/2021-21
It was moved and seconded

That the Staff Liaison coordinate public engagement information with Translink and report back to the Committee and advises that the City of Maple Ridge actively promote the draft of the Transport 2050 Phase 3 Public Engagement.

CARRIED

5.3 Strategic Transportation Plan Update

The Staff Liaison provided a summary of the previous Strategic Transportation Plan phases and a current update on phase 3 that was presented to Council in early September.

Next update to Council is scheduled for September 27, 2021.

6. LIAISON UPDATES

6.1 Staff Liaison

The Staff Liaison provided an update on current departmental projects and answered questions and comments from the members.

6.2 Council Liaison

Councillor Chelsa Meadus informed the Committee that Council is currently working on hiring a new Chief Administrative Officer.

7. QUESTION PERIOD FOR THE PUBLIC

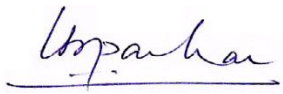
Chuck Glover asked why the 2022 TAC Work Plan drafts are not included in the agenda package and will email the Staff Liaison and the Committee Clerk other questions directly.

Craig Towers asked about the crosswalks for the city plan, if are they approved and for which crosswalks on 232 Street.

8. ROUNDTABLE – NIL

9. ADJOURNMENT – 8:36 p.m.

The next regular meeting of the Transportation Advisory Committee will be held on Wednesday, November 24, 2021 at 7:00 pm via Zoom.



Vijay Soparkar, Chair

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 Reports

MAPLE RIDGE
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City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	Dec 14, 2021
		FILE NO:	05-1630-01-2021
FROM:	Chief Administrative Officer	**MEETING:**	Council

SUBJECT: **Disbursements for the month ended October 31, 2021**

EXECUTIVE SUMMARY:

The disbursements summary for the past period is attached for information. All voucher payments are approved by the Director of Finance or Deputy Director of Finance. Expenditure details are available by request through the Finance Department.

RECOMMENDATION:

That the disbursements as listed below for the month ended October 31, 2021 be received for information.

GENERAL	$ 14,604,668
PAYROLL	$ 2,224,587
PURCHASE CARD	$ 121,041
	$ 16,950,296

DISCUSSION:

a) Background Context:

The adoption of the Five Year Consolidated Financial Plan has appropriated funds and provided authorization for expenditures to deliver municipal services.

The disbursements are for expenditures that are provided in the Financial Plan Bylaw or subsequently approved through Council Resolution.

b) Citizen/Customer Implications:

The citizens of Maple Ridge are informed on a routine monthly basis of financial disbursements.

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c) **Business Plan/Financial Implications:**

Highlights of larger items included in Financial Plan or Council Resolution

• Astroturf West Distributor – Synthetic turf (Westview sports field)	$	785,190
• BA Blacktop – Pavement rehabilitation program	$	217,286
• BC Hydro – Electricity	$	157,135
• Double V Construction Ltd – Albion Community Centre	$	946,738
• Emergency Communications – Quarterly dispatch levy	$	305,440
• Eurovia British Columbia - 232 St road improvements	$	475,610
• Fraser Valley Regional Library – Quarterly members assessment	$	768,142
• Greater Vancouver Regional District - MFA debt payments	$	1,733,726
• Receiver General for Canada (RCMP) - Quarterly contract	$	3,585,133
• Ridge Meadows Recycling Society– Monthly contract for recycling	$	277,733
• Warrington PCI Management – Tower common costs/Renovations	$	379,825

d) **Policy Implications:**

Corporate governance practice includes reporting the disbursements to Council monthly.

CONCLUSION:

The disbursements for the month ended October 31, 2021 have been reviewed and are in order.

Prepared by: **Trevor Hansvall**
Accountant 1

Reviewed by: **Trevor Thompson, BBA, CPA, CGA**
Director of Finance

Approved by: **Christina Crabtree**
General Manager Corporate Services

Concurrence: **Scott Hartman**
Chief Administrative Officer

CITY OF MAPLE RIDGE
MONTHLY DISBURSEMENTS - October 2021

VENDOR NAME	DESCRIPTION OF PAYMENT		AMOUNT
1200184 BC Ltd	Security refund		20,051
AR Mower & Supply Ltd	Redexim overseeder		34,111
Alouette River Management Society	Summer camps 2021		17,316
Andrew Sheret Ltd	Waterworks supplies		34,823
Associated Engineering (BC) Ltd	225 St forcemain upgrade		34,225
Astroturf West Distributor Ltd	Supply & install synthetic turf (Westview sports field)		785,190
BA Blacktop	Pavement rehabilitation program		217,286
Badger Daylighting Lp	Hydro-excavation (multiple locations)		28,746
BC Hydro	Electricity		157,135
BGC Engineering Inc	Fraser River escarpment study and management program		27,037
Bhuller, Ajitpal S & Sheila	Security refund		62,913
Boileau Electric & Pole Ltd	Maintenance & electrical work		15,054
CUPE Local 622	Union dues		54,522
Capilano Highway Services	Security refund		25,055
Cobing Building Solutions	Building maintenance (various locations)		18,837
Commercial Truck Equipment	Refinishing of fire engine 1-2		100,489
Dams Ford Lincoln Sales Ltd	Ford 2022 Super-Duty F-650		136,197
Double V Construction Ltd	Albion Community Centre		946,738
Drake Excavating (2016) Ltd	225 St pump station replacement		24,925
Emergency Communications	Quarterly dispatch levy		305,440
Epic Homes Albion JV	Security refund		36,600
Eurovia British Columbia	232 St road improvements & 116 Ave multi use path		475,610
Fraser Valley Regional Library	4th quarter members assessment	768,142	
	Contributed capital replacement funding	10,000	778,142
Frazer Excavation Ltd	Grinding, milling & hauling (multiple locations)		23,470
Glenco Electric Ltd	Emergency backup generator (Ops Centre)		117,529
Golden Ears Alarm Systems	Upgrade key scan systems		37,268
Greater Vancouver Regional District	MFA debt payments		1,733,726
ISL Engineering & Land Services	Drainage upgrade program		19,831
Justice Institute of BC	Fire Dept. training programs		15,267
Lafarge Canada Inc	Roadworks material		24,610
Leaders International Executive	Recruitment fees		16,620
Lit Aquatics Ltd	Aquatics partner program		43,044
Manulife Financial	Employer/employee remittance		385,562
Maple Leaf Disposal Ltd	Refuse container and litter collection		35,774
Maple Ridge & PM Arts Council	Arts Centre contract	58,646	
	Program revenue (Sep)	878	59,524
Municipal Insurance Association	Insurance deductibles		51,698
Municipal Pension Plan BC	Employer/employee remittance		560,277
New Rhodes Construction Inc	Removal, supply & install new equestrian bridge		23,248
Prime Traffic Solutions Ltd	Traffic control		61,081
Progressive Fence Installation	Miscellaneous fence repairs		15,757
RF Binnie & Associates Ltd	Design - 232 St corridor improvements	38,435	
	Design - Silver Valley gathering place	11,203	
	Design - Westview turf replacement	9,366	59,004
Receiver General For Canada	Employer/employee remittance		801,959

VENDOR NAME	DESCRIPTION OF PAYMENT		AMOUNT
Receiver General for Canada (RCMP)	Quarterly RCMP contract payment		3,585,133
RG Arenas (Maple Ridge) Ltd	Ice rentals		113,635
Ricoh Canada Inc	Quarterly copy usage		28,688
Ridge Meadows Recycling Society	Litter pick up	1,667	
	Monthly contract for recycling	277,733	279,401
Ridge Meadows Seniors Society	Quarterly operating grant		55,521
Ridge Wilderness	Summer camps 2021		20,286
Sandhu, Jaswinder & Balwinder & Gaganjot	Security refund		20,051
Scottish Line Painting Ltd	Thermoplastic road markings		21,578
Seal Tec Industries Ltd	Non routed crack sealing		62,580
Simcic Architecture	Professional fees/consulting		26,808
Softchoice Lp	Workspace & Airwatch renewals (1 year)		18,841
Sparc BC	Social services gap analysis		24,960
Stewart Mcdannold Stuart Trust	Deposit for land acquisition		25,000
Strata Plan LMS Commercial	Panorama strata fees		17,749
Streetwise Traffic Controllers	Traffic control		15,306
Suncor Energy Products	Gasoline & diesel fuel		87,697
SYDCP Solutions Inc	Professional fees/consulting		39,548
Urban Systems	Strategic transportation plan update		27,061
Valley Geotechnical	Albion Community Centre		42,287
Warrington PCI Management	Tower common costs/Renovations		379,825
Whitestar Property Services	Parks mowing & trimming + light landscape		37,871
Windmill Flooring	Carpeting - various locations		33,575
Workers Compensation Board BC	Employer/Employee remittance		266,719
WSP Canada Inc	Engineering design for Rockridge reservoir		36,791

Disbursements In Excess $15,000		13,688,599
Disbursements Under $15,000		916,069
Total Payee Disbursements		14,604,668
Payroll	PP21/20 & PP21/21	2,224,587
Purchase Cards - Payment		121,041
Total Disbursements October 2021		16,950,296

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CITY OF MAPLE RIDGE

TO:	His Worship Mayor Michael Morden and Members of Council	MEETING DATE:	Dec 14, 2021
		FILE NO:	05-1880-20-2021
FROM:	Chief Administrative Officer	MEETING:	Council

SUBJECT: 2021 Council Expenses

EXECUTIVE SUMMARY:

In keeping with Council's commitment to transparency in local government, the attached schedule lists Council expenses recorded to November 30, 2021. The expenses included on the schedule are those required to be reported in the annual Statement of Financial Information and are available on our website.

RECOMMENDATION:

For information.

DISCUSSION:

The expenses included in the attached schedule are those reported in the annual Statement of Financial Information (SOFI), including those incurred under Policy No. 3.07 "Council Training, Conferences and Association Building". The budget for Council includes the provision noted in Policy No. 3.07 as well as a separate budget for cell phone and iPad usage. The amounts on the attached schedule are those recorded prior to the preparation of this report and are subject to change.

Prepared by: Kim Hayes
Accountant 2

Reviewed by: Catherine Nolan, CPA, CGA
Deputy Director of Finance

Reviewed by: Trevor Thompson, CPA, CGA
Director of Finance

Approved by: Christina Crabtree
General Manager Corporate Services

Approved by: Scott Hartman
Chief Administrative Officer

702.2

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Dueck, Judy					
January	Portable electronic device charges (e.g. IPad)			5.35	
February	Portable electronic device charges (e.g. IPad)			5.35	
March	Portable electronic device charges (e.g. IPad)			5.35	
	Ridge Meadows Hospice Society White Dove Dinner		41.31		
April	Portable electronic device charges (e.g. IPad)			5.35	
May	Portable electronic device charges (e.g. IPad)			5.35	
June	Portable electronic device charges (e.g. IPad)			5.35	
July	Portable electronic device charges (e.g. IPad)			5.35	
August	Portable electronic device charges (e.g. IPad)			5.35	
September	Portable electronic device charges (e.g. IPad)			5.35	
October	Portable electronic device charges (e.g. IPad)			5.35	
November	Portable electronic device charges (e.g. IPad)			5.35	
December					
		-	41.31	58.85	100.16

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Duncan, Kiersten					
January	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
February	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
March	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
April	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
May	Cell phone charges			48.15	
	LMLGA Conference & AGM	200.00			
	Portable electronic device charges (e.g. IPad)			5.35	
June	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
July	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
August	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
September	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
October	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
November	Cell phone charges			48.15	
	Portable electronic device charges (e.g. IPad)			5.35	
December					
		200.00	-	588.50	788.50

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Meadus, Chelsa					
January	Portable electronic device charges (e.g. IPad)			5.35	
February	2020 Business Excellence Award Virtual Gala		25.00		
	Portable electronic device charges (e.g. IPad)			5.35	
March	Portable electronic device charges (e.g. IPad)			5.35	
	Ridge Meadows Hospice Society White Dove Dinner		40.00		
April	Portable electronic device charges (e.g. IPad)			5.35	
May	Portable electronic device charges (e.g. IPad)			5.35	
June	Portable electronic device charges (e.g. IPad)			5.35	
July	Portable electronic device charges (e.g. IPad)			5.35	
August	Portable electronic device charges (e.g. IPad)			5.35	
September	Portable electronic device charges (e.g. IPad)			5.35	
October	Portable electronic device charges (e.g. IPad)			5.35	
November	Portable electronic device charges (e.g. IPad)			5.35	
December					
		-	65.00	58.85	123.85

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Morden, Mike					
January					
February	2020 Business Excellence Award Virtual Gala		25.00		
March					
April					
May					
June					
July					
August					
September					
October					
November					
December					
		-	25.00	-	25.00

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Robson, Gordy					
January	Portable electronic device charges (e.g. IPad)			5.35	
February	2020 Business Excellence Award Virtual Gala		25.00		
	Portable electronic device charges (e.g. IPad)			5.35	
March	Portable electronic device charges (e.g. IPad)			5.35	
	Ridge Meadows Hospice Society White Dove Dinner		40.00		
April	Portable electronic device charges (e.g. IPad)			5.35	
May	Portable electronic device charges (e.g. IPad)			5.35	
June	Portable electronic device charges (e.g. IPad)			5.35	
July	Portable electronic device charges (e.g. IPad)			5.35	
August	Portable electronic device charges (e.g. IPad)			5.35	
September	Portable electronic device charges (e.g. IPad)			5.35	
	Union of BC Municipalities Convention	475.00			
October	Portable electronic device charges (e.g. IPad)			5.35	
November	Portable electronic device charges (e.g. IPad)			5.35	
December					
		475.00	**65.00**	**58.85**	**598.85**

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Svendsen, Ryan					
January	Portable electronic device charges (e.g. IPad)			5.35	
February	LGLA Annual Leadership Forum	200.00			
	Portable electronic device charges (e.g. IPad)			5.35	
March	Portable electronic device charges (e.g. IPad)			5.35	
April	Portable electronic device charges (e.g. IPad)			5.35	
May	Portable electronic device charges (e.g. IPad)			5.35	
June	Portable electronic device charges (e.g. IPad)			5.35	
July	Portable electronic device charges (e.g. IPad)			5.35	
August	Portable electronic device charges (e.g. IPad)			5.35	
September	Portable electronic device charges (e.g. IPad)			5.35	
October	Portable electronic device charges (e.g. IPad)			5.35	
November	Portable electronic device charges (e.g. IPad)			5.35	
December					
		200.00	-	58.85	258.85

Month of Event	Reason for expense	Conferences & Seminars	Community Events	Cell Phones / iPads	Totals
Yousef, Ahmed					
January	Portable electronic device charges (e.g. IPad)			5.35	
February	2020 Business Excellence Award Virtual Gala		25.00		
	Portable electronic device charges (e.g. IPad)			5.35	
March	Portable electronic device charges (e.g. IPad)			5.35	
	Ridge Meadows Hospice Society White Dove Dinner		41.31		
April	Portable electronic device charges (e.g. IPad)			5.35	
May	Portable electronic device charges (e.g. IPad)			5.35	
June	Portable electronic device charges (e.g. IPad)			5.35	
July	Portable electronic device charges (e.g. IPad)			5.35	
August	Portable electronic device charges (e.g. IPad)			5.35	
September	Portable electronic device charges (e.g. IPad)			5.35	
October	Portable electronic device charges (e.g. IPad)			5.35	
November	Portable electronic device charges (e.g. IPad)			5.35	
December					
		-	66.31	58.85	125.16
TOTALS		875.00	262.62	882.75	2,020.37

MAPLE RIDGE
British Columbia
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CITY OF MAPLE RIDGE

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 14, 2021
		FILE NO:	01-0640-30-2021
FROM:	Chief Administrative Officer	**MEETING:**	Council

SUBJECT: **Maple Ridge Pitt Meadows Arts Council Society Annual Report and Financial Statements**

EXECUTIVE SUMMARY:

The Maple Ridge Pitt Meadows Arts Council Society (the "Arts Council") provides artistic and cultural programs and services to Maple Ridge through an operating agreement including management of the ACT Arts Centre. This past summer, the Arts Council's Operating and Lease Agreements were renewed for a three-year term. In accordance with the terms of the Operating Agreement, the Arts Council is required to submit their Annual Report and Financial Statements for the fiscal year end on June 30, 2021 (Attachment A and B).

RECOMMENDATION:

For information.

DISCUSSION:

a) Background Context:

The Arts Council, like most organizations, experienced challenges maintaining financial sustainability during the 2020-2021 COVID-19 pandemic with restrictions on gatherings and events and indoor arts and cultural programming under the Provincial Health Order. However, as a qualified non-profit society and charity, the Society was successful in obtaining a number of pandemic related Federal, Provincial and foundation grants. In addition, the Canada Emergency Wage Subsidy program (CEWS), covered a percentage of their payroll, and played a crucial role in maintaining core staff to keep the Centre open and operate reduced-capacity programs within the health guidelines. Earned revenue came primarily though rentals, such as filming.

As the Society recovers and rebuilds from the pandemic in 2022 and 2023, the projected sources to sustain core operations are the previous year's reserves and this fiscal year's surplus, which the Board of Directors has restricted to sustain recovery.

b) **Desired Outcome:**

To provide Maple Ridge residents with cost effective programs and services in the delivery of arts and culture services.

c) **Strategic Alignment:**

The City of Maple Ridge seeks opportunities to engage with community organizations in alignment with the 2010 Parks, Recreation and Culture Master Plan, the Cultural Plan (2019) and Council's strategic priority area of Pride and Spirit.

d) **Citizen/Customer Implications:**

The continued programs and services administered by the Arts Council will provide positive cultural opportunities, education and citizen engagement in arts, culture and heritage, which contributes to a safe, vibrant, and livable community.

e) **Business Plan/Financial Implications:**

The Art Council's financial statements have been reviewed and accepted by the Deputy Director of Finance.

CONCLUSION:

For Council's information, and in accordance with the terms of the Maple Ridge Pitt Meadows Arts Council Society Operating Agreement terms, the Arts Council is providing their Financial Statements and Annual Report and for the fiscal year ended on June 30, 2021.

Prepared by: **Yvonne Chui**
Manager, Arts & Community Connections

Approved by: **Danielle Pope**
Director, Parks, Recreation & Culture

Concurrence: **Scott Hartman**
Chief Administrative Officer

Attachments:
(A) Maple Ridge Pitt Meadows Arts Council Audited Financial Statements
(B) Maple Ridge Pitt Meadows Arts Council 2020-21 Annual Report

APPENDIX A

Maple Ridge Pitt Meadows Arts Council

Financial Statements

For the year ended June 30, 2021

Maple Ridge Pitt Meadows Arts Council
Maple Ridge and Pitt Meadows Arts Council
Contents
For the year ended June 30, 2021

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Independent Auditor's Report

MNP LLP

To the Members of Maple Ridge Pitt Meadows Arts Council:

Opinion

We have audited the financial statements of Maple Ridge Pitt Meadows Arts Council (the "Society"), which comprise the statements of financial position as at June 30, 2021 and the statements of operations, changes in net assets and cash flows for the year then ended, and notes to the financial statements, including a summary of significant accounting policies.

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the Society as at June 30, 2021 and the results of its operations and its cash flows for the year then ended in accordance with Canadian accounting standards for not-for-profit organizations.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are independent of the Society in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada, and we have fulfilled our other ethical responsibilities in accordance with these requirements. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Other Matter

The financial statements of the Society for the year ended June 30, 2020 were audited by Deliotte LLP of Langley, British Columbia, Canada, prior to its merger with MNP LLP. Deliotte LLP expressed an unmodified opinion on those statements on September 28, 2020.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian accounting standards for not-for-profit organizations, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Society's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Society or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Society's financial reporting process.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists. Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of these financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Society's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Society's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the Society to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.

We communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Langley, British Columbia

October 21, 2021

MNP LLP

Chartered Professional Accountants

Maple Ridge Pitt Meadows Arts Council
Maple Ridge and Pitt Meadows Arts Council
Statement of Financial Position
As at June 30, 2021

	2021	2020
Assets		
Current		
Unrestricted cash	1,149,256	456,619
Restricted cash *(Note 3)*	293,088	122,762
Term deposits *(Note 4)*	108,615	107,688
Accounts receivable	63,634	52,917
Inventory	8,771	11,709
Prepaid expenses and deposits	34,349	16,888
	1,657,713	768,583
Capital assets *(Note 5)*	4,125	5,500
	1,661,838	774,083
Liabilities		
Current		
Accounts payable and accrued liabilities *(Note 6)*	155,411	90,278
Deferred revenue *(Note 7)*	36,803	82,544
Deferred contributions related to operations *(Note 8)*	130,625	40,500
Deferred contributions - capital improvement fund *(Note 9)*	91,734	91,580
	414,573	304,902
Long-term debt *(Note 10)*	40,000	40,000
	454,573	344,902
Net Assets		
Invested in capital assets	4,125	5,500
Internally restricted *(Note 14)*	1,047,973	268,514
Unrestricted	155,167	155,167
	1,207,265	429,181
	1,661,838	774,083

Approved on behalf of the Board of Directors

Director

Monica Schulte
Director

The accompanying notes are an integral part of these financial statements

Maple Ridge Pitt Meadows Arts Council
Maple Ridge and Pitt Meadows Arts Council
Statement of Operations
For the year ended June 30, 2021

	2021	2020
Revenue		
Arts council presentations	**5,028**	228,031
Art gallery	**5,722**	17,129
Arts programs	**189,107**	198,509
Canadian emergency wage subsidy *(Note 12)*	**394,939**	146,344
Capital improvement fund *(Note 9)*	**-**	99,570
Event services	**817**	85,789
Fundraising, sponsorships, and donations	**38,926**	77,844
Operating grant *(Note 11)*	**780,832**	767,130
Other grants and contributions *(Note 13)*	**310,314**	289,718
Other revenue	**5,334**	16,286
Rentals	**430,441**	235,884
Ticket centre revenue	**197**	33,186
	2,161,657	2,195,420
Expenses		
Administration	**128,309**	126,558
Amortization	**1,375**	1,375
Art gallery	**10,045**	18,572
Arts council presentations	**6,375**	157,014
Arts programs	**123,353**	134,099
Bank charges and interest	**7,168**	28,033
Building	**40,104**	64,684
Community programs	**8,514**	16,946
Contribution to city assets *(Note 11)*	**65,190**	106,589
Event services	**3,245**	24,620
Fundraising	**1,726**	16,015
Marketing	**10,181**	67,844
Rent *(Note 11)*	**80,000**	80,000
Salaries and benefits	**830,070**	1,043,979
Ticket centre	**-**	2,161
Utilities	**67,918**	63,977
	1,383,573	1,952,466
Excess of revenue over expenses	**778,084**	242,954

The accompanying notes are an integral part of these financial statements

Maple Ridge Pitt Meadows Arts Council
Maple Ridge and Pitt Meadows Arts Council
Statement of Changes in Net Assets
For the year ended June 30, 2021

	Invested in capital assets	*Internally restricted*	*Unrestricted*	*2021*	*2020*
Net assets, beginning of year	**5,500**	**268,514**	**155,167**	**429,181**	186,227
Excess of revenue over expenses	**(1,375)**	**-**	**779,459**	**778,084**	242,954
Internally restricted	**-**	**779,459**	**(779,459)**	**-**	-
Net assets, end of year	**4,125**	**1,047,973**	**155,167**	**1,207,265**	429,181

The accompanying notes are an integral part of these financial statements

Maple Ridge Pitt Meadows Arts Council
Statement of Cash Flows
For the year ended June 30, 2021

	2021	2020
Cash provided by (used for) the following activities		
Operating		
Excess of revenue over expenses	**778,084**	242,954
Amortization	**1,375**	1,375
Amortization of capital improvement fund	**-**	(99,570)
	779,459	144,759
Changes in working capital accounts		
Accounts receivable	**(10,717)**	(40,458)
Inventory	**2,938**	(851)
Prepaid expenses and deposits	**(17,461)**	15,514
Accounts payable and accrued liabilities	**65,134**	(84,088)
Deferred revenue	**(45,741)**	21,523
Deferred contributions	**90,125**	(106,655)
	863,737	(50,256)
Financing		
Bank loan	**-**	40,000
Capital improvement fund contributions received	**153**	23,455
	153	63,455
Investing		
Decrease in restricted cash	**-**	155,764
Increase in restricted cash	**(170,326)**	-
Change in term deposits	**(927)**	(1,471)
	(171,253)	154,293
Increase in cash resources	**692,637**	167,492
Cash resources, beginning of year	**456,619**	289,127
Cash resources, end of year	**1,149,256**	456,619

The accompanying notes are an integral part of these financial statements

1. Incorporation and nature of the organization

Maple Ridge and Pitt Meadows Arts Council (the "Society") was incorporated under the authority of the Society Act of British Columbia as a not-for-profit organization and is a registered charity, and thus is exempt from income taxes under the Income Tax Act ("the Act"). In order to maintain its status as a registered not-for-profit under the Act, the Society must meet certain requirements within the Act. In the opinion of management these requirements have been met.

The Society's purpose and its intended community of service is to develop, promote, and celebrate the arts in Maple Ridge and Pitt Meadows.

Impact on operations of COVID-19 (coronavirus)

In early March 2020 the impact of the global outbreak of COVID-19 (coronavirus) began to have a significant impact on businesses through the restrictions put in place by the Canadian, provincial and municipal governments regarding travel, business operations and isolation/quarantine orders.

The Society's operations were impacted by COVID-19 due to decreased earned revenue and increased funding related to pandemic relief.

At this time, it is unknown the extent of the impact the COVID-19 outbreak may have on the Society as this will depend on future developments that are highly uncertain and that cannot be predicted with confidence. These uncertainties arise from the inability to predict the ultimate geographic spread of the disease, and the duration of the outbreak, including the duration of travel restrictions, business closures or disruptions, and quarantine/isolation measures that are currently, or may be put, in place by Canada and other countries to fight the virus. While the extent of the impact is unknown, we anticipate this outbreak may cause staff shortages, and increased government regulations, all of which may negatively impact the Society's operations and financial condition.

2. Significant accounting policies

The financial statements have been prepared in accordance with Canadian accounting standards for not-for-profit organizations set out in Part III of the CPA Canada Handbook - Accounting, as issued by the Accounting Standards Board in Canada, and include the following significant accounting policies:

Cash and cash equivalents

Cash and cash equivalents include balances with banks and short-term investments with maturities of three months or less. Cash subject to restrictions that prevent its use for current purposes is included in restricted cash.

Inventory

Inventory is valued at the lower of cost and net realizable value. Cost is determined by the first in, first out method. Net realizable value is the estimated selling price in the ordinary course of business, less estimated costs of completion and selling costs.

Capital assets

Purchased capital assets are recorded at cost. Amortization is provided using the straight-line method at rates intended to amortize the cost of assets over their estimated useful lives.

	Method	Rate
Grand piano	straight-line	20 years

Long-lived assets

Long-lived assets consist of capital assets. Long-lived assets held for use are measured and amortized as described in the applicable accounting policies.

The Society writes down long-lived assets held for use when conditions indicate that the asset no longer contributes to the Society's ability to provide goods and services. The asset are also written-down when the value of future economic benefits or service potential associated with the asset is less than its net carrying amount. When the Society determines that a long-lived asset is impaired, its carrying amount is written down to the asset's fair value.

Revenue recognition

The Society follows the deferral method of accounting for contributions. Restricted contributions are recognized as revenue in the year in which the related expenses are incurred. Unrestricted contributions are recognized as revenue when received or receivable if the amount to be received can be reasonably estimated and collection is reasonably assured.

Restricted investment income is recognized as revenue in the year in which the related expenses are incurred. Unrestricted investment income is recognized as revenue when earned.

Operating grant, theatre, ticket centre, event services, arts programs, art gallery, and rental revenues are recognized as revenue when the services are provided or product is delivered and collection is reasonably assured.

Government assistance

Government assistance relating to subsidies is recorded as revenue in the period to which the subsidy applies once there is reasonable assurance that the Society will meet the eligibility criteria, the government support will be received and the amount to be received is measurable.

Measurement uncertainty (use of estimates)

The preparation of financial statements in conformity with Canadian accounting standards for not-for-profit organizations requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements, and the reported amounts of revenues and expenses during the reporting period.

Accounts receivable are stated after evaluation as to their collectability and an appropriate allowance for doubtful accounts is provided where considered necessary. Provisions are made for slow moving and obsolete inventory. Amortization is based on the estimated useful lives of capital assets.

By their nature, these judgments are subject to measurement uncertainty, and the effect on the financial statements of changes in such estimates and assumptions in future years could be material. These estimates and assumptions are reviewed periodically and, as adjustments become necessary they are reported in excess of revenues over expenses in the years in which they become known.

Contributed services

Several members of the community contribute volunteer hours each year organizing and helping the administration of the Society's activities. These contributed services have not been recognized in the financial statements.

Financial instruments

The Society recognizes its financial instruments when the Society becomes party to the contractual provisions of the financial instrument. All financial instruments are initially recorded at their fair value, including financial assets and liabilities originated and issued in a related party transaction with management.

At initial recognition, the Society may irrevocably elect to subsequently measure any financial instrument at fair value. The Society has not made such an election during the year.

Financial assets and liabilities are subsequently measured at cost or amortized cost with transaction costs and financing fees added to the carrying amount of the financial instruments.

2. Significant accounting policies *(Continued from previous page)*

Financial asset impairment

The Society assesses impairment of all of its financial assets measured at cost or amortized cost. When there is an indication of impairment, the Society determines whether it has resulted in a significant adverse change in the expected timing or amount of future cash flows during the year. If so, the Society reduces the carrying amount of any impaired financial assets to the highest of: the present value of cash flows expected to be generated by holding the assets; the amount that could be realized by selling the assets; and the amount expected to be realized by exercising any rights to collateral held against those assets. Any impairment, which is not considered temporary, is included in current year excess of revenues over expenses.

The Society reverses impairment losses on financial assets when there is a decrease in impairment and the decrease can be objectively related to an event occurring after the impairment loss was recognized. The amount of the reversal is recognized in the excess of excess in the year the reversal occurs.

3. Restricted cash

	2021	*2020*
Restricted cash:		
Board designated funds *(Note 14)*	**104,185**	24,185
Externally restricted gaming funds	**97,169**	6,997
Capital improvement fund *(Note 9)*	**91,734**	91,580
Total	**293,088**	122,762

4. Term deposits

Term deposits consists of guaranteed investment certificates which earn interest at 0.31% and 0.42% (2020 - 1.40%), which mature in December 2021 and January 2022.

5. Capital assets

	Cost	***Accumulated amortization***	***2021 Net book value***	*2020 Net book value*
Grand piano	**27,500**	**23,375**	**4,125**	5,500

6. Accounts payable and accrued liabilities

The Society has government remittances totaling $1,004 (2020 - $3,736) recorded in accounts payable and accrued liabilities at year end.

7. Deferred revenue

	2021	*2020*
Rental deposits	**21,096**	66,686
Gift certificates	**15,707**	15,858
Balance, end of year	**36,803**	82,544

8. Deferred contributions related to operations

Deferred contributions related to operations consists of funding received for programs and expenses for the following year.

	2021	*2020*
Community Gaming	**97,000**	-
BC Arts Council	**7,500**	20,500
Canadian Heritage	**17,000**	-
Emergency Community Support Fund	**-**	15,000
Minister of Canadian Heritage	**-**	5,000
Other	**9,125**	-
	130,625	40,500

9. Deferred contributions - capital improvement fund

The Society has established a capital improvement fund, the purpose of which is to fund the purchase and maintenance of property and equipment used to operate the Arts Centre. During the year, the Society collected $153 (2020 - $23,455) of restricted contributions for the fund through a capital improvement fee added to the price of certain event tickets. Prior to the establishment of the capital improvement fund in 2010, the funds collected were unrestricted and reported as revenue in the year collected. The board of directors internally restricted those prior year funds (refer to Note 13).

These externally restricted contributions will be recognized as revenue when expenses are recorded related to the use of these funds on the purchase or maintenance of equipment. During the year, the Society used $nil (2020 - $99,570) of these funds. At June 30, 2021 the Society has $91,734 (2020 - $91,580) of unspent funds held for future use (see Note 3).

10. Long-term debt

The bank loan is the Canada Emergency Business Account ("CEBA") launched on April 9, 2020 by the Government of Canada during the COVID-19 pandemic. CEBA is intended to support businesses by providing financing for their expenses that cannot be avoided or deferred as they take steps to safely navigate a period of shutdown, thereby helping to position businesses for successful relaunch when the economy reopens. The Society has an authorized line of credit of $40,000 at a rate of 0%. Repaying the balance of the loan on or before December 31, 2022 will result in loan forgiveness of 25 percent (up to $10,000).

11. Operating agreement

On January 1, 2021, the Society renewed their operating agreement (the "agreement") with the City of Maple Ridge (the "City"), whereby the Society receives monies from the City to manage and operate the ACT Arts Centre (the "Arts Centre). As part of this agreement the Society is required to lease the Arts Centre from the City.

This agreement and the original agreement provide for the following expected operating grants and lease charges with the City until December 31, 2023, assuming the agreement is not terminated earlier by either party:

	Operating Grant	***Lease charges***	***Net***
July 1, 2020 - December 31, 2020	**386,956**	**(40,000)**	**346,956**
January 1, 2021 - June 30, 2021	**393,876**	**(40,000)**	**353,876**
July 1, 2021 - June 30, 2022	**794,809**	**(80,000)**	**714,809**
July 1, 2022 - June 30, 2023	**809,065**	**(80,000)**	**729,065**
July 1, 2023 - December 31, 2023	**408,132**	**(40,000)**	**368,132**
	2,792,838	**(280,000)**	**2,512,838**

11. Operating agreement *(Continued from previous page)*

Under the terms of the agreement all equipment used in the operation of the Arts Centre is the property of the City except for the grand piano and specific equipment which has been identified as the property of the Society. During the year the Society expended $65,190 (2020 - $106,859) on various equipment that now belongs to the City and, accordingly, has been recorded as an expense in these financial statements.

The agreement requires the Society to make certain equipment reserve and surplus sharing payments to the Arts Centre Equipment Reserve (ACER) controlled and maintained by the City, when the Society's accumulated surplus exceeds $350,000 and there is an annual surplus as defined in the agreement. The ACER was established to provide for future Arts Centre capital additions and replacement. According to the formula, no payments were required to be made by the Society to the ACER in fiscal 2021 or 2020.

Under the terms of the agreement, all monies received or fundraised by the Society remain the assets of the Society. During the year the Society received or fundraised $744,179 (2020 - $513,906) which is comprised of the following:

	2021	*2020*
Other grants and contributions	**310,314**	289,718
Fundraising, sponsorships, and donations	**38,926**	77,844
Canadian emergency wage subsidy	**394,939**	146,344
	744,179	513,906

12. Canadian emergency wage subsidy

During the year, the Society utilized the Canadian emergency wage subsidy ("CEWS") program which has various requirements with respect to the Society's decrease in revenue, employee baseline remuneration and total remuneration paid during prescribed periods. The Society claimed $394,939 (2020 - $146,344) under the CEWS program. As at June 30, 2021, included within accounts receivable is subsidy totaling $31,853.

13. Other grants and contributions

	2021	*2020*
Community Gaming	**86,400**	86,400
BC Arts Council	**128,500**	49,755
Canadian Heritage	**36,134**	18,700
Vancouver Foundation	**-**	50,000
Other	**59,280**	84,863
	310,314	289,718

14. Restrictions on net assets

The internally restricted net assets consist of: (i) $104,185 (2020 - $24,185) held for capital purposes, and (ii) $943,785 (2020 - $244,329) which was restricted by the board of directors for the use of operating activies and to address financial pressures due to COVID-19 in the 2022 fiscal year. During the year, $80,000 was internally restricted for capital purposes and $699,459 was restricted for the use of operating activites and to address financial pressures due to COVID-19 in the 2022 fiscal year. The Society cannot use these internally restricted amounts for other purposes without the approval of the board of directors.

15. Disclosure of director and employee compensation

During the year, the Society paid salaries/compensation of $119,014 to one employee in 2021 and paid salaries/compensation greater than $75,000 to two employees in 2020, totalling $175,690. In addition, no remuneration was paid to any members of the Board of Directors.

16. Contingency

The Society is involved in a dispute with one former employee through the Workers Compensation Board. The possible outcome or possible settlement amount of this claim is not determinable at this time. Consequently, no provision for this claim has been made in the financial statements.

Litigation is subject to many uncertainties, and the outcome of individual matters is not predictable with assurance. In the opinion of management, based on the advice and information provided by its legal counsel, final determination of these other litigations will not materially affect the Society's financial position or results of operations.

17. Financial instruments

The Society, as part of its operations, carries a number of financial instruments. It is management's opinion that the Society is not exposed to significant interest, currency, credit, liquidity or other price risks arising from these financial instruments except as otherwise disclosed.

Interest rate risk

Interest rate risk is the risk that the value of a financial instrument might be adversely affected by a change in the interest rates. Changes in market interest rates may have an effect on the cash flows associated with some financial assets and liabilities, known as cash flow risk, and on the fair value of other financial assets or liabilities, known as price risk.

The Society is exposed to interest rate cash flow risk with respect to term deposits.

Liquidity risk

Liquidity risk is the risk that the Society will encounter difficulty in meeting obligations associated with financial liabilities. The Society's exposure to liquidity risk is dependent on the sale of services, collection of accounts receivable, purchasing commitments and obligations or raising funds to meet commitments and sustain operations.

Credit risk

Credit risk is the risk that one party to a financial instrument will cause a financial loss for the other party by failing to discharge an obligation. The Society's main credit risk relates to its accounts receivable. The Society assesses the credit worthiness of the entities comprising amounts receivable, and provide allowances for amounts potentially uncollectible.

18. Comparative figures

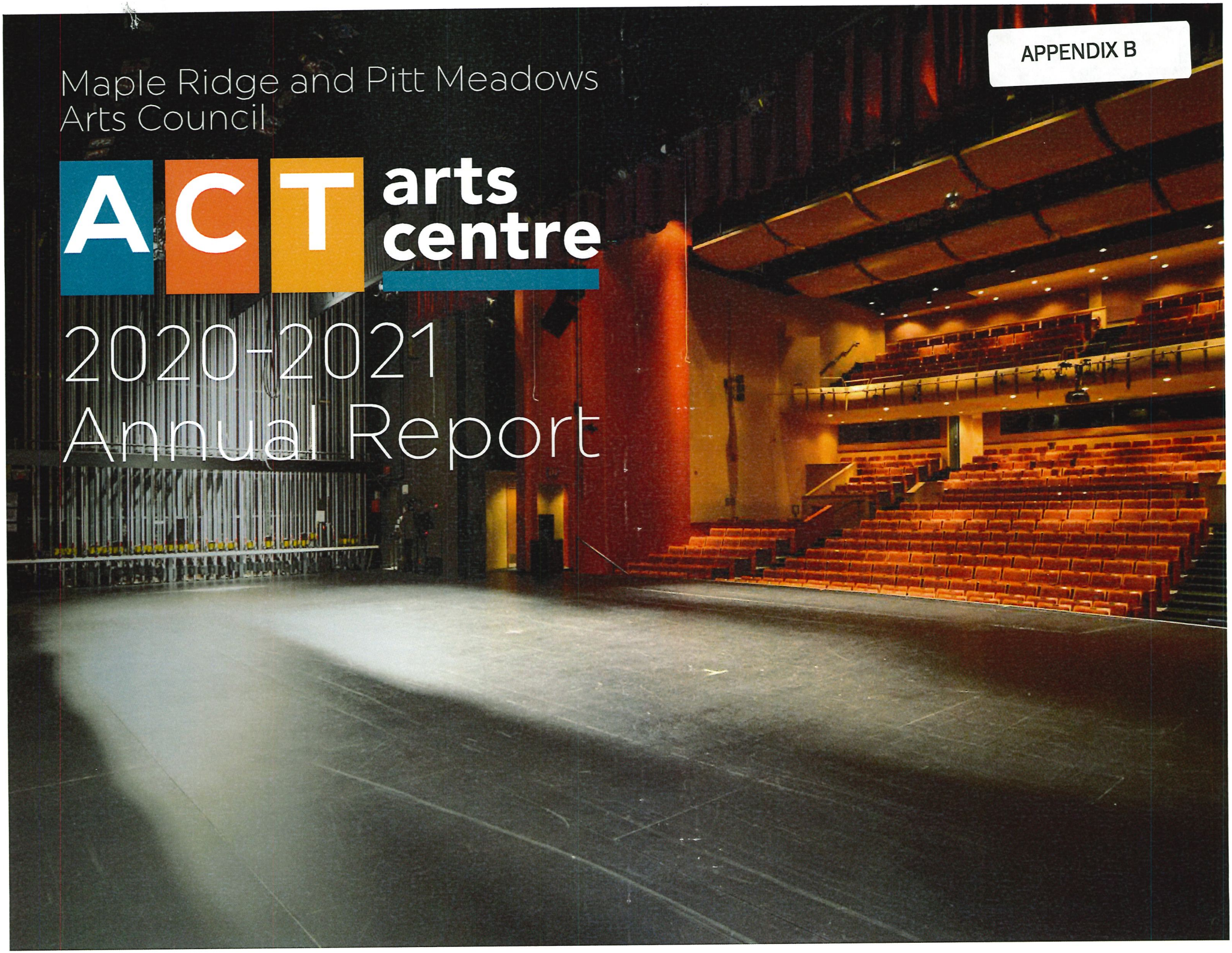
Certain comparative figures have been reclassified to conform with current year presentation. In the prior year, the Canada Emergency Business Account Loan was classified as a current liability which is a long-term liability (Note 10). In the prior year, Note 6 had not disclosed the Canadian Emergency Wage Subsidy amount of $146,344 and therefore we have now updated this into Note 11.

APPENDIX B

Maple Ridge and Pitt Meadows
Arts Council

ACT arts centre

2020-2021 Annual Report



Maple Ridge and Pitt Meadows Arts Council/ The ACT Arts Centre 2020-2021 Annual Report

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Vision | Mission | Values

Vision
To bring arts to the heart of our community.

Mission
We work in partnership with the community to develop, promote and celebrate the arts.

Values
Leadership • Collaboration • Integrity • Diversity • Accessibility • Innovation • Enjoyment

We acknowledge that we are fortunate to be able to work, create, learn, and connect on the traditional unceded territories of the Katzie First Nation and Kwantlen First Nation.

Programming Mandate

- to present high-quality exhibitions and performances featuring primarily Canadian artists
- to present a diverse balance of artistic and educational programming
- to develop The MRPMAC/ACT ARTS CENTRE Arts Centre as an inclusive centre for arts and culture within the community, appealing to a wide range of interests and ages
- to create mutually beneficial co-presenting opportunities, within our resources, with other not-for-profit arts and community organizations that will strengthen and diversify the cultural sector
- to encourage and support local artists and arts organizations through the delivery of our vision, mission and values

Executive Summary

Now 20 months into the Covid-19 pandemic, we continue to practice resiliency, flexibility and creativity, as we have learned to do having navigated a full year in the pandemic. Though our theatres have been shuttered for most of the year, in spite of all the year's challenges, we have not and will not waver from our efforts to continue to deliver our mission and programs. We have had so many bright spots that give hope for a slow but steady recovery:

The Arts Learning Programs saw record uptake in the Spring Break summer camps and were very close to filled to capacity for most of the year. We added many new classes for all ages, and the strong participation throughout the year proves that the arts are a basic human need, especially in difficult times.

The ACT Presents Series of live performances re-started in fall of 2020, offering a series of 50-seat houses, only to be closed in November by public health orders for the remainder of the season. Before the closure, we were able to welcome small numbers of patrons back to the theatres, which gave our staff the invaluable experience of planning for and executing the highest degree of safety standards in our spaces.

The Art Gallery remained open throughout the season, hosting a full season of exhibitions. The Arts Council acknowledges the immense contributions of artists and community members Gloria Stanley, Diane Speirs, Lisa Shepherd and Rob Egan for their invaluable service on the community Gallery Advisory Committee, led by Board member Linda King. The work of this committee resulted in sustaining gallery programs throughout a challenging time and offered valuable direction in long-term planning for the gallery.

Community Engagement activities moved into the virtual realm, in a series of partnership events with City of Maple Ridge and other community groups, for Canada Day, Celebrate the Night, Culture Days and Winter Fest. The operations team led our industry in developing a robust Covid Safety plan that allowed many of our long-time community organizations to continue to hold their performances and year-end recitals, videotaped and live-streamed.

We could not have continued to deliver any of the programs without the continuing generosity of our loyal volunteers, without whom, The ACT could not continue to operate. We are so very grateful to them for remaining steadfast in their generosity of time and talents to the Arts Council as they were able.

The uncertainty of the early days of the pandemic has now given way to the likelihood that the Covid pandemic will not be a finite period of time, but an 'era', in which we learn to live with this virus, as we have learned to live with the flu and other seasonal hazards. This will inevitably affect how people gather and participate in cultural events and activities, and it may be some time before The ACT fully regains its pre-Covid participation levels.

Even so, the fundamentals for the Arts Council's continuing impact remain strong. Dedicated people on the Board, staff and volunteers, committed support from our donors and funders, and a growing and thriving community with engaged arts-lovers will ensure the arts will continue to make an important contribution in the quality of life of the community.

Our greatest success over the past year is that, due to comitted efforts on the part of the Board, staff, volunteers, funders and donors, the Arts Council remains strong and continues to connect, inspire, and heal our community through the arts as we all look forward to begin to gather together again.

Onwards and upwards,

Laura Butler
President

Curtis Pendleton
Artistic & Executive Director

Community Engagement and Access

Though The ACT remained open only to registered guests and participants throughout most of the year, The Centre was the site of many community events that were recorded or livestreamed.

Canada Day 2020 welcomed country music artist Aaron Pritchett to the lobby of The ACT, in a live-streamed virtual celebration organized by the City of Maple Ridge.

The Arts Council also partnered with **Greg Moore Youth Centre** to host the annual **Youth Talent Show**, which was recorded and live-streamed from the Mainstage Theatre.

Culture Days welcomed guests to *Weaving Cultural Identities; Threads Through Time* textile and weaving exhibition in the Gallery. The City of Maple Ridge's **Celebrate the Night** live-streamed a performance from The ACT 's Mainstage Theatre, featuring the Juno Award-winning Indie band *Said the Whale.* The ACT welcomed families for hot chocolate and photo ops with the lobby 20-ft tall Christmas tree as part of Maple Ridge's WInter Fest outdoor events.

The continual changing pandemic landscape presented many challenges for our rental clients over the year.

By developing a rigorous Covid -19 Safety plan, the operations team stepped to the forefront of our industry, becoming leaders in returning live filmed and live-streamed dance to the stage. Working closely with guidance from Fraser Health Authority, The ACT welcomed over 5,000 youth dancers to the Mainstage, in groups of 50 or fewer, allowing youth to showcase their year of hard work while keeping all participants safe.

The film industry was one of the first to open up after initial pandemic restrictions, and through joint efforts with the film safe workplace during the many movie shoots taking place at The ACT, including TV shows *Superman & Lois*, *Van Helsing* and *The J Team*, to movies *A Christmas in Nashville with Dolly Parton*, *Honey Girls* and several more.

The Arts Council proudly continued its *Excellence in Arts* Youth Scholarship program, awarding four scholarships in support of their continuing post-secondary education to the following SD 42 graduating Seniors, for their outstanding achievements in the Arts:

Kamil Gallus, Visual/Media Arts, Pitt Meadows Secondary
Gladys Zhao, Visual/Media Arts, Meadowridge School
Ethan Page, Music, Maple Ridge Secondary
Nicky Walton, Music, Maple Ridge Christian School

Number of community use events

138

Attendance to community use events

10,077

The ACT Presents Performance Series

The ACT Presents Series scheduled a total of 32 live performance events and film screenings to take place Sept 2020 - March 2021. All but a few had to be cancelled or rescheduled when we received news of further theatre closures in November of 2020, which kept our theatres dark to the public for the remainder of the season. While we were still able to provide performances and screenings for audiences of 50 people in September - October 2020, audiences enjoyed National Theatre Encore screenings of *The Lehman Trilogy*, Noël Coward's *Present Laughter*, Shakespeare's *Midsummer Night's Dream* and Arthur Miller's *All my Sons*.

Jill Barber

Live performances included vocalists **Jill Barber** in a solo show, Juno award nominee **Michael Kaeshammer**, jazz pianist **John Stetch** and the classical duo **Bergmann Piano Duo**.

Michael Kaeshammer

The Bergmann Duo

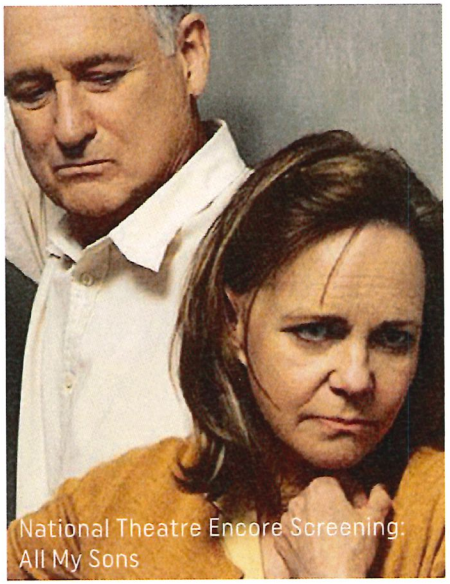
John Stetch

Extensive patron surveys indicated our patrons were not interested in streaming, and though had participated in steaming in the early days of the pandemic, their appetite for looking at a screen rather than participating in live arts diminished as the pandemic wore on. With live attendance at theatres impossible, throughout the season, we kept in close touch with our patrons through e-communications, offering aggregated online and streaming content links from regional, provincial national and international sources.

National Theatre Encore Screening:
A Midsummer's Night Dream

National Theatre Encore Screening:
The Lehman Trilogy

National Theatre Encore Screening:
Present Laughter


National Theatre Encore Screening:
All My Sons

Arts Learning Programs

Arts Learning Programs continued to attract strong and consistent participation, though with reduced number of classes available, as well as reduced numbers of students in order to adhere to PHO regulations and building capacities. Most classes had strong registration across the many age groups these programs serve, attracting children and youth, adult learners, school groups and teachers. Ceramics classes continued to flourish, with large waitlists, and musical theatre classes had strong participation and enthusiastic participants.

Spring programming, including Spring Break camps and specially-created programming for Kanaka Creek Elementary, saw an incredible increase over expectations, welcoming 631 participants to 71 different registered activities.

Arts Learning Programming has continued to run successful **home-schooling learning programs** throughout this programming year, offering classes in clay, art history, and cyber school.

Though **online and virtual programs** were offered throughout the year, interest in "in-person" programming began to increase and eclipse virtual learning. The last on-line class took place in spring 2021 and all programs have now been planned to be delivered fully in-person starting in summer 2021.

Arts Learning Programs welcomed **SD42 classes** to the exhibition and workshop of *The Still Lives of Leslie Pool*, a retrospective of one of Canada's leading visual artists in the ACT Arts Gallery. Classes from Alouette Elementary attended in person, and Yennadon Elementary and Pitt Meadows Elementary participated in very successful **premiere interactive virtual Art Gallery tour and workshop**.

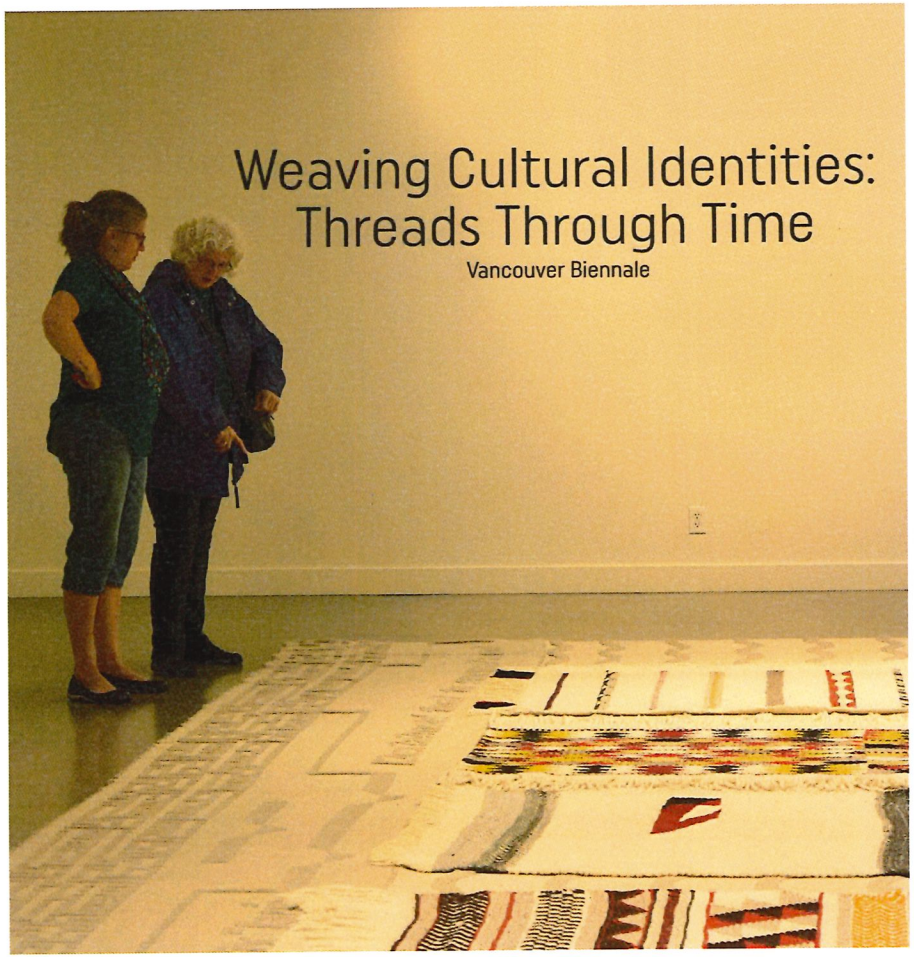
Supporting educators with arts-based professional development opportunities, **the first Pro-D activity offered by the Arts Council** offered *Visual Art as a Recreational Therapy* for elementary school students. This Pro-D had to be cancelled due to COVID, and is rescheduled for Fall 2021.

Drop-in programs for adult learners included four **Life Drawing** sessions, six **artBARs** exploring glass painting, macramé, floral arranging, ceramics Halloween pumpkins, and paint pours on canvas. **Open Studio** in the ceramic studio allowed registered students to hone their skills and knowledge throughout the year. In compliance with public health orders, **Teen Band Jam** for Youth and **Friday Night Dance** for adults were cancelled until further notice.

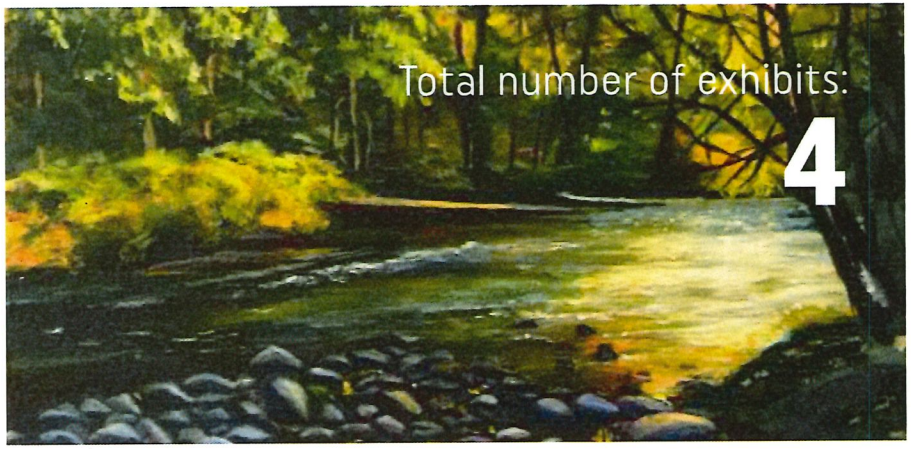
All in all, the strong participation in the Arts Learning Programs throughout the year proves the intense need for creating and learning these programs fulfill in the community.

The ACT Art Gallery

The Art Gallery remained open throughout the season, welcoming visitors on a timed-entry basis with increasing capacity as the year progressed. Four diverse exhibitions were offered throughout 2020-2021 encomapassing a touring exhibition, community exhibitions, and the first guest-curated show.



WEAVING CULTURAL IDENTITIES: THREADS THROUGH TIME September 12 - October 17, 2020 | The Art Gallery **hosted** the Vancouver Biennale's touring of impressive and symbolic weavings created by six renowned Musqueam, Squamish, and Tsleil-Waututh weavers. Part of a multi-phase project commissioned and circulated as part of the 2018-20 Vancouver Biennale, the project invited Indigenous and multi-ethnic weavers to engage in conversations about colonization and the dividing up of stolen land that followed. Featured artists included: Angela George (Squamish and Tsleil Waututh), Chepximiya Siyam' Chief Janice George (Squamish) and Skwetsimeltxw Willard 'Buddy' Joseph (Squamish), Debra Sparrow (Musqueam), Doaa



'SCAPES- GARIBALDI ART CLUB- 2020 JURIED SHOW October 24 - December 12, 2020 | The Art Gallery showcased local painters group, the Garibaldi Art Club, exploring the traditional notion of 'landscape', finding inspiration in other 'scapes' including seascapes, cityscapes, and gardenscapes, among others.

MEDITATIONS: THE STILL LIVES OF LESLIE POOLE

January 9 - March 31, 2021 | This exhibit welcomed a unique retrospective exhibition featuring the still life works of one of Canada's most extensively recognized and collected artists, Leslie Poole.

Curated by Guest Curator Dr. Angela Clarke, Museum Director and Curator at the Italian Cultural Centre of Vancouver's Il Museo, exhibition of vibrant large-format paintings asked the viewer, after 11 months of isolation and computer screens, have we lost the ability to "see" the real world around us? The show invited viewers to step away from technology and fear-of-missing-out social media and embrace the things usually ignored in everyday life and to take a second look and encouraged the viewer to reflect less on our months of seclusion and use art to emerge back into the tangible and tactile world. The exhibition welcomed the first virtual school tours of the Gallery, to Pitt Meadows Elementary School and Yennadon Elementary School.

Curious Octopus and Ancient Vase
Brigitta Schneiter

SHARING JOY: MAPLE RIDGE PITT MEADOWS ART STUDIO TOUR

Saturday, April 17 - Saturday, June 26, 2021 | When the pandemic forced the cancellation of the iconic 20-year old Maple Ridge Pitt Meadows Art Studios Tour weekend, The ACT Art Gallery welcomed the Art Studios Tour into our space for a longer exhibition, featuring 20+ artists to continue connecting artists with patrons. The exhibition translated the theme, 'Sharing Joy', through paintings in all mediums, functional pottery, ceramic sculptures, jewelry, sculpture, paper arts, functional art, mosaics, and more. 'Sharing Joy' reminded patrons that art brings joy not only to the beholder, but also to the artists, and demonstrated how art brings joy, especially when we work together and support one another.

The Volunteer Program

Although the pandemic has kept a majority of our beloved volunteers home over the year many others were able to help support the Gallery and shop operations this past season, welcoming the community back into The ACT with a smile and spritz of hand sanitizer.

Volunteers dedicated over **270 hours** to the many children and youth Arts Learning Programs, helping our instructors deliver high-quality summer camps and extraordinary weekly classes.

Many volunteers who could not come to the ACT in person participated in virtual tea parties, email conversations and some even brought out their sewing machine to help fashion bunting for the next season's 50th Anniversary projects and activities. Even when they cannot be with us our team of volunteers are reaching out in other ways to support each other, The ACT and our community.

We look forward to when we can be together again with all our volunteers and sharing the wonderful experiences, friendships and of course the amazing arts experiences The ACT has to offer.

Total number of active volunteers **31**

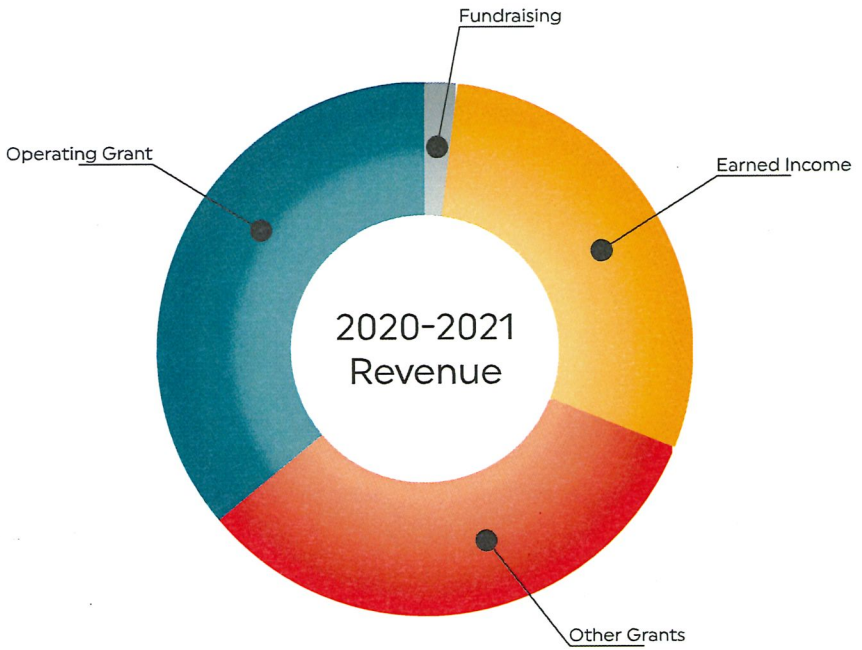
1,307 Total number of volunteer hours

Finances, Recovery and Sustainability

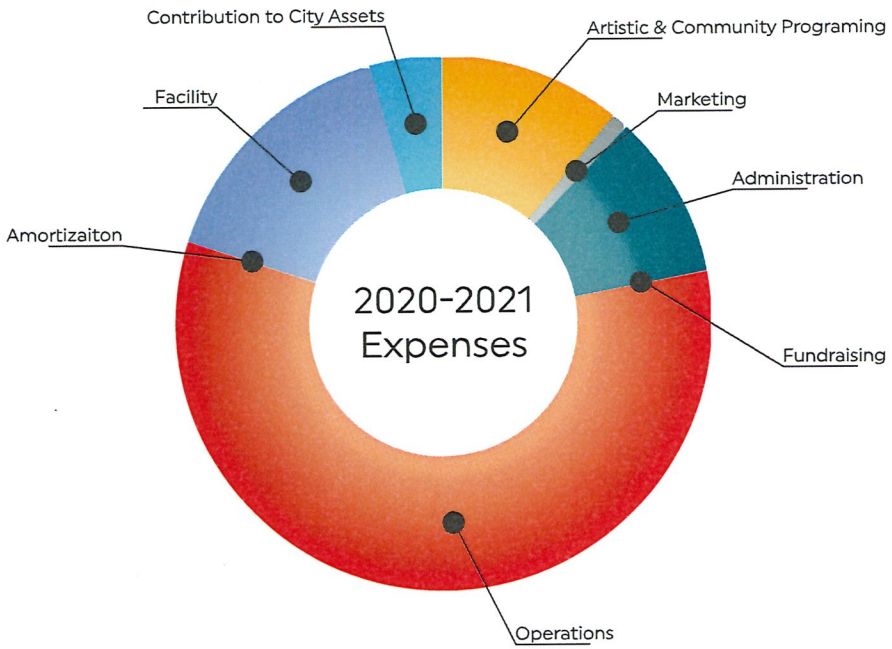
The Arts Council continued to reduce expenses while taking part in every grant and funding program available to continue operations of the Centre. The Canada Emergency Wage Subsidy program (CEWS), which covered a percentage of payroll, played a crucial role in maintaining a core staff to keep the Centre open and reduced-capacity programs running. Other pandemic funding support came from the Federal and Provincial governments. Earned revenue came primarily through rentals, for filmed events and for film shoots.

CEWS funding was gradually reduced over the course of the year, and will come to an end by mid-October 2021.

Additionally, early audience response indicates that despite the BC Vaccine Card required to attend performances, and the recent lifting of capacity restrictions, audiences remain reluctant to return to theatre spaces. Until the Centre can operate at full capacity and re-build its audience participation, The ACT will be unable to expect significant earned revenue, likely through 2022. As we recover and rebuild, projected sources to sustain core operations are past Fiscal Year reserves, which have been restricted by the Board of Directors to sustain recovery.



Revenue	Amount	Percentage
Operating grant	$780,832	36%
Other Grants	$705,253	33%
Earned Income	$636,646	29%
Fundraising	$38,926	2%
Total	**$2,161,657**	**100%**



Expenses	Amount	Percentage
Artistic & Community Programming	$151,532	11%
Marketing	$10,181	1%
Fundraising	$1,726	~1%
Administration	$135,477	10%
Operations	$830,070	60%
Facility	$188,022	14%
Contribution to City Assets	$65,190	5%
Amortization	$1,375	~1 %
Total	**$1,383,573**	**100%**
Revenue over(under) expense	**$778,084**	

Funders and Donors

2020/2021 saw tremendous support for The ACT and The Arts Council from our regular community of granting bodies, sponsors and individual donors, as well as new emergency funding to help weather the pandemic storm.

Prospera (newly merged with Westminster Savings), was one of the first long-time funders to step in and pledge renewed funding for the 20/21 season, and **Morningstar Homes Limited**, Title Sponsor of The ACT Presents Season, in the second year of our three-year partnership, offered to apply their sponsorship to cover all Arts Centre Programs, recognizing that we would be challenged to program and present live performances. **Johnston Meier Insurance Agencies Group** renewed their sponsorship of The ACT Presents Season, supporting us in whatever form we were able to present.

The Government of Canada, Department of Canadian Heritage, and **The BC Arts Council**, pledged to renew support at the prior year's level, advancing the funding to be used for our programs at our discretion. **The BC Arts Council** gave generously with a new **Expanded Arts & Culture Resilience Supplement Award**, and **Canadian Heritage – Cultural Spaces** expanded to grant funds specifically for COVID-19 related upgrades, to maintain the safety and health of staff, volunteers and patrons in our venue.

Additionally, **The Maple Ridge Community Foundation** administered funds from **Community Foundations of Canada**, COVID-19 Special Funding to maintain social connections to our vulnerable populations.

The Operating Agreement between the Maple Ridge Pitt Meadows Arts Council and City of Maple Ridge for operation of the The ACT Arts Centre was renewed for three years (2021-2023), and includes an operating grant to partially support programming across all program areas.

The Arts Council is so grateful to all our supporters, including donors to our annual fund, sponsors and grantors, for their generosity and commitment to the Arts through this challenging time.

2020/2021 Annual Fund Donors

ACT CHAMPIONS CIRCLE ($1000+)

Sandra Wright

ACT HEROS ($500-$999)

Wayne Stephen
Bissky Architecture & Urban Design Inc.
Broitman Family
Karin & Andy Cleven
Downtown Maple Ridge Business Improvement Association
Josine Eikelenboom
Golden Artist Colors, Inc.
Victoria Gracey
Gillian Hodge
Linda King
Ken McCaig
Babs McLaren
Mike & Nancy Murray
Betty Anne Nelligan
Curtis Pendleton & Robert Caron
Jim Rule & Diana Mullock

ACT PRODUCING ASSOCIATES ($300-$499)

Laura Butler
Jean & Larry Doran
Dawn Flanagan
Berit Korsvold
Cheryl MacDonald
Alex Pope
Dr. Lynn Prindle
Kathleen Spiess
Janet Symonds

ACT PATRONS ($100 - $299)

Anonymous (1)
Doug & Helen Bing
Britta Cederberg
Teresa Cunningham
Jean Davidson
Bonnie Douglas
Linda & Douglas Gregson
Haney Automotive
Robert Hebert
In Memory of Nik Radosevic
Judy Jones
Kalyk Family
Debbie Kennedy
Linda King - *In memory of Sheila Nickols & Dick Middleton*
Laurie Kinsman
Gayle Lyons
John & Val MacDonald
Catherine MacPherson
Velma Martin
Angie McLeod
Cameron Mcquarrie
McDonald's Restaurants of Canada Ltd.
Barbara Neff
Libby Nelson
Natasha Newberry - *in memory of Sean Noll*
Cliff Olson
Paula Panek
Norma Jean Phillips
Nell Plotnikoff
Edna Powell
Carla Reed
John Ricketts
Monica Schulte
Patricia & James Thompson
Kendra Valois
Maria Viloria
Katherine Wagner
Diane Wallace
Janell Wallace
Dorothy Watts
Westgate Flower Garden
Joan Williams

FRIENDS OF THE ACT ($25 - $99)

Anonymous (8)
Jon Aaron
Addie Anderson
Linda Arnold
Pauline Bentley
Kevin Binnie
Wendy Bishop
Mary Blackstock
Leslie Brett
Olivia Burrage
Lori Campbell
Clear Focus Camera Club
Gary Cleave
Bev Collier
Diane Daignault
Karl Doering
Lionel Doucette
Jack Emberly
Heather Escaravage
Susan Farrell
Garibaldi Art Club
Zeta Gesme
Candace Gordon
Kathleen Hall
Patricia Hamer
Edie Hume
Sue Kellas
Christine Lewis
Janet Luinenburg
Michelle MacPhail
Kathy McRae
Sarah Nelson
Pearl Rooke
Diana Sanderson
Raeanne Schachter
Phyllis Schnider
Diane & Craig Speirs
Nina Stafford
Trevor & Marcia Takasaki
Teresa Thieman
Marla van Hilten
Beverley Van Rooyen
Sandra Walton
Christina Wensley

We thank our generous Funders & Donors

SPONSORS

MORNINGSTAR
DEFINING SINGLE FAMILY HOMES

Season Title Sponsor

Johnston Meier Insurance Agencies Group

Music Series Sponsor

FUNDERS

MAPLE RIDGE
British Columbia

Funded by the Government of Canada

Canada

Maple Ridge Community Foundation

BRITISH COLUMBIA ARTS COUNCIL
An agency of the Province of British Columbia

BRITISH COLUMBIA
Supported by the Province of British Columbia

PROSPERA CREDIT UNION

vancouver foundation

2020-2021 Board of Directors

Laura Butler	*President*
Angie Mcleod	*Vice President*
Gary Cleave	*Secretary*
Monica Schulte	*Treasurer*
Linda King	*Director*
Jon Aaron	*Director*
Addie Anderson	*Director*
Kevin Binnie	*Director*
Karl Doering	*Director*
John Ricketts	*Director*
Diane Speirs	*Director*

Board Liaisons
Katie Sullivan, *School District 42 Liaison*
Councillor Chelsa Meadus, *City of Maple Ridge Liaison*
Yvonne Chui, *City of Maple Ridge, Parks, Recreation and Culture Liaison*

Staff

Ms. Curtis Pendleton, *Artistic & Executive Director*

Business Administration
Pilaar Yule, *Finance Officer*
Michelle Taylor, *Accounting Clerk*

Marketing & Communications
Laurie Kinsman, *Manager, Marketing, Communications, and Brand*
Scott Ritchings, *Marketing & Communications Supervisor*

Development
Lyndsay MacAulay, *Development Officer*

Art Gallery
Philippa Glossop, *Artistic Administrator*

Arts Programs
Naomi Evans, *Arts Learning Programs Manager*
Tracy Wiens , *Arts Learning Programs Manager (Maternity Cover)*
Lori Ceaser, *Arts Learning Programs Administrative Assistant*

Event Services
Landrie Davies, *Operations Manager*
Kassidy Lesser, *Event Services Supervisor*
Chris McGill, Anthony Valentyne, Denise Allan, *Bartenders*

Technicians
Nathan Cordeiro, *Technical Director*
Shadoe Reisler, *Head Venue Technician*
John Supeene, Colin Carruthers, Cameron Davies-Conley, Russ Hawryzki, Kyle Myhre, Brady Veltin, *Technicians on Call*

Facility Operations
Colin McKay, *Facility Maintenance Supervisor*
Michael March, *Custodian*

Ticket Centre
Jennifer Babstock, *Ticket Centre Manager*
Jaime Lenz, *Ticket Centre Attendant*

Instructors
Janet Comer, Shelly Davies-Conley, Philippa Glossop, Sarah Helten, Lisa Lake, Laura Johnson, Jane McKay, Farhad Sadeghi Amini, Kathy Nay, *Art/Mixed Media*
Morija Reeb, *Textiles*
Clive Tucker, Neidin Prout, William Hartley, Andrea Sutinen, Dan Severance, Ronald Boersen, *Pottery*
Mike McDonald, Angelic Voices, Matthew Clarke, *Music*
Lauren Trotzuk, *Drama*
Chloe Zondag, Paris Zondag, Katrina Smith, Rachael Harwood, Jill Karwatski, Julia Houle, Bobbi & Patricia Lusic, Robyn Picard, *Dance*
Paul Albertson, *Magic*
Mayra Gondim, Erik Walters, Kids Innnovative,
Jason Peckham from Spark Academics, *Media Arts/Tech For Kids*

Canada Summer Jobs 2020, 2021
Emily Blackwell, Ava Buckley, Natasha Gosling, Nikki Szeto, Ruby Taylor, *Arts Learning Program Assistants*
Mahnoor Faisal, Rebecca Smit, *Marketing Assistants*
Arveen Gogoani, *Assistant Volunteer Coordinator*

ACT arts centre

Maple Ridge and Pitt Meadows
Arts Council

NATIONAL POLICE FEDERATION | FÉDÉRATION DE LA POLICE NATIONALE

150 METCALFE STREET, SUITE 2201
OTTAWA ON K2P 1P1

www.npf-fpn.com

December 8, 2021

Mayor Mike Morden and Council
City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9
Email: mmorden@mapleridge.ca

Dear Mayor Morden and Council,

Re: Financial Impact of Surrey Police Service on Lower Mainland Municipalities

I am writing once again regarding the City of Surrey's proposed police transition and the implications we are now seeing it have on municipalities throughout the Lower Mainland. You may recall I wrote to you earlier this year about the potential implications due to a lack of plan on the part of the City of Surrey and I write to you now as there is still no plan, and the implications are being felt. This transition is creating a broad risk to community safety and increasing costs at a time when all levels of government are experiencing unprecedented financial and community safety pressures.

As the British Columbia *Police Act* makes clear, decisions regarding the policing of a municipality must ensure public safety is maintained or enhanced. There continues to be no transparency regarding the full cost of this transition which considers impacts within Surrey and on other B.C. municipalities.

The NPF believes there needs to be a thorough review and consideration of all potential risks and implications to other municipalities if this process is to continue:

> **Recruitment and retention issues across the region**: This transition has increased police recruitment and retention pressures on your municipality and thereby worsened the existing shortage of officers. The report on the Surrey Police Transition relied heavily on the notion that Surrey RCMP Members would "patch-over" to the new force. RCMP management indicated very early on to the City of Surrey that less than 14% of serving Surrey RCMP Members were even interested in transitioning.
>
> This has resulted in the SPS poaching trained officers from jurisdictions outside of Surrey to such an extent that the province has stepped in and capped SPS hiring in 2022 to 160 officers. However, we all know this transition has been highly politized and after missing yet another deployment target (only managing to deploy 29 out of a promised 50 positions by November 30) we can expect the SPS will ramp up aggressive recruitment in the coming months.

703.1

Additional Increased Costs for Municipalities and Taxpayers: Earlier this year, at a legislative committee to discuss B.C.'s Main Estimates, Public Safety Minister Mike Farnworth confirmed that current provincial Surrey Police Service (SPS) transition costs of an estimated $600,000 will rise by roughly 30 percent to an estimated $840,000 in 2021-2022.

These new cost increases are in addition to a request made earlier this year by the Office of the Police Complaint Commissioner for an increase of $1.4 million in operating and $112,000 capital funding to support the Surrey Police Service's transition oversight responsibilities, which was approved.

This provincial funding increase for 2022, to the tune of $3.08 million, means that all British Columbian taxpayers will fund the new Surrey Police Services.

The failure to complete a full feasibility study as recommended by PriceWarterhouseCoopers in 2019 as well as develop and share a detailed transition plan has financial and public safety ramifications for your jurisdiction and residents. The Union of BC Municipalities wrote to the Provincial government this past June highlighting all the aforementioned financial impacts for municipalities and asked the Provincial government to share details regarding the Evaluation Framework. The UBCM has still not received this information. For these reasons, we believe it is time to halt the transition until all costs and all potential implications for municipalities are shared. Others should not have to bear the costs of the Surrey Police Service transition or operation, especially during these uncertain times.

Municipal counterparts should be consulted and have a say on the increased costs they are being forced to absorb, not to mention the police shortage they may face due to SPS recruiting. B.C. and Lower Mainland area municipalities are and will continue to be impacted both directly and indirectly by the SPS and deserve to have been included in all consultation phases, including current and future planning of risk impacts of the SPS.

I am always available should you wish to speak further or require additional information.

Sincerely,

Brian Sauvé
President

704 Release of Items from Closed Council Status

1000 **Bylaws**

CITY OF MAPLE RIDGE
BYLAW NO. 7795-2021

A Bylaw to amend the text of the
Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Off-Street Parking and Loading Amending Bylaw No. 7795-2021."

2. That PART III OFF-STREET PARKING REQUIREMENTS, Section 3.4, is amended by deleting item 3.4 a) i) entirely and replacing with the following:

   i) The Payment-in-lieu option does not apply to Single Detached Residential Use, Two-Unit Urban Residential Use, or Ground-Oriented Residential Infill Use.

3. That SCHEDULE "C" is amended by deleting items 2 and 3, and replacing with the following:

2.	Per off-street parking space that is required under this bylaw, but which is not provided	$20,000.

4. Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 as amended is hereby amended accordingly.

READ a first time the 9th day of November, 2021.

READ a second time the 9th day of November, 2021.

READ a third time the 9th day of November, 2021.

ADOPTED, the day of , 20

_____ _____

PRESIDING MEMBER CORPORATE OFFICER

1001

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 14, 2021
		FILE NO:	2017-031-RZ
FROM:	Chief Administrative Officer	**MEETING:**	COUNCIL

SUBJECT: **Final Reading**
Zone Amending Bylaw No. 7348-2017
21333 River Road

EXECUTIVE SUMMARY:

Zone Amending Bylaw No. 7348-2017 to rezone the subject property, located at 21333 River Road (see Appendices A and B), from RS-1 (One Family Urban Residential) zone to RT-2 (Ground-Oriented Residential Infill) zone to permit a courtyard development (see Appendix C), has been considered by Council and at Public Hearing and subsequently was granted third reading. The applicant has requested that final reading be granted.

Council granted first reading for Zone Amending Bylaw No. 7348-2017 on June 13, 2017 and second reading on July 24, 2018. This application was presented at Public Hearing on September 18, 2018, and Council granted third reading on September 25, 2018.

RECOMMENDATION:

That Zone Amending Bylaw No. 7348-2017 be adopted.

DISCUSSION:

a) Background Context:

On September 25, 2018 Council granted third reading to Zone Amending Bylaw No. 7348-2017 with the requirement that the following terms and conditions be addressed:

i) **Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;**

Staff comment: A Restrictive Covenant for the Rezoning Servicing Agreement has been submitted with a Letter of Undertaking for registration at the Land Title Office and security received.

ii) **Approval from the Ministry of Transportation and Infrastructure;**

Staff comment: Approval from the Ministry of Transportation and Infrastructure was provided April 19, 2021.

1002

iii) **Road dedication on River Road, as required;**

Staff comment: Road dedication on River Road has been provided with a Letter of Undertaking for registration at the Land Title Office.

iv) **Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;**

Staff comment: A Restrictive Covenant for the Geotechnical Report has been submitted with a Letter of Undertaking for registration at the Land Title Office.

v) **Registration of a Restrictive Covenant for Stormwater Management;**

Staff comment: A Restrictive Covenant for Stormwater Management has been submitted with a Letter of Undertaking for registration at the Land Title Office.

vi) **Registration of a Restrictive Covenant prohibiting secondary suites;**

Staff comment: A Restrictive Covenant for prohibiting secondary suites has been submitted with a Letter of Undertaking for registration at the Land Title Office.

vii) **Removal of existing building;**

Staff comment: The buildings have been removed.

viii) **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;**

Staff comment: A disclosure statement, dated September 15, 2021, indicates that no underground fuel storage tanks exist on the subject property.

ix) **That a voluntary contribution, in the amount of $12,300.00 ($4,100.00 per unit excluding the original) be provided in keeping with the Council Policy with regard to Community Amenity Contributions;**

Staff comment: A voluntary contribution in the amount of $12,300.00 has been provided in keeping with Council Policy 6.31.

b) **Additional Information:**

The Director of Planning granted an extension to the subject application and outlined that all rezoning conditions are required to be met by December 31, 2021. Should the rezoning conditions not be met by December 31, 2021, the subject application would be closed.

CONCLUSION:

As the applicant has met Council's conditions, it is recommended that final reading be given to Zone Amending Bylaw No. 7348-2017.

"Original signed by Adam Rieu"

Prepared by: **Adam Rieu**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

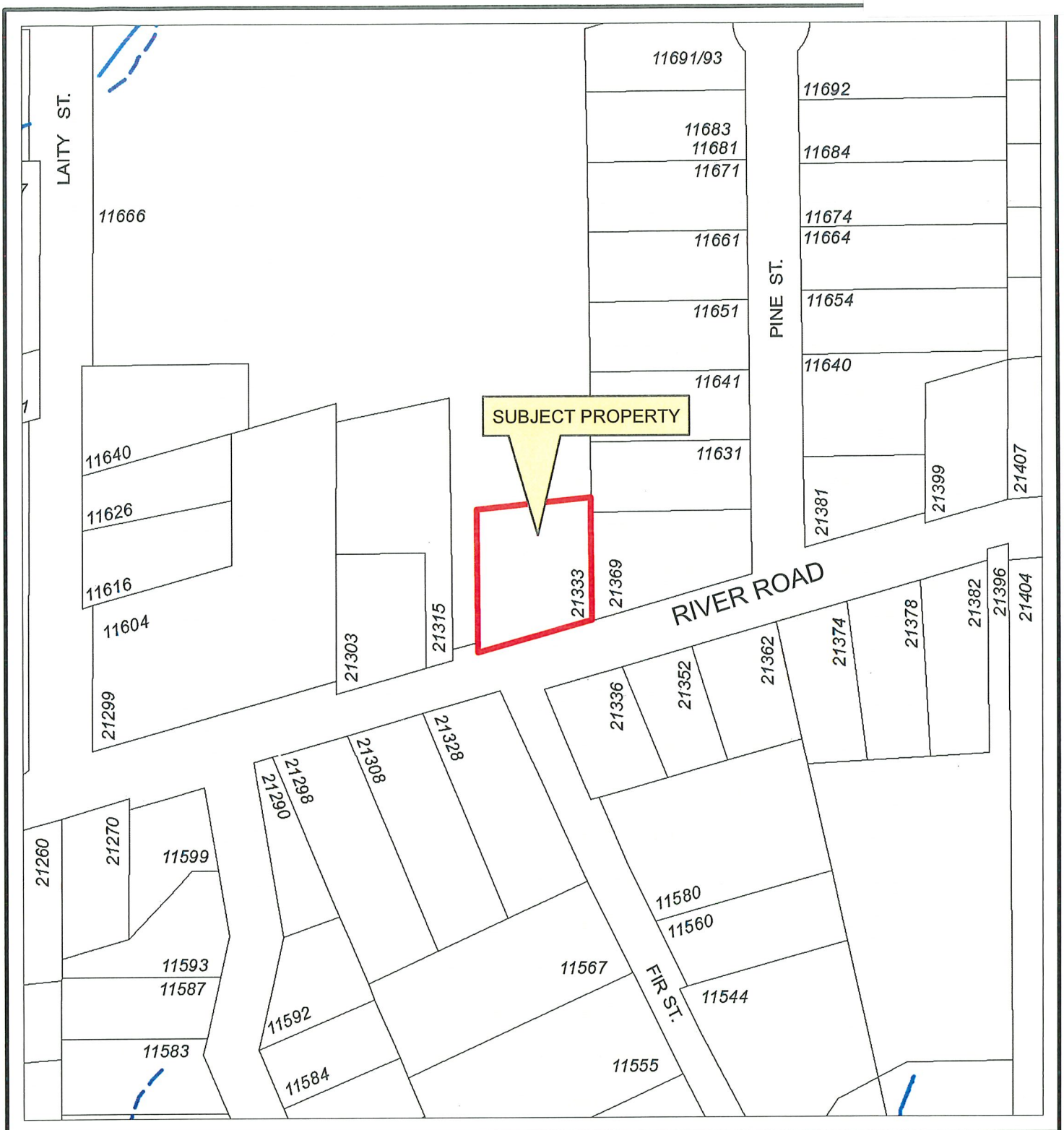
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Zone Amending Bylaw No. 7348-2017
Appendix C – Site Plan

APPENDIX A



N

Scale: 1:1,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

21333 River Road

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

2017-031-RZ

DATE: Feb 9, 2017 BY: JV

CITY OF MAPLE RIDGE

BYLAW NO. 7348-2017

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7348-2017."

2. That parcel or tract of land and premises known and described as:

   Lot 49 District Lot 248 Group 1 New Westminster District Plan 27106

   and outlined in heavy black line on Map No. 1704 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RT-2 (Ground-Oriented Residential Infill).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

   READ a first time the 13th day of June, 2017.

   READ a second time the 24th day of July, 2018.

   PUBLIC HEARING held the 18th day of September, 2018.

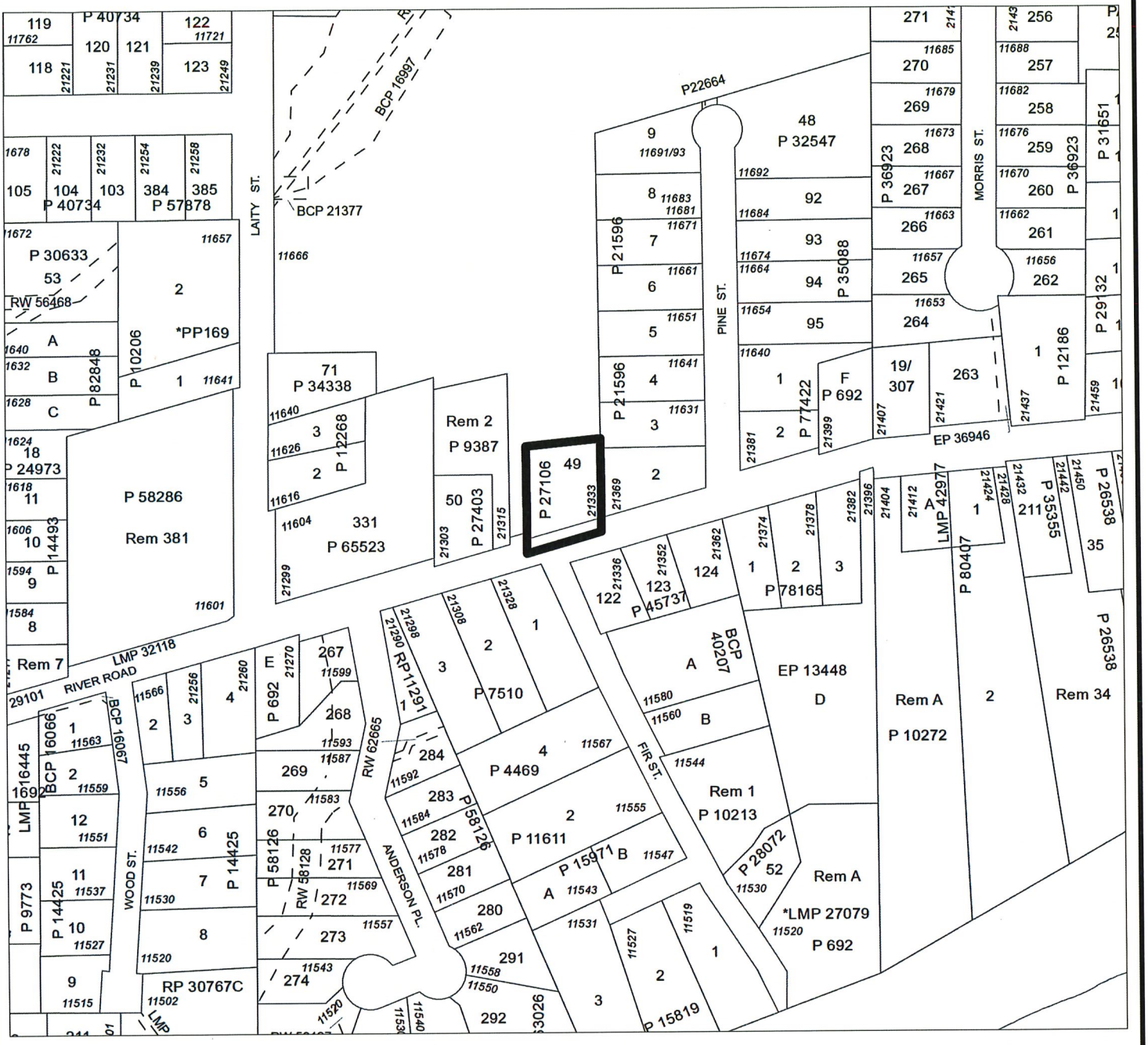
   READ a third time the 25th day of September, 2018.

   APPROVED by the Ministry of Transportation and Infrastructure this 19th day of April, 2021.

   ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7348-2017

Map No. 1704

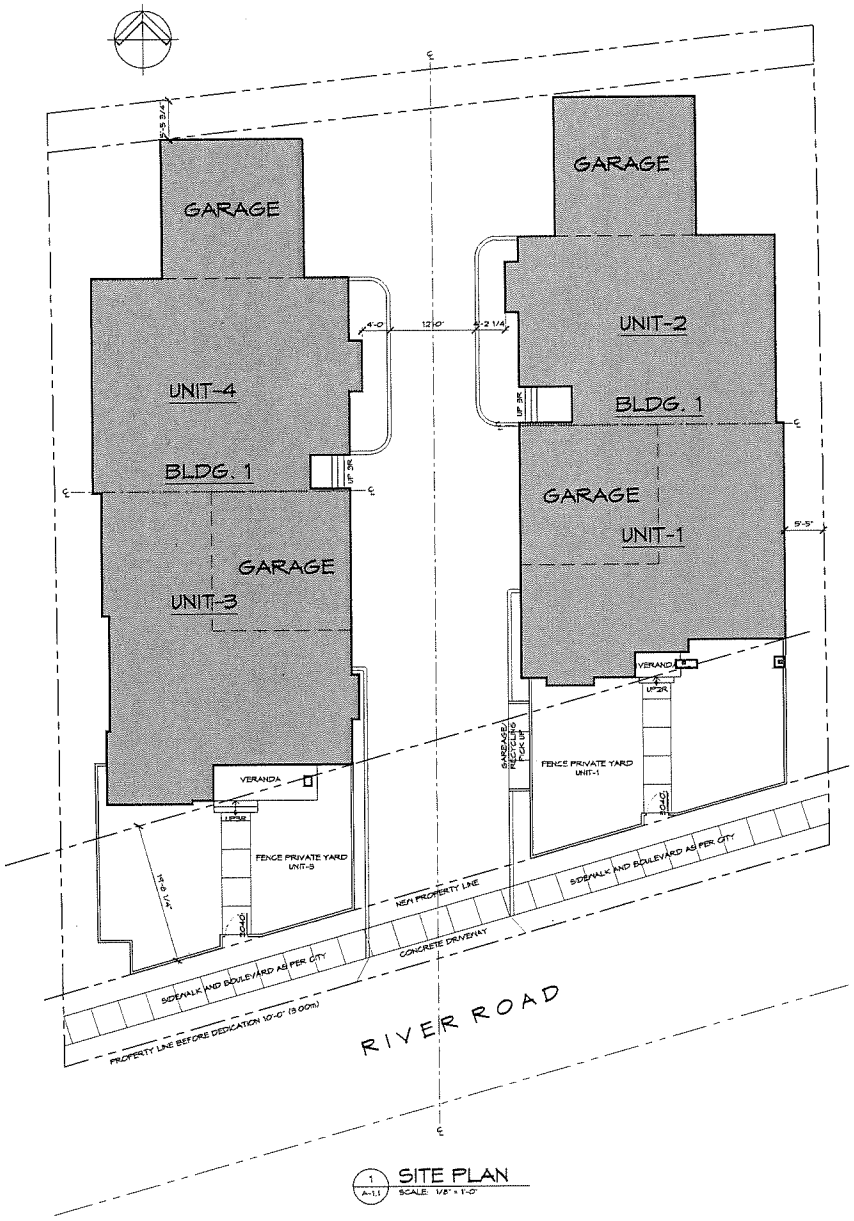
From: RS-1 (One Family Urban Residential)

To: RT-2 (Ground-Oriented Residential Infill)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



1 / A-1.1 SITE PLAN
SCALE: 1/8" = 1'-0"

date:	November 2021
scale:	
drawn:	
checked:	D.H.
project no:	221147
sheet no:	

project: ZEST HOME
21333 RIVER ROAD
MAPLERIDGE, B.C.

drawing:

Architectural Seal

TRIO Architecture Inc.
info@trioarchitecture.ca
604.854.8748
Unit B 33603 Willoughby Drive
Abbotsford, BC V2S 1S7

TRIO ARCHITECTURE INC.

ISSUE TABLE

No	Date (dd/mm/yyyy)	By	Description
1	DATE	D.H.	ISSUED FOR BUILDING PERMIT

REVISIONS

No	Date	By	Description

ALL DIMENSIONS & CONDITIONS MUST BE VERIFIED ON THE SITE

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Z:\Drawing\2021\Drawings\221147 - 21333 River Road Maple ridge\221147 - BLDG 2 River Road Maple ridge.dwg - printed by: John @ November 24, 2021 9:17:32 AM

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 14, 2021
		FILE NO:	2017-185-RZ
FROM:	Chief Administrative Officer	**MEETING:**	COUNCIL

SUBJECT: **Final Reading**
Zone Amending Bylaw No. 7362-2017
11143 Princess Street

EXECUTIVE SUMMARY:

Zone Amending Bylaw No. 7362-2017 to rezone the subject property, located at 11143 Princess Street (see Appendices A and B), from RS-1 (One Family Urban Residential) to R-1 (Residential District) to permit subdivision into two single-family lots (see Appendix C), has been considered by Council and at Public Hearing and subsequently was granted third reading. The applicant has requested that final reading be granted.

Council granted first reading for Zone Amending Bylaw No. 7362-2017 on December 5, 2017 and second reading on October 1, 2019. This application was presented at Public Hearing on October 22, 2019, and Council granted third reading on October 29, 2019.

RECOMMENDATION:

That Zone Amending Bylaw No. 7362-2017 be adopted.

DISCUSSION:

a) Background Context:

On October 29, 2019 Council granted third reading to Zone Amending Bylaw No. 7362-2017 with the requirement that the following terms and conditions be addressed:

i) **Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;**

Staff comment: It was determined that a Rezoning Servicing Agreement is no longer required as a condition of rezoning, and instead a Servicing Agreement will be provided as part of the subdivision requirements.

ii) **Road dedication as required;**

Staff comment: Road dedication, in the form of corner truncation, has been provided with a Letter of Undertaking for registration at the Land Title Office.

iii) **Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;**

Staff comment: A Restrictive Covenant for the Geotechnical Report has been submitted with a Letter of Undertaking for registration at the Land Title Office.

iv) **Registration of a Restrictive Covenant for the location within the Floodplain;**

Staff comment: A Restrictive Covenant for the location within the Floodplain has been submitted with a Letter of Undertaking for registration at the Land Title Office.

v) **Registration of a Restrictive Covenant for Tree Protection;**

Staff comment: A Restrictive Covenant for Tree Protection has been submitted with a Letter of Undertaking for registration at the Land Title Office.

vi) **Registration of a Restrictive Covenant for Stormwater Management;**

Staff comment: A Restrictive Covenant for Stormwater Management has been submitted with a Letter of Undertaking for registration at the Land Title Office.

vii) **Removal of existing buildings;**

Staff comment: The buildings have been removed.

viii) **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site;**

Staff comment: A disclosure statement, dated May 5, 2017, indicates that no underground fuel storage tanks exist on the subject property.

ix) **That a voluntary contribution, in the amount of $5,100.00 be provided in keeping with the Council Policy with regard to Community Amenity Contributions;**

Staff comment: A voluntary contribution in the amount of $5,100.00 has been provided in keeping with Council Policy 6.31.

b) Additional Information:

The Director of Planning granted an extension to the subject application and outlined that all rezoning terms and conditions are required to be met by December 31, 2021. Should the rezoning terms and conditions not be met by December 31, 2021, the subject application would be closed.

CONCLUSION:

As the applicant has met Council's terms and conditions, it is recommended that final reading be given to Zone Amending Bylaw No. 7362-2017.

"Original signed by Adam Rieu"

Prepared by: **Adam Rieu**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

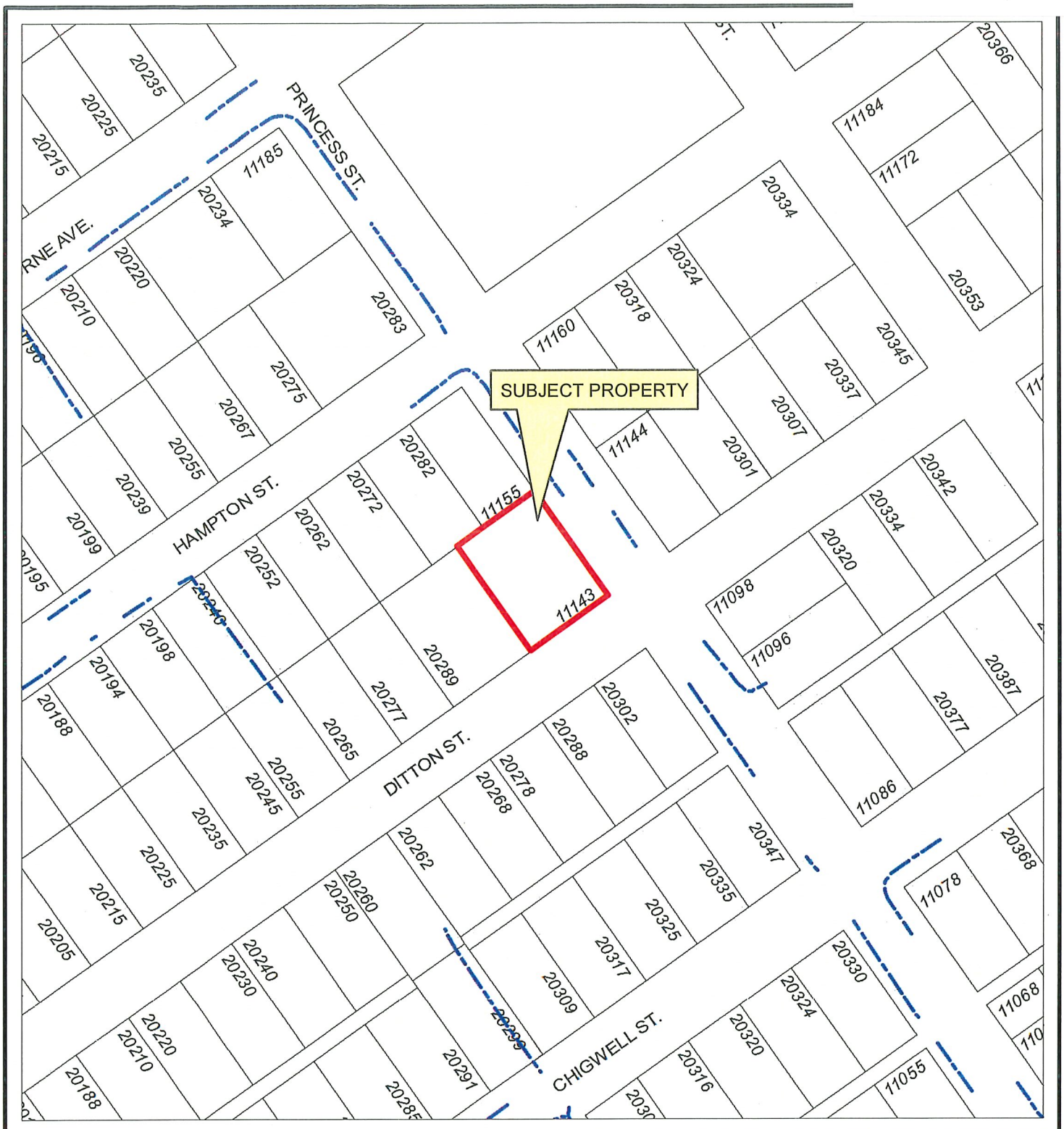
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Zone Amending Bylaw No. 7362-2017
Appendix C – Subdivision Plan

APPENDIX A



N

Scale: 1:1,500

Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

11143 Princess Street

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

2017-185-SD

DATE: May 5, 2017 BY: JV

CITY OF MAPLE RIDGE

BYLAW NO. 7362-2017

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7362-2017."

2. That parcel or tract of land and premises known and described as:

   Lot 1104 District Lots 279 and 281, Group 1 New Westminster District Plan 46939

   and outlined in heavy black line on Map No. 1723 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to R-1 (Residential District).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 5th day of December, 2017.

READ a second time the 1st day of October, 2019.

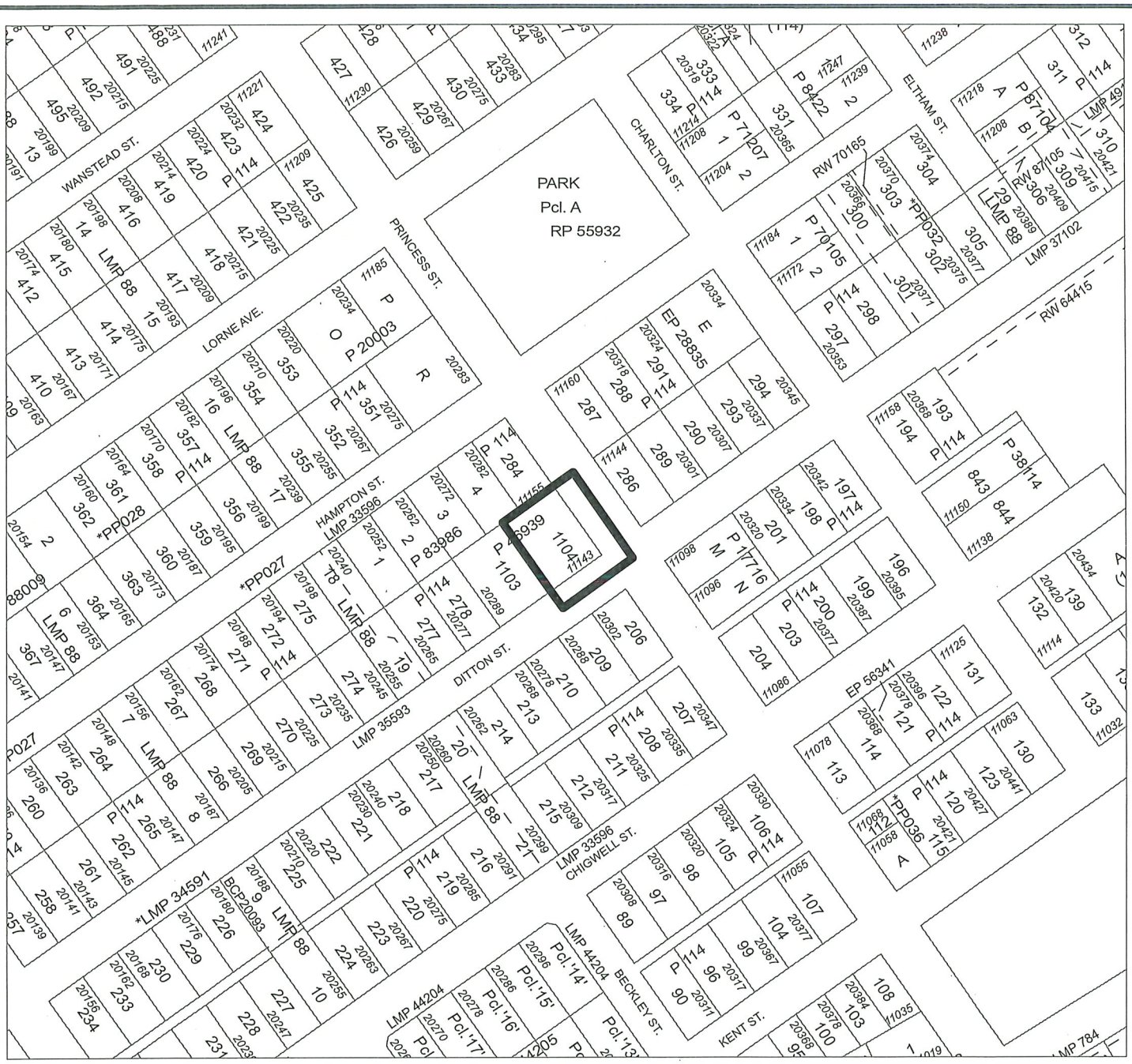
PUBLIC HEARING held the 22nd day of October, 2019.

READ a third time the 29th day of October, 2019.

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7362-2017

Map No. 1723

From: RS-1 (One Family Urban residential)

To: R-1 (Residential District)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500

SUBDIVISION PLAN OF LOT 1104
DISTRICT LOTS 279 AND 281 GROUP 1
NEW WESTMINSTER DISTRICT PLAN 46939

PLAN

B.C.G.S. 92G.027

LEGEND

- ⊕ DENOTES CONTROL MONUMENT FOUND
- ● DENOTES STANDARD IRON POST FOUND
- ○ DENOTES STANDARD IRON POST SET
- m² DENOTES SQUARE METRES
- REF. DENOTES REFERENCE
- NA DENOTES NOT ACCESSIBLE
- NF DENOTES NOT FOUND

Coordinates are shown for mapping purposes only.

SCALE 1 : 500

5 0 10 20 30

ALL DISTANCES ARE IN METRES

The intended plot size of this plan is 560mm in width and 864mm in height (D size) when plotted at a scale of 1:500.

Datum NAD 83 (CSRS) 4.0.0.BC.LMRD
UTM Zone 10 N
UTM Coordinates
N 5459061.177
E 524055.87
Absolute accuracy: +/- 0.03

Datum NAD 83 (CSRS) 4.0.0.BC.LMRD
UTM Zone 10 N
UTM Coordinates
N 5460361.35
E 525004.60
Absolute accuracy: +/- 0.03

BENT, TIED BASE

89°37'38" 146.897

85H0632

88H0617

WANSTEAD STREET

DL. 280 GP. 1

424 PLAN 114

423 PLAN 114

HAMPTON STREET

PRINCESS STREET

284 PLAN 114

4 PLAN 83986

3 PLAN 83986

2 PLAN 83986

1 PLAN 83986

2 1104 500.1 m²

1 497.2 m²

ROAD 45 m²

1103 PLAN 46939

INSUFFICIENT EVIDENCE TO RE-ESTABLISH DISTRICT LOT BOUNDARY

DISTURBED

PCL. 18 REF. PLAN LMP88

PCL 19 REF. PLAN LMP88

PCL 20 REF. PLAN LMP88

PCL 21 REF. PLAN LMP88

SRW PLAN LMP33583

SRW PLAN LMP33586

DL. 281 GP. 1

275 PLAN 114 (EP 078553)

274 PLAN 114

277 PLAN 114

278 PLAN 114

DITTON STREET

DL. 279 GP. 1

206 PLAN 114

209 PLAN 114

210 PLAN 114

213 PLAN 114

214 PLAN 114

207 PLAN 114

208 PLAN 114

211 PLAN 114

212 PLAN 114

215 PLAN 114

216 PLAN 114

217 PLAN 114

LANE

DISTRICT LOT BOUNDARY

CHIGWELL STREET

KENT STREET

BECKLEY STREET

108 PLAN 114

103 PLAN 114

100 PLAN 114

95 PLAN 114

848 PLAN 41071

INTEGRATED SURVEY AREA No. 36, MAPLE RIDGE

NAD 83 (CSRS) 4.0.0.BC.LMRD

Grid bearings are derived from RTK GNSS observations to geodetic control monuments 88H0617 and 85H0632 and are referred to the central meridian of UTM Zone 10 N.

The UTM coordinates and estimated absolute accuracy achieved are derived from GeoBC Precort Published Information.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9996096, which has been derived from control monument 88H0617.

This plan lies within the jurisdiction of the Approving Officer for the City of Maple Ridge.

The field survey represented by this plan was completed on the 1st day of October, 2021.

Finny Philip, BCLS 995

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT

ELEVATE LAND SURVEYING
FILE: 21-143-SUB
604-365-5571

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	MEETING DATE:	December 14, 2021
		FILE NO:	2018-231-RZ
FROM:	Chief Administrative Officer	MEETING:	COUNCIL

SUBJECT: Final Reading
Zone Amending Bylaw No. 7483-2018
28621 104 Avenue and 10455 287 Street

EXECUTIVE SUMMARY:

Zone Amending Bylaw No. 7483-2018 to rezone the subject properties, located at 28621 104 Avenue and 10455 287 Street (see Appendices A and B), from A-1 (Small Holding Agricultural) and A-2 (Upland Agricultural) to RS-3 (One Family Rural Residential) to permit future subdivision into approximately four lots (see Appendix C), has been considered by Council and at Public Hearing and subsequently was granted third reading. The applicant has requested that final reading be granted.

Council granted first reading for Zone Amending Bylaw No. 7483-2018 on July 24, 2018 and second reading on October 1, 2019. This application was presented at Public Hearing on October 22, 2019, and Council granted third reading on October 29, 2019.

RECOMMENDATION:

That Zone Amending Bylaw No. 7483-2018 be adopted.

DISCUSSION:

a) Background Context:

On October 29, 2019 Council granted third reading to Zone Amending Bylaw No. 7483-2018 with the requirement that the following terms and conditions be addressed:

i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;

Staff comment: It was determined that a Restrictive Covenant for a Rezoning Servicing Agreement is no longer required due to limited servicing requirements.

ii) Road dedication on 104th Avenue and 287th Street as required (corner truncation only);

Staff comment: Road dedication, in the form of corner truncation, has been provided with a Letter of Undertaking for registration at the Land Titles Office.

iii) Registration with Fraser Health for septic disposal and water quality; and registration of a Restrictive Covenant for the protection of the septic field areas;

Staff comment: Registration of septic disposal and water quality with Fraser Health and registration of a Restrictive Covenant for the protection of the septic field area will be provided as a condition of subdivision approval.

iv) **Registration with the Ministry of Environment Water Protection and Sustainability Branch for water wells;**

Staff comment: Proof of registration of water wells will be provided as a condition of subdivision approval.

v) **A Professional Engineer's certification that adequate water quantity for domestic and fire protection purposes can be provided;**

Staff comment: A Professional Engineer's certification for water quantity for domestic and fire protection purposes will be provided as a condition of subdivision approval.

vi) **That a voluntary contribution, in the amount of $5100.00 per lot be provided in keeping with the Council Policy with regard to Community Amenity Contributions, for a total of $10,200.00, based on two new lots being created.**

Staff comment: A voluntary contribution in the amount of $10,200.00 has been provided in keeping with Council Policy 6.31.

b) Additional Information:

The Director of Planning granted an extension to the subject application and outlined that all rezoning conditions are required to be met by December 31, 2021. Should the rezoning terms and conditions not be met by December 31, 2021, the subject application would be closed.

CONCLUSION:

As the applicant has met Council's terms and conditions, it is recommended that final reading be given to Zone Amending Bylaw No. 7483-2018.

"Original signed by Adam Rieu"

Prepared by: **Adam Rieu**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

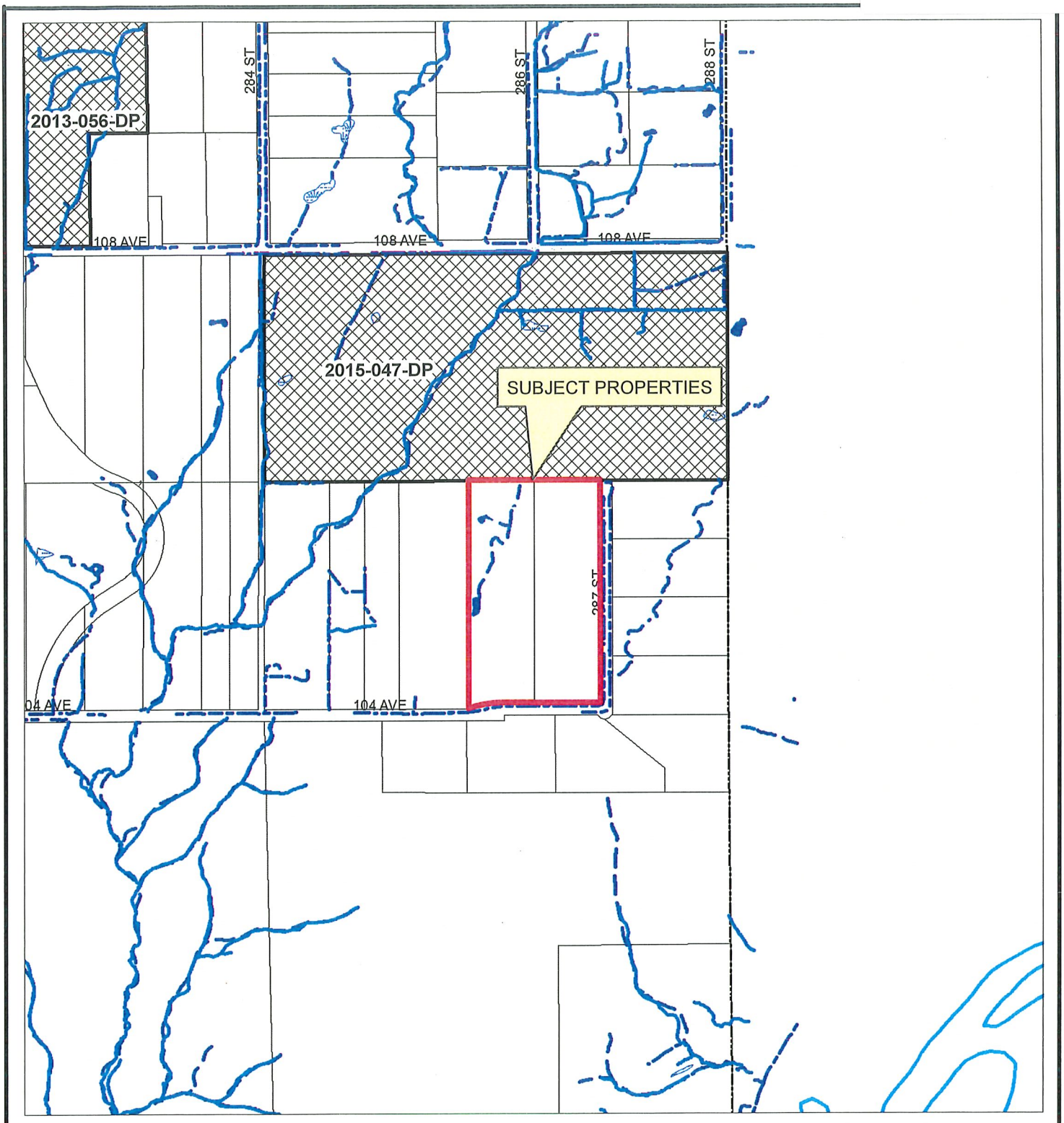
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:
Appendix A – Subject Map
Appendix B – Bylaw No. 7483-2018
Appendix C – Subdivision Plan

APPENDIX A



N

Scale: 1:9,000

Legend

- Stream
- Ditch Centreline
- Edge of Marsh
- Indefinite Creek
- Lake or Reservoir
- Marsh
- Major Rivers & Lakes

28621 104 AVENUE
10455 287 STREET

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia

mapleridge.ca

FILE: 2018-231-RZ
DATE: Jun 5, 2018

BY: LP

CITY OF MAPLE RIDGE
BYLAW NO. 7483-2018

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7483-2018."

2. Those parcels or tracts of land and premises known and described as:

   Lot 5 Section 9 Township 15 New Westminster District Plan 66081
   Lot 13 Section 9 Township 15 New Westminster District Plan 66392

   and outlined in heavy black line on Map No. 1767, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-3 (One Family Rural Residential).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

   READ a first time the 24th day of July, 2018.

   READ a second time the 1st day of October, 2019.

   PUBLIC HEARING held the 22nd day of October, 2019.

   READ a third time the 29th day of October, 2019.

   ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER

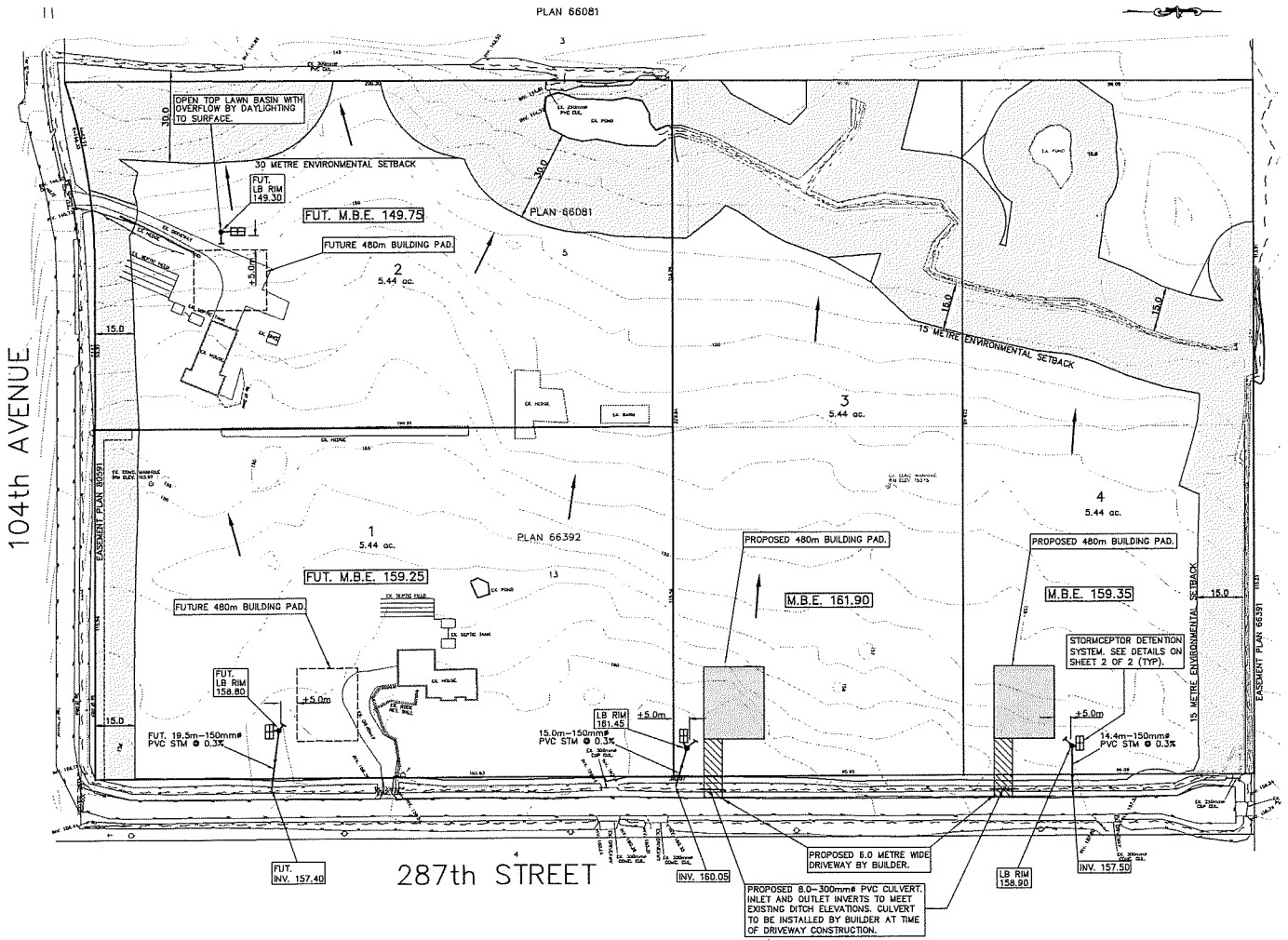
MAPLE RIDGE ZONE AMENDING

Bylaw No. 7483-2018
Map No. 1767
From: A-1 (Small Holding Agricultural)
A-2 (Upland Agricultural)
To: RS-3 (One Family Rural Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:4,500



NOTES:

1. LOT 13, PLAN 66393 AND LOT 5, PLAN 66081 TO BE SUBDIVIDED INTO FOUR EQUAL LOTS OF 5.44 ACRES.
2. SANITARY COLLECTION TO BE SEPTIC TANKS WITH FIELDS. LOTS 1 AND 2 ALREADY HAVE EXISTING SEPTIC TANKS WITH FIELDS WHICH DO NOT ENCROACH ON LOTS 3 AND 4. DESIGN AND CONSTRUCTION BY OTHERS.
3. FOR DOMESTIC WATER DISTRUBUTION ALL LOTS WILL HAVE THERE OWN PRIVATE WELLS. LOCATION AND INSTALLATION BY OTHERS.
4. DRAINAGE WATER FROM BUILDING FOOTINGS AND ROOF WATER LEADERS TO BE CONTROLLED BY THE PROPOSED STORMCEPTOR DETENTION SYSTEM. THIS PLAN DRAINING INTO THE MUNICIPAL EXISTING ROADWAY DITCHES ON 104 AVENUE AND 287 STREET. ALL OTHER GROUND WATER WILL DRAIN OVERLAND. CONSTRUCTION OF THIS PROPOSED STORMCEPTOR DETENTION SYSTEM WILLBE BY BUILDER.
5. NEW DRIVEWAYS AND DRIVEWAY CULVERTS FOR LOTS 3 AND 4 WILL BE BY BUILDER.
6. ALL REQUIRED UPGRADES TO 104 AVENUE AND 287 STREET WILL BE 'CASH IN LIEU' PAID BY THE DEVELOPER TO THE CITY.

DIRECTION OF OVERLAND FLOW

BENCHMARK DESCRIPTION:
ELEVATIONS DERIVED FROM MONUMENT 85H0676. ELEVATION 99.970 METRES.

LEGAL DESCRIPTION:
PLAN 66081, LOT 5 & PLAN 66392, LOT 13, SEC. 9, T.P. 15, N.W.D.

PLACE A MINIMUM OF 300mm THICK AMENDED SOILS ON ALL DISTURBED AREAS.

ALL BUILDING STRUCTURES TO BE A MINIMUM OF 5.0 MERTE FROM DETENTION SYSTEM.

EVERTEK ENGINEERING
202-2692 CLEARBROOK ROAD,
ABBOTSFORD, B.C. V2T 3Y8
TELEPHONE (604) 776-0222
Evertek Engineering

No.	DATE	REVISION	BY
2	05/08 2021	CITY REQUIREMENTS.	D.T.
1	03/08 2021	CITY REQUIREMENTS.	D.T.

EXISTING / PROPOSED: STORM SEWER (STM), SANITARY SEWER (SAN), GAS (G), WATER (W), U.G. LIGHTING (L), U.G. HYDRO (B.C.H.), U.G. TELEPHONE (B.C.T.), MANHOLE, CATCH BASIN, WATER OR GAS VALVE (XG)

DITCH, TOP OF DITCH, UTILITY POLE/ANCHOR, FIRE HYDRANT, IRON PIN, BASEMENT ELEV., EDGE OF PAVEMENT, FENCE, SIDEWALK, SURVEY MONUMENT, SAN. INSPECTION CHAMBER, STREET LIGHT, LEFT ⊥ RIGHT T

EDGE OF SHOULDER, EDGE OF GRAVEL, SLOPE (TOP, TOE), SHRUB, HEDGE, TREE, BUILDING

DRAWN	D.R.T.
DESIGNED	G.C.
CHKD/APPRVD	
ACAD FILE	
FIELD BOOK	
SCALES HORZ.	1:750
VERT.	

SEAL: PROFESSIONAL ENGINEER, PROVINCE OF BRITISH COLUMBIA, H. S. OBEROI # 40428, ENGINEER

THE CITY OF MAPLE RIDGE
ENGINEERING DEPARTMENT

KEY PLAN/SITE SERVICING
28621-104 AVE./10455 287 ST.
MAPLE RIDGE, B.C.

DATE: 2021-07-02
SHEET: 1 OF 2
DWG. No.: 100252

APPENDIX C

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 14, 2021
		FILE NO:	2013-087-RZ
FROM:	Chief Administrative Officer	**MEETING:**	COUNCIL

SUBJECT: **Final Reading**
Official Community Plan Amending Bylaw No. 7526-2018
Zone Amending Bylaw No. 7068-2014
23500 and 23550 Larch Avenue

EXECUTIVE SUMMARY:

Official Community Plan Amending Bylaw No. 7526-2018 and Zone Amending Bylaw No. 7068-2014, for the subject properties located at 23500 and 23550 Larch Avenue, have been considered by Council and at Public Hearing and subsequently were granted third reading. The applicant has requested that final reading be granted.

The purpose of the rezoning from RS-2 (One Family Suburban Residential) and RS-3 (One Family Rural Residential) zones to RM-1 (Townhouse Residential) and P-1 (Park and School) zones, is to permit the construction of 19 townhouse units with a portion of the lands being acquired for active park use and another sloping portion for conservation being dedicated as park.

Council granted first reading for Zone Amending Bylaw No. 7068-2014 on April 8, 2014, following a deferral from the November 8, 2013 Committee of the Whole meeting to better define the boundary between the development and future park. Plans submitted by the applicant in June 2016 brought to light grading issues that were addressed through revised plans provided in May 2017. Stepped retaining walls were introduced and a location for the servicing Right of Way through the future park was established minimizing its impact on park development (e.g. fields, structures, child play area, etc.).

Council granted first and second reading for Official Community Plan Amending Bylaw No. 7526-2018 on February 26, 2019, and second reading for Zone Amending Bylaw No. 7068-2014 on February 26, 2019. This application was presented at Public Hearing on March 19, 2019, and Council granted third reading on April 9, 2019.

RECOMMENDATIONS:

1. **That Official Community Plan Amending Bylaw No. 7526-2018 be adopted; and further**

2. **That Zone Amending Bylaw No. 7068-2014 be adopted.**

1005.1 & 1005.2

DISCUSSION:

a) Background Context:

On April 9, 2019 Council granted third reading to Official Community Plan Amending Bylaw No. 7526-2018 and Zone Amending Bylaw No. 7068-2014 with the requirement that the following terms and conditions be addressed:

i. **Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;**

Staff comment: This is being registered by Letter of Undertaking.

ii. **Amendment to Official Community Plan Schedule "A", Chapter 10.3, Part VI, A – Silver Valley, Figure 2 - Land Use Plan, Figure 3C - River Hamlet, and Figure 4 - Trails / Open Space;**

Staff comment: To be adopted concurrently with the rezoning.

iii. **Road dedication on Larch Avenue as required;**

Staff comment: This is being registered by Letter of Undertaking.

iv. **Subdivision of the subject site into Townhouse, active parkland (to be acquired by City) and dedication of conservation areas, including construction of walkways, equestrian trails; and removal of all invasives, debris and garbage from park land, as required;**

Staff comment: The necessary plan for subdivision and the dedication of the conservation area as parkland will be by Letter of Undertaking. The acquisition of the portion of the site for active park is being delayed because the acquisition is not currently budgeted. Instead, the City has entered into an agreement to purchase with the developer, so as not to delay completion of the rezoning and construction of the project. To facilitate this, a restrictive covenant with a security is being registered on the lot created for active parkland use by Letter of Undertaking, to be released once the purchase is completed and the lot is transferred to the City.

v. **Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;**

Staff comment: This is being registered by Letter of Undertaking.

vi. **Registration of a Restrictive Covenant for the protection of any Environmentally Sensitive areas on the subject property;**

Staff comment: This is being registered by Letter of Undertaking.

vii. **Registration of a Statutory Right-of-Way plan with a servicing easement;**

Staff comment: This is being registered by Letter of Undertaking.

viii. **Registration of a Restrictive Covenant for protecting the Visitor Parking;**

Staff comment: This is being registered by Letter of Undertaking.

ix. **Registration of a Restrictive Covenant for Tree Protection;**

Staff comment: This is being registered by Letter of Undertaking.

x. **Registration of a Restrictive Covenant for Stormwater Management, including maintenance guidelines for the owners and strata council;**

Staff comment: This is being registered by Letter of Undertaking.

xi. **Removal of existing buildings;**

Staff comment: A covenant will be registered by Letter of Undertaking that removal will take place once the tenants vacate. A security is being held by the City in this regard.

xii. **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.**

Staff comment: This has been confirmed by the developer's consultant.

xiii. **That a voluntary contribution, in the amount of $80,000, be provided for Parkland development in lieu of the reduced neighbourhood park space and open space amenity on the development site.**

Staff comment: These contributions have been received by the City.

xiv. **That a voluntary contribution, in the amount of $77,900 ($4,100/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.**

Staff comment: These contributions have been received by the City.

CONCLUSION:

As the applicant has met Council's conditions, it is recommended that final reading be given to Official Community Plan Amending Bylaw No. 7526-2018 and Zone Amending Bylaw No. 7068-2014.

"Original signed by Adrian Kopystynski"

Prepared by: **Adrian Kopystynski M.Sc., MCIP, RPP, MCAHP**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

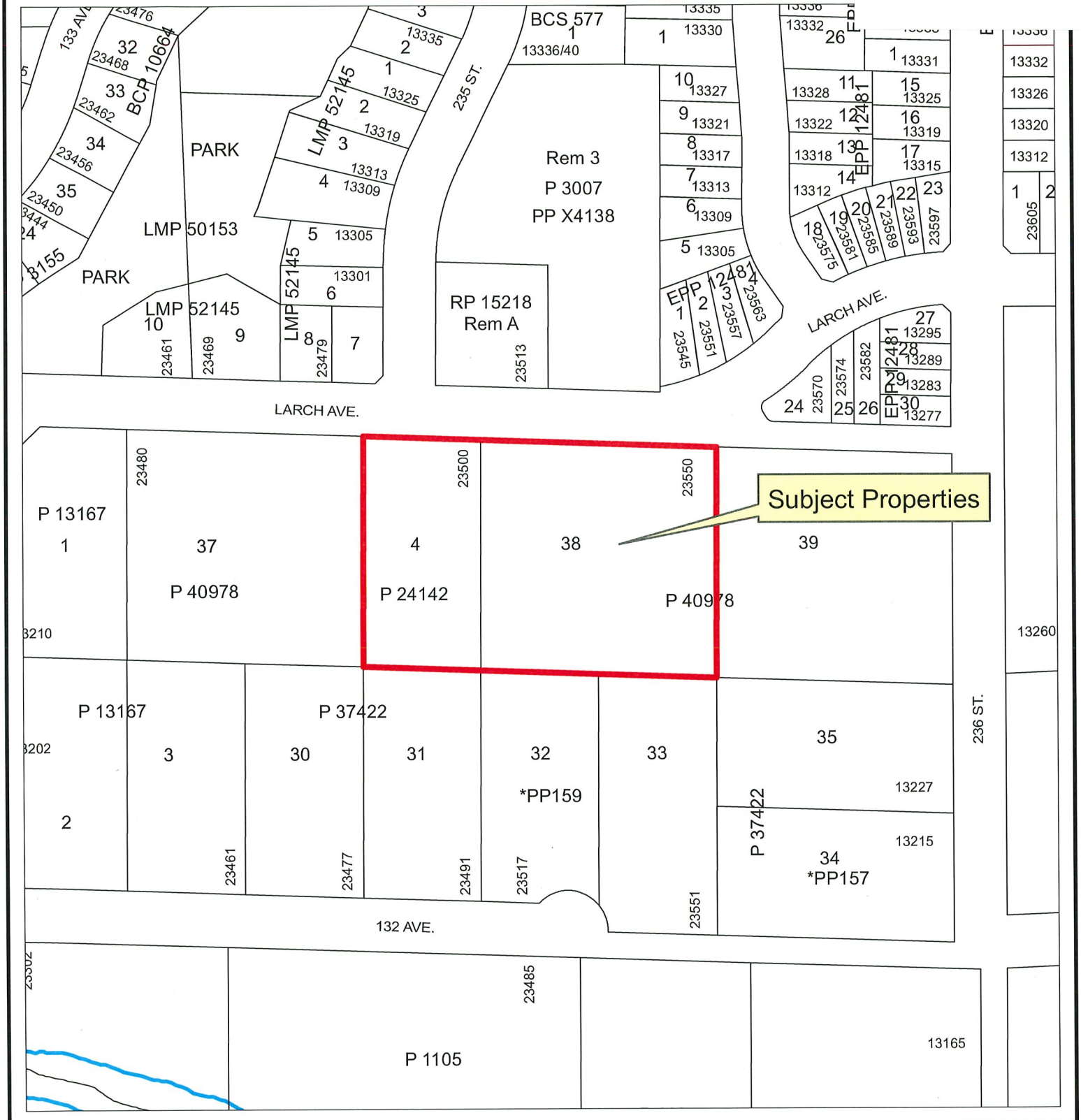
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Official Community Plan Amending Bylaw No. 7526-2018
Appendix C – Zone Amending Bylaw No. 7068-2014
Appendix D – Site Plan

APPENDIX A


Subject Properties
LARCH AVE.
132 AVE.
235 ST.
236 ST.
PARK
LMP 50153
LMP 52145
BCP 10664
BCS 577
Rem 3
P 3007
PP X4138
RP 15218
Rem A
EPP 12481
P 13167
P 40978
P 24142
P 37422
*PP159
*PP157
P 1105
23500/23550 Larch Ave
CORPORATION OF THE DISTRICT OF MAPLE RIDGE
FINANCE DEPARTMENT
MAPLE RIDGE
British Columbia
N
Scale: 1:2,000
City of Pitt Meadows
District of Mission
District of Langley
FRASER R.
DATE: Sep 6, 2013
2013-087-RZ
BY: JV

CITY OF MAPLE RIDGE
BYLAW NO. 7526-2018

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

WHEREAS Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

AND WHEREAS it is deemed expedient to amend Schedule "A" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7526-2018."

2. Schedule "A", Chapter 10.3, Part VI, A – Silver Valley, Figure 2 - Land Use Plan, and Figure 3C - River Hamlet, are hereby amended for the parcel or tract of land and premises known and described as:

   Lot 4 Section 28 Township 12 New Westminster Plan 24142 and Lot 38 Section 28 Township 12 New Westminster Plan 40978

   and outlined in heavy black line on Map No. 991, a copy of which is attached hereto and forms part of this bylaw, is hereby designated as shown.

3. Schedule "A", Chapter 10.3, Part VI, A – Silver Valley, Figure 4 – Trails / Open Space is/are hereby amended for the parcel or tract of land and premises known and described as:

   Lot 4 Section 28 Township 12 New Westminster Plan 24142 and Lot 38 Section 28 Township 12 New Westminster Plan 40978

   and outlined in heavy black line on Map No. 992, a copy of which is attached hereto and forms part of this bylaw, is hereby designated as shown.

4. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

   READ a first time the 26th day of February, 2019.

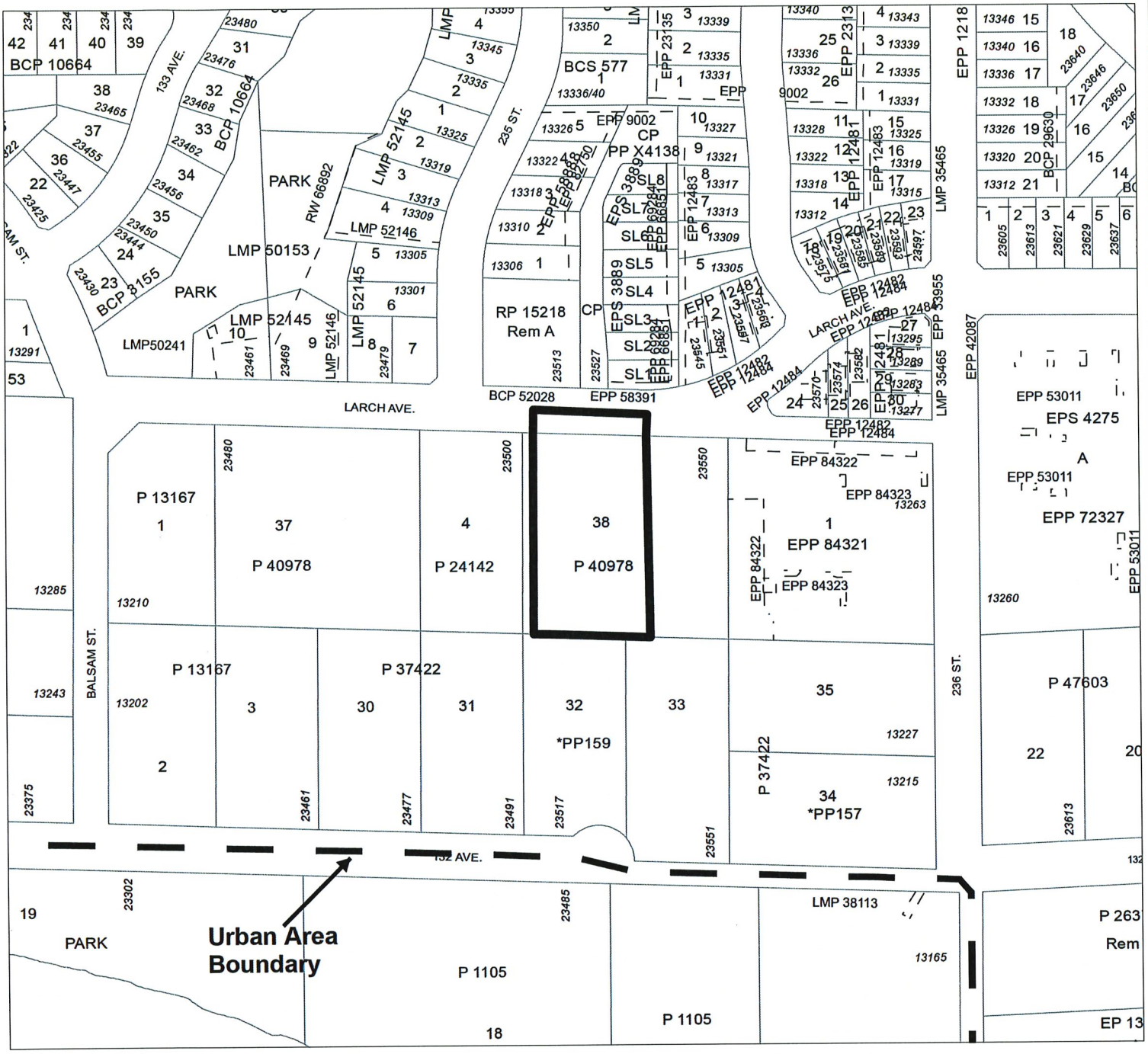
   READ a second time the 26th day of February, 2019.

   PUBLIC HEARING held the 19th day of March, 2019.

   READ a third time the 9th day of April, 2019.

   ADOPTED, the day of , 20 .

PRESIDING MEMBER **CORPORATE OFFICER**



MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7526-2018

Map No. 991

Purpose: To Amend Figure 2 and Figure 3C of the Silver Valley Area Plan

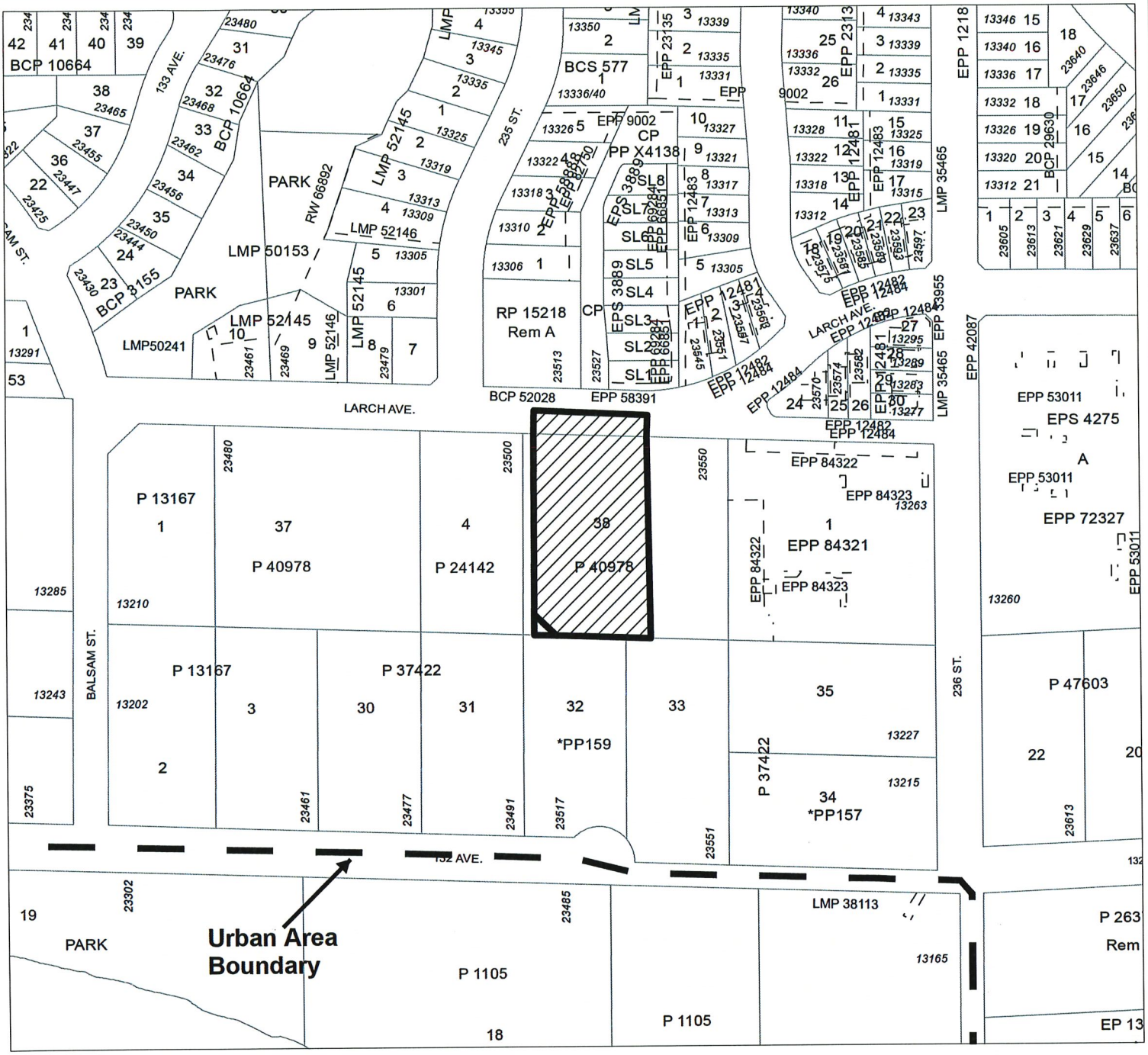
From: Conservation and Neighbourhood Park

To: Medium/High Density Residential

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE OFFICIAL COMMUNITY PLAN AMENDING

Bylaw No. 7526-2018

Map No. 992

Purpose: To Amend Figure 4 of the Silver Valley Area Plan as shown

To Remove from Conservation

To Remove from Neighbourhood Park

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500

CITY OF MAPLE RIDGE

BYLAW NO. 7068-2014

A Bylaw to amend Map "A" forming part
of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7068-2014."

2. Those parcels or tracts of land and premises known and described as:

   Lot 4 Section 28 Township 12 New Westminster District Plan 24142; and
   Lot 38 Section 28 Township 12 New Westminster District Plan 40978

   and outlined in heavy black line on Map No. 1613 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Townhouse Residential) and P-1 (Park and School).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

   READ a first time the 8th day of April, 2014

   READ a second time the 26th day of February, 2019.

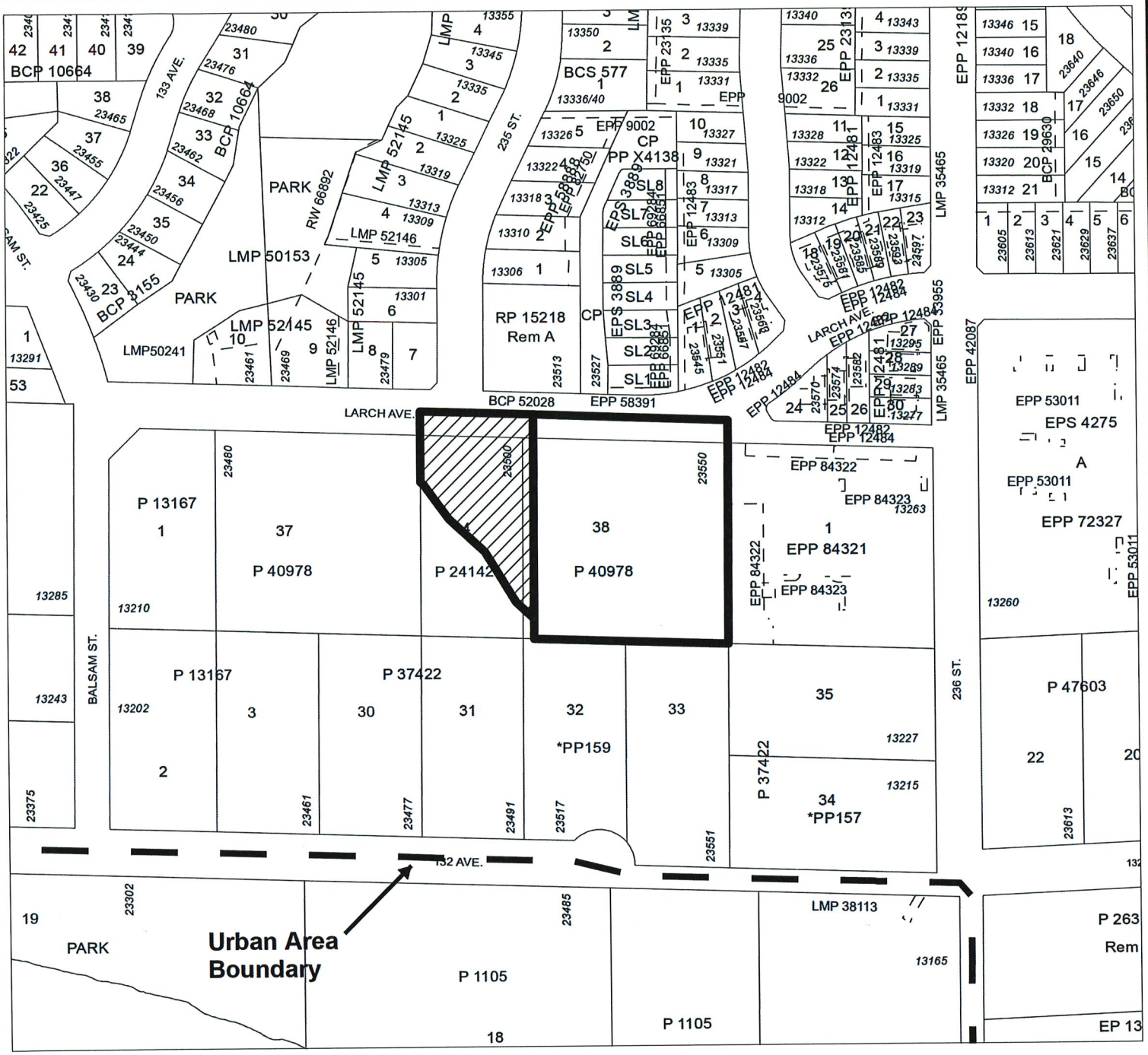
   PUBLIC HEARING held the 19th day of March, 2019.

   READ a third time the 9th day of April, 2019.

   ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7068-2014

Map No. 1613

From: RS-2 (One Family Suburban Residential)

RS-3 (One Family Rural Residential)

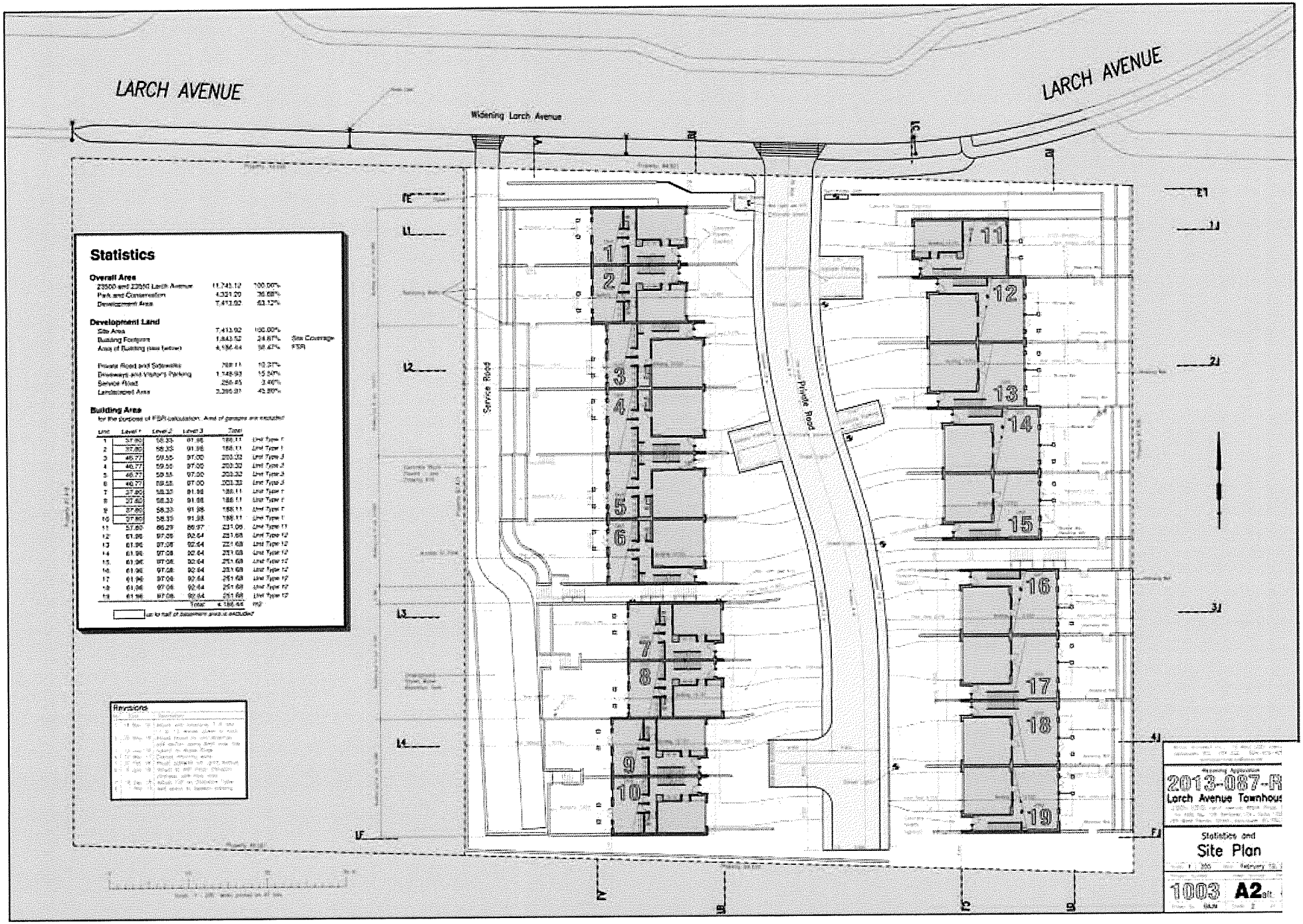
To: RM-1 (Townhouse Residential)

P-1 (Park and School)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500


LARCH AVENUE
Widening Larch Avenue
LARCH AVENUE
Service Road
Private Road
Statistics
Overall Area
23500 and 23510 Larch Avenue 11,740.12 100.00%
Park and Conservation 4,327.20 36.88%
Development Area 7,413.02 63.12%
Development Land
Site Area 7,413.02 100.00%
Building Footprint 1,843.52 24.87% Site Coverage
Area of Building (see below) 4,196.44 56.61% FSR
Private Road and Sidewalks 788.11 10.31%
Driveways and Visitor's Parking 1,148.93 15.04%
Service Road 256.45 3.40%
Landscaped Area 3,399.37 45.80%
Building Area
for the purposes of FSR calculation. Area of garages are excluded
Unit Level 1 Level 2 Level 3 Total
1 37.80 58.33 91.98 188.11 Unit Type 1
2 37.80 58.33 91.98 188.11 Unit Type 1
3 46.77 59.55 97.00 203.32 Unit Type 3
4 46.77 59.55 97.00 203.32 Unit Type 3
5 46.77 59.55 97.00 203.32 Unit Type 3
6 46.77 59.55 97.00 203.32 Unit Type 3
7 37.80 58.33 91.98 188.11 Unit Type 1
8 37.80 58.33 91.98 188.11 Unit Type 1
9 37.80 58.33 91.98 188.11 Unit Type 1
10 37.80 58.33 91.98 188.11 Unit Type 1
11 57.60 66.29 86.97 210.86 Unit Type 11
12 61.96 97.08 92.64 251.68 Unit Type 12
13 61.96 97.08 92.64 251.68 Unit Type 12
14 61.96 97.08 92.64 251.68 Unit Type 12
15 61.96 97.08 92.64 251.68 Unit Type 12
16 61.96 97.08 92.64 251.68 Unit Type 12
17 61.96 97.08 92.64 251.68 Unit Type 12
18 61.96 97.08 92.64 251.68 Unit Type 12
19 61.96 97.08 92.64 251.68 Unit Type 12
Total 4,196.44 m2
up to half of basement area is excluded
Revisions
Rezoning Application
2013-087-R
Larch Avenue Townhous
Statistics and
Site Plan
1003
A2

APPENDIX D

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 14, 2021
		FILE NO:	2018-464-RZ
FROM:	Chief Administrative Officer	**MEETING:**	COUNCIL

SUBJECT: **Final Reading**
Official Community Plan Amending Bylaw No. 7631-2020
Zone Amending Bylaw No. 7563-2019
11907 223 Street

EXECUTIVE SUMMARY:

Official Community Plan Amending Bylaw No. 7631-2020 and Zone Amending Bylaw No. 7563-2019 for the subject property, located at 11907 223 Street (see Appendix A), have been considered by Council and at Public Hearing and subsequently were granted third reading. The applicant has requested that final reading be granted.

The purpose of the rezoning is to permit the construction of 6-storey, 57-unit apartment building. Official Community Plan Amending Bylaw No. 7631-2020 is a text amendment allowing for the proposed building height. Zone Amending Bylaw No. 7563-2019 is to rezone the site from the RM-3 (Medium/High Density Apartment Residential) zone to the RM-2 (Medium Density Apartment Residential) zone.

Council granted first reading for Zone Amending Bylaw No. 7563-2019 on July 9, 2019. Council granted first and second reading for Official Community Plan Amending Bylaw No. 7631-2020 and second reading for Zone Amending Bylaw No. 7563-2019 on April 14, 2020. This application was presented at Public Hearing on May 19, 2020 and Council granted third reading on May 26, 2020.

RECOMMENDATIONS:

1. **That Official Community Plan Amending Bylaw No. 7631-2020 be adopted; and further**

2. **That Zone Amending Bylaw No. 7563-2019 be adopted.**

DISCUSSION:

a) Background Context:

On May 26, 2020 Council granted third reading to Official Community Plan Amending Bylaw No. 7631-2020 and Zone Amending Bylaw No. 7563-2019 (see Appendices B and C) with the requirement that the following terms and conditions be addressed:

i. **Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;**

Staff comment: This legal document is being registered by way of a Letter of Undertaking.

1006.1 & 1006.2

ii. **Approval from the Ministry of Transportation and Infrastructure;**

Staff comment: This approval was granted on April 21, 2021.

iii. **Road corner truncation and lane widening dedication as required;**

Staff comment: The subdivision plan for these dedications is being registered by way of a Letter of Undertaking.

iv. **Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;**

Staff comment: This legal document is being registered by way of a Letter of Undertaking.

v. **Registration of a Restrictive Covenant for protecting the Visitor Parking;**

Staff comment: This legal document is being registered by way of a Letter of Undertaking.

vi. **Registration of a Restrictive Covenant for Stormwater Management;**

Staff comment: This legal document is being registered by way of a Letter of Undertaking.

vii. **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject property. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.**

Staff comment: The applicant reported this requirement is satisfied.

viii. **That a voluntary contribution, in the amount of $158,100.00 ($3,100/unit) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.**

Staff comment: The initial estimate has changed. The Community Amenity Contribution collected is $176,700 (57 apartment units times $3,100/unit).

ix. **That a voluntary contribution, in the amount of $147,994.24 based on rate of $161.46 per square metre ($15.00 per square foot) for the additional FSR being sought in in accordance Section 5. Density f) of the RM-2 Zone.**

Staff comment: The initial estimate has changed. The voluntary contribution collected is $123,420.02 (0.45 FSR x $161.46 per square metre).

b) Additional Information:

On October 21, 2021, the Director of Planning granted a six month extension to the subject application. The Amenity Contribution and Voluntary Contribution was adjusted as described in Conditions viii and ix above.

The In-Lieu Parking contribution was also modified to eight residential spaces totaling $64,000, which has been collected by the City.

CONCLUSION:

As the applicant has met Council's conditions, it is recommended that final reading be given to Official Community Plan Amending Bylaw No. 7631-2020 and Zone Amending Bylaw No. 7563-2019.

"Original signed by Mark McMullen" for

Prepared by: **Adrian Kopystynski MSc, MCIP, RPP, MCAHP**
Planner II

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Official Community Plan Amending Bylaw No. 7631-2020
Appendix C – Zone Amending Bylaw No. 7563-2019
Appendix D – Site Plan

APPENDIX A

N

Scale: 1:2,000

Legend

Ditch Centreline

11907 223 St

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2018-464-RZ
DATE: Nov 8, 2018

BY: LP

CITY OF MAPLE RIDGE

BYLAW NO. 7631-2020

A Bylaw to amend the Official Community Plan

WHEREAS, the Local Government Act empowers a local government to adopt or amend an Official Community Plan;

AND WHEREAS, it is deemed desirable to amend Schedule "A" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7631-2020".

2. That Section 10.4 Town Centre Area Plan, 3.3 Land Use Designations, Low-Rise Apartment policies be amended by adding to the existing policy 3-22 the following sentence:

   In instances where it is demonstrated that shadowing, neighbourhood character, view obstruction, and other negative impacts are sufficiently mitigated, the height may be increased to six (6) storeys.

3. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

READ A FIRST TIME the 14th day of April, 2020.

READ A SECOND TIME the 14th day of April, 2020.

PUBLIC HEARING HELD the 19th day of May, 2020.

READ A THIRD TIME the 26th day of May, 2020.

ADOPTED, the day of , 200 .

PRESIDING MEMBER

CORPORATE OFFICER

CITY OF MAPLE RIDGE

BYLAW NO. 7563-2019

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7563-2019."

2. That parcel or tract of land and premises known and described as:

   Lot 4 District Lot 398 Group 1 New Westminster District Plan 8380

   and outlined in heavy black line on Map No. 1803 a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-2 (Medium Density Apartment Residential).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

   READ a first time the 9th day of July, 2019.

   READ a second time the 14th day of April, 2020.

   PUBLIC HEARING held the 19th day of May, 2020.

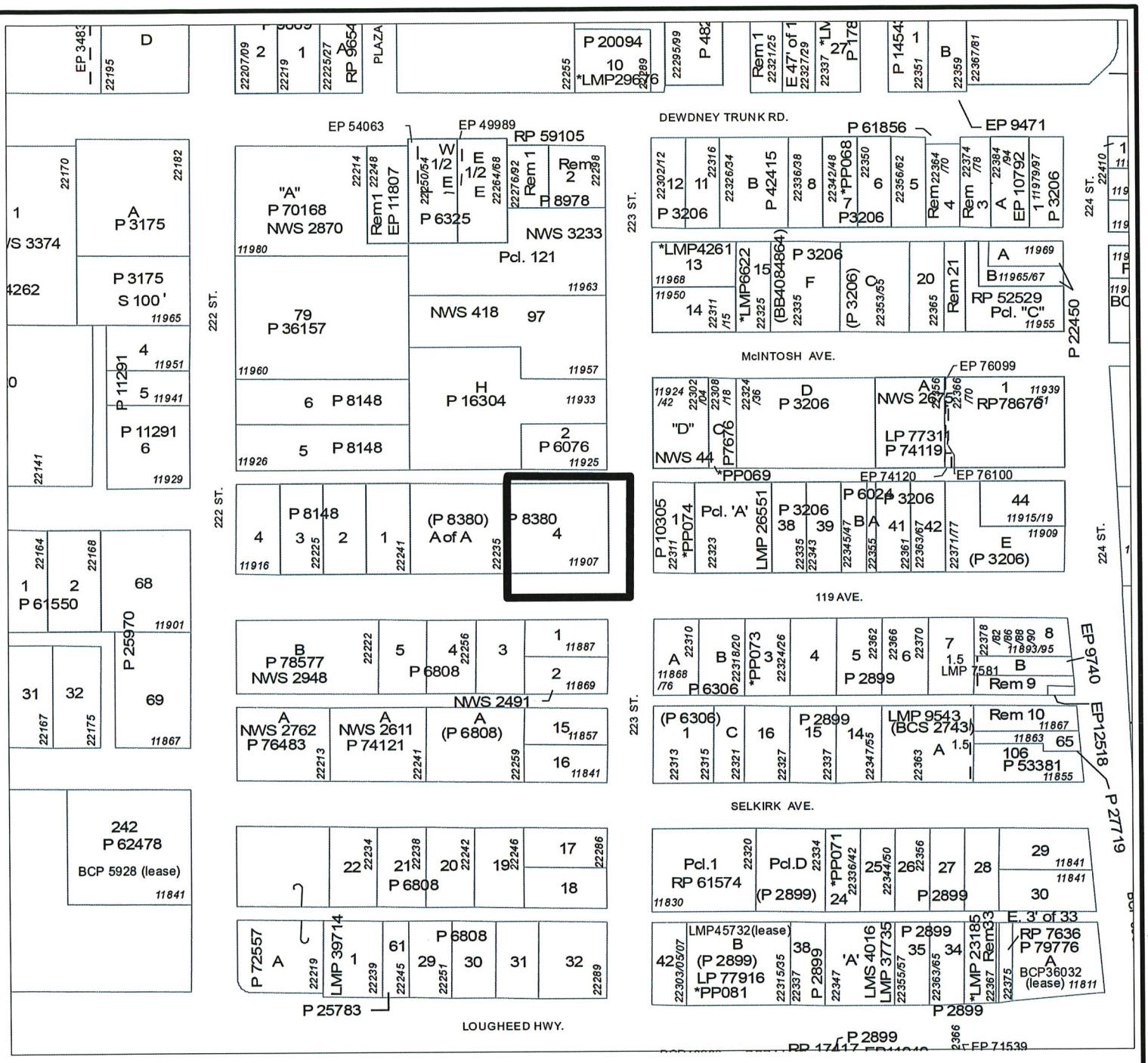
   READ a third time the 26th day of May, 2020.

   APPROVED by the Ministry of Transportation and Infrastructure the 21th day of April, 2021.

   ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7563-2019

Map No. 1803

From: RM-3 (High Density Apartment Residential District)

To: RM-2 (Medium Density Apartment Residential District)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500

Exterior Dimension are shown to face of concrete, face of exterior sheathing.
Interior dimensions are shown to face of stud.
Interior Shear walls are dimensioned to face of stud.
Dimensions are shown to Centre of columns or face of columns.

Zoning Information

Property:

Civic Address:	11907 - 223rd Street, Maple Ridge BC	
PID:	011-308-681	
Legal Description:	Lot 4, DL 398, NWD, Plan NWP8380	
Existing Zoning:	RM-3 (High Density Apartment Residential District)	
Proposed Zoning:	RM-2 (Medium Density Apartment Residential District)	
OCP:	APTL 111.2 sq.m	Including area along the south side of lane & the west side of 223rd
Easement:	No	
Covenant Area:	No	
Environmental Dedication:	No	
Gross Lot Area	1748.9 sq m	18,825.1 sq ft
Net Lot Area (after lane dedication)	1707.9 sq m	18,383.2 sq ft

Zoning Information for RM-2 (Medium Density Apartment Residential District)

	Required:	Provided:
Lot Width:	30m	44m
Lot Depth:	N/A	40m
Lot Area:	1,300 m2	1707.9 sq m
Max. Dwelling Height:	15m nor 4 storeys	See list of Variances
Max. Accessory Height:	N/A	

	Required:	Provided:
Siting:		
Front Setback:	= 7.5 m	4.0m along 223rd
Rear Setback:	= 7.5 m	4.0m along the west side 4.0m along 119th and 3.250m along the North
Exterior Side Yard Setback:	= 7.5 m	
Interior Side Yard Setback:	= 7.5 m	N/A
Common Activity Area:	1 m2 / Dwelling Unit	51 m2
Usable Open Space:	20% Lot area	34.3%

Maple Ridge Town Centre Parking Standards	Stalls per Unit:	Required:	Provided:
6 Studio Suites	1	6	
11 One Bedroom Suites	1.1 Stalls	12.1 Stalls	
40 Two Bedroom Suites	1.2 Stalls	48.0 Stalls	
	Total:	67 Stalls	59 Stalls
Pay in lieu $8000 per stall	8 stalls	$8,000	$ 64,000
Visitor Component (included in total) : 0.10 spaces/unit – where on-street supply available.	0.1	5.7 Stalls	6 Stalls
Handicap Accessible Parking =	1/75	1 Stall	1 Stall
Small Parking Stalls Allowed =	10%	6.7 Stalls	4 Stalls
Long Term Bike Parking	1 per 4 units	14.3 Stalls	15 Stalls
Short Term Bike Parking	6 per 20 units	17.1 Stalls	18 Stalls

Density Calculation	Permitted:	Provided:	
FSR in RM2 (1.8 x Site Area) =	3074.1 sq m	3838.5 sq m	41,317.1 sq ft
Density Bonusing Requested =		764.4 sq m	8,227.5 sq ft
Total FSR Requested		2.25 FSR	

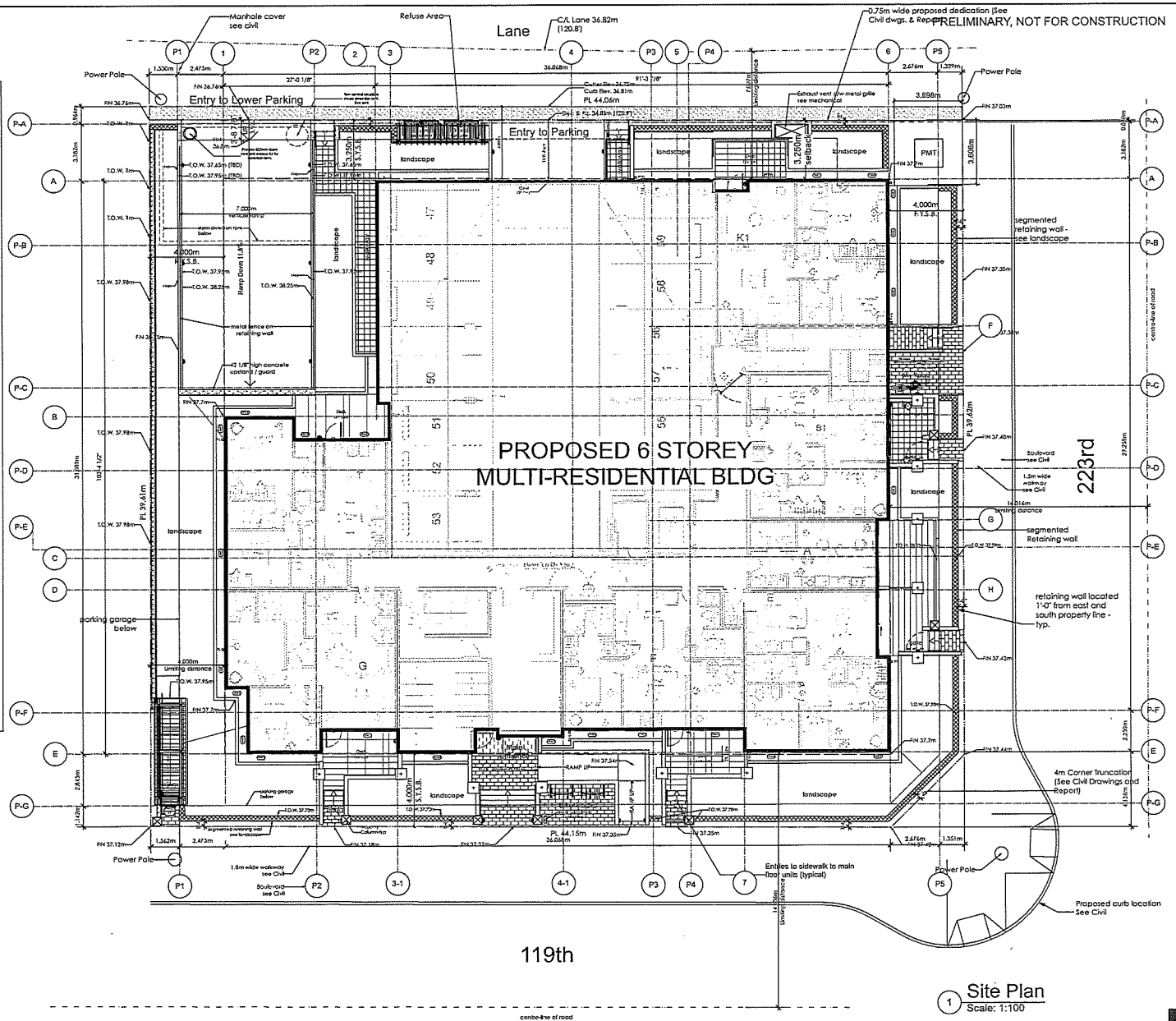
Floor Area (As defined by Zoning Bylaw for FSR Calculation)

Floor 1	453.6 sq m	Plan-Floor1
Floor 2	673.4 sq m	Plan-Floor2
Floor 3	677.9 sq m	Plan-Floor3
Floor 4	677.9 sq m	Plan-Floor4
Floor 5	677.9 sq m	Plan-Floor5
Floor 6	677.9 sq m	Plan-Floor6
Total FSR	3838.5 sq m	
Estimated Bonus Density Contribution psf beyond 1.8 FSR		515 psf $123,412

	Permitted:	Provided:
Lot Coverage	N/A	993.1 sq m 58.1%

Number of Dwelling Units

Studio Suite	6 units
1 Bedroom	11 units
2 Bedroom	40 units
Total	57 units



1 Site Plan
Scale: 1:100

BUILDING SPRINKLERED TO NFPA 13

PRELIMINARY, NOT FOR CONSTRUCTION

ISSUED:	DATE:
Strata, Prelim Columns	2019-10-10
Issued to Planning Dept.	2019-10-15
Issued for Coordination	2019-10-24
Issued to Geotech	2019-10-25
Issued to Civil	2019-10-31
Issued for coordination	2019-11-29
Issued for Pricing	2019-12-05
REVISED:	DATE:

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Further to ARBC Bylaw 2833, all plans, sketches, drawings and specifications prepared by the architect are and at all times remain the exclusive property of the architect and cannot be used without the architect's consent. Wayne Bissky, Planning, and Interior Design and shared with

CITY OF MAPLE RIDGE

BYLAW NO. 7813-2021

A bylaw to establish the five year financial plan for the years 2022 through 2026

WHEREAS the public will have the opportunity to provide comments or suggestions with respect to the financial plan;

AND WHEREAS Council deems this to be a process of public consultation under Section 166 of the Community Charter;

NOW THEREFORE, the Council for the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge 2022-2026 Financial Plan Bylaw No. 7813-2021".

2. Statement 1 attached to and forming part of this bylaw is hereby declared to be the Consolidated Financial Plan of the City of Maple Ridge for the years 2022 through 2026.

3. Statement 2 attached to and forming part of the bylaw is hereby declared to be the Revenue and Property Tax Policy Disclosure for the City of Maple Ridge.

4. Statement 3 attached to and forming part of the bylaw is hereby declared to be the Capital Expenditure Disclosure for the City of Maple Ridge.

READ a first time the 7th day of December, 2021.

READ a second time the 7th day of December, 2021.

READ a third time the 7th day of December, 2021.

PUBLIC CONSULTATION completed on the 7th day of December, 2021.

ADOPTED the day of , 2021.

_____ _____

PRESIDING MEMBER CORPORATE OFFICER

ATTACHMENT: Statement 1, Statement 2 and Statement 3

Statement 1

Consolidated Financial Plan 2022-2026 ($ in thousands)

	2022	2023	2024	2025	2026
REVENUES					
Revenues					
Development Fees					
Developer Contributed Assets	20,000	20,000	20,000	20,000	20,000
Developer Cost Charges	11,576	8,250	11,741	26,028	7,441
Developer Projects & Amenity Contributio	-	-	150	-	-
Parkland Acquisition	200	200	200	200	200
Contribution from Others	1,345	1,343	1,351	1,356	1,363
Development Fees Total	33,121	29,793	33,442	47,584	29,004
Property Taxes	101,745	107,997	113,833	119,702	125,702
Parcel Charges	3,601	3,716	3,835	3,958	4,085
Fees & Charges	52,646	55,476	58,523	61,818	65,378
Interest	2,443	2,458	2,473	2,488	2,501
Grants	5,017	6,048	6,052	37,518	4,918
Total Revenues	198,573	205,488	218,158	273,068	231,588
EXPENDITURES					
Operating Expenditures					
Debt & Interest Payments	1,738	1,578	2,332	2,154	1,947
Amortization	24,037	24,037	24,037	24,037	24,037
Other Expenditures	135,009	141,389	148,172	155,766	165,573
Total Expenditures	160,784	167,004	174,541	181,957	191,557
ANNUAL SURPLUS	**37,790**	**38,484**	**43,618**	**91,111**	**40,031**
Add Back: Amortization Expense (Surplus)	24,037	24,037	24,037	24,037	24,037
Less: Capital Expenditures	41,738	34,415	40,632	83,009	29,374
Less: Developer Contributed Capital	20,000	20,000	20,000	20,000	20,000
CHANGE IN FINANCIAL POSITION	**89**	**8,106**	**7,023**	**12,139**	**14,694**
OTHER REVENUES					
Add: Borrowing Proceeds	-	-	-	-	-
OTHER EXPENDITURES					
Less: Principal Payments on Debt	4,055	4,174	4,978	5,128	5,282
TOTAL REVENUES LESS EXPENSES	**(3,967)**	**3,932**	**2,045**	**7,011**	**9,412**
INTERNAL TRANSFERS					
Transfer From Reserve Funds					
Capital Works Reserve	250	250	250	250	250
Equipment Replacement Reserve	2,194	3,725	3,024	2,265	1,460
Fire Department Capital Reserve	355	254	313	322	-
Total Transfer From Reserve Funds	2,799	4,229	3,587	2,837	1,710
Less :Transfer To Reserve Funds					
Capital Works Reserve	986	1,507	1,050	1,683	1,335
Equipment Replacement Reserve	3,381	3,529	3,729	3,887	4,054
Fire Department Capital Reserve	1,346	1,511	1,635	1,745	1,914
Land Reserve	5	5	5	5	5
Total Transfer To Reserve Funds	5,718	6,552	6,419	7,320	7,308
Transfer From (To) Own Reserves	2,600	2,378	264	(1,099)	(2,099)
Transfer From (To) Surplus	4,286	(3,987)	524	(1,429)	(1,715)
Transfer From (To) Surplus & Own Reserves	6,886	(1,609)	788	(2,528)	(3,814)
TOTAL INTERNAL TRANSFERS	**3,967**	**(3,932)**	**(2,045)**	**(7,011)**	**(9,412)**
BALANCED BUDGET	**-**	**-**	**-**	**-**	**-**

Statement 2

Revenue and Property Tax Policy Disclosure

REVENUE DISCLOSURE

Revenue Proportions	2022		2023		2024		2025		2026	
	$ ('000s)	%	$ ('000s)	%	$ ('000s)	%	$ ('000s)	%	$ ('000s)	%
Revenues										
Property Taxes	101,745	51.2	107,997	52.6	113,833	52.2	119,702	43.8	125,702	54.3
Parcel Charges	3,601	1.8	3,716	1.8	3,835	1.8	3,958	1.4	4,085	1.8
Fees & Charges	52,646	26.5	55,476	27.0	58,523	26.8	61,818	22.6	65,378	28.2
Borrowing Proceeds	-	-	-	-	-	-	-	-	-	-
Other Sources	40,581	20.4	38,299	18.6	41,967	19.2	87,590	32.1	36,423	15.7
Total Revenues	198,573	100	205,488	100	218,158	100	273,068	100	231,588	100
Other Sources include:										
Development Fees Total	33,121	16.7	29,793	14.5	33,442	15.3	47,584	17.4	29,004	12.5
Interest	2,443	1.2	2,458	1.2	2,473	1.1	2,488	0.9	2,501	1.1
Grants (Other Govts)	5,017	2.5	6,048	2.9	6,052	2.8	37,518	13.7	4,918	2.1
Property Sales	-	-	-	-	-	-	-	-	-	-
	40,581	20.4	38,299	18.6	41,967	19.2	87,590	32.1	36,423	15.7

OBJECTIVES & POLICIES

Property Tax Revenue

Property tax revenue is the City's primary revenue source, and one which is heavily reliant on the residential class. Diversification of the tax base and generation of non-tax revenue are ongoing objectives, outlined in Financial Sustainability Policy 5.52 section 6.

Additional information on tax increases and the cost drivers can be found in the most recent Financial Overview Report. The RCMP Contract cost increase, due to unionization, is driving a further property tax increase of 1.6% phased in over two years bringing the 3.6% anticipated property tax increase to 4.4% for 2022 and 2023.

Property tax revenue includes property taxes as well as grants in lieu of property taxes.

Parcel Charges

Parcel charges are comprised of a recycling charge, a sewer charge and on some properties, a local area service or improvement charge. Parcel charges are a useful tool to charge all or a subset of properties for a fixed or variable amount to support services. Unlike property taxation the variable amount does not need to be related to property assessment value, but can be something that more accurately reflects the cost of the service.

Statement 2

Revenue and Property Tax Policy Disclosure

Fees & Charges

Fees should be reviewed annually and updated if needed. In 2022, a consolidated fees and charges bylaw will be brought to Council for consideration. Some fees are used to offset the costs of providing specific services. The utility fees are reviewed annually with a view towards using rate stabilization practices to smooth out large fluctuations in rates, as set out in the Business Planning Guidelines.

Borrowing Proceeds

Debt is used when it makes sense, and with caution as it commits future cash flows to debt payments, restricting the ability to use these funds to provide other services. The source of the debt payments needs to be considered as does the justification for advancing the project. More information on previously approved borrowing can be found in the most recent Financial Plan Overview report.

Other Sources

This will vary greatly year to year as it includes:

- Development fees which fund capital projects from the DCC Reserve
- Contribution from others in relation to capital
- Grants which are sought from various agencies and may be leveraged with City funds

PROPERTY TAX DISCLOSURE

The 2022 property tax revenue and updated rates will be included in a Financial Plan Amending Bylaw that precedes the Property Tax Rate Bylaw, as the 2022 property assessed values are not yet finalized. For information purposes the 2021 distribution is included.

Property Tax Revenue Distribution

Property Class	Taxation Revenue ('000s)		Assessed Value ('000s)		Tax Rate ($/1000)	Multiple (Rate/Res.Rate)
1 Residential	73,729	78.9%	23,879,015	91.0%	3.0876	1.0
2 Utility	794	0.9%	19,858	0.1%	40.0001	13.0
4 Major Industry	-	0.0%	-	0.0%	16.1872	5.2
5 Light Industry	4,384	4.7%	541,668	2.1%	8.0936	2.6
6 Business/Other	14,389	15.4%	1,777,838	6.8%	8.0936	2.6
8 Rec./ Non-Profit	56	0.1%	5,028	0.0%	11.1597	3.6
9 Farm	87	0.1%	4,685	0.0%	18.4672	6.0
Total	93,439	100%	26,228,092	100%		

Statement 2

Revenue and Property Tax Policy Disclosure

PROPERTY TAX DISCLOSURE

Objectives & Policies

Property taxes are the City's largest source of revenue and are contained by efficient business practices. Annual business planning practices are the mechanism for resource allocation decisions.

The City's Financial Sustainability Policy section 6 discusses the necessity of diversifying the tax base. Development of employment-related properties is one method of diversification; therefore a key performance measurement in Strategic Economic Initiatives tracks the increased investment and development of non-residential properties.

A policy in the Financial Sustainability Plan that calls for stable tax increases and the adoption of the annual increase early in the prior year in the Business Planning Guidelines provides citizens with a more stable and predictable set of cost increases. In some cases costs are phased in over multiple years to stay within the set tax increases.

Property Tax Rates

It is policy to adjust property tax rates annually to negate the impact of fluctuations in the market values of properties. Tax rates are reduced to negate the market increases. Property tax increases are then applied at the same relative increase for all classes, unless legislation restricts the rates, as with Class 2, Utility.

The Business Class and Light Industry Class properties have the same tax rate and are treated as a composite class when setting the tax rates, as the types of businesses in each class are similar.

In reviewing tax rates to ensure competitiveness, absolute rates, tax multiples and overall tax burden are considered. The impact that assessed values have when comparing to other geographical areas must be considered in a comparison of tax rates.

In 2019 a review of the Farm Class properties revealed that the rates are relatively high compared to other municipalities. Reductions in the Farm Class rate was phased in over the next two years effectively decreasing the amount that would otherwise have been collected by half.

Permissive Tax Exemptions

Council has set policies around the use of permissive tax exemptions. These are Council Policies 5.19 through 5.24. These policies discuss Churches, Community Halls, Heritage Sites, Homes for the Care of Children and the Relief of the Aged, the Poor, the Disabled and the Infirm, Municipal Recreational Services, Private Hospitals and Daycares, Private School and Youth Recreation Groups.

Statement 3

Capital Expenditure Disclosure

The sole purpose of this statement is to meet legislative requirements and highlight the value of the Development Cost Charges; no other conclusions should be drawn from the figures as the information could be misconstrued. This disclosure is required under the Local Government Act s. 560 (2); capital costs attributable to projects to be partially funded by Development Cost Charges (DCC) must be included in the financial plan. The DCC program includes projects as far out as 2041 so the capital expenditures must be extended to match. Certain types of projects are not planned past the five year time horizon of the financial plan. Much less scrutiny is given to projects that are planned in years 2027 through 2041. Projects in these years typically exceed likely funding available.

Capital Program for 2027 – 2041

($ in thousands)

Capital Works Program	**343,086**
Source of Funding	
Development Fees	
Development Cost Charges	157,953
Parkland Acquisition Reserve	-
Contribution from Others	1,259
	159,212
Borrowing Proceeds	-
Grants	28,355
Transfer from Reserve Funds	20,621
Revenue Funds	134,897
	183,874
	343,086

1100 *Reports and Recommendations*

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2019-032-CP
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First Reading**
Official Community Plan Amending Bylaw No. 7781-2021
Lougheed Transit Corridor Area Plan and Development Permit Guidelines

EXECUTIVE SUMMARY:

Council endorsed the Lougheed Transit Corridor Concept Plan on November 10, 2020, with the following Council resolution:

> *That the Lougheed Transit Corridor Concept Plan, as presented in the November 10, 2020 report, as Appendix A, be endorsed.*

Over the past year, the endorsed concept plan has provided guidance to in-stream development applications and development inquiries. The purpose of this report is to introduce Official Community Plan Amending Bylaw No. 7781-2021, which includes three modified sections in the Official Community Plan (OCP):

- Chapter 10 will be expanded to include the Lougheed Transit Corridor Area Plan (LTCAP);
- Chapter 8 will be expanded to include the Lougheed Transit Corridor Development Permit Guidelines; and
- Chapter 6 will be updated to reflect the Commercial land use implications.

It is recommended that first reading be granted to OCP Amending Bylaw No. 7781-2021. Following first reading, the Lougheed Transit Corridor Area Plan and Development Permit Guidelines will be circulated to external stakeholders for referral comments.

In response to both the proposed future addition of Light Rapid Transit, or Bus Rapid Transit, included in TransLink's draft *Transport 2050* plan and the anticipated identification of the Lougheed Transit Corridor as a Frequent Transit Development Area in the forthcoming Regional Growth Strategy it is also recommended that Council direct staff to work in partnership with the Ministry of Transportation and Infrastructure, TransLink, and the City of Pitt Meadows to undertake a Lougheed Highway study that will determine the ultimate road design and road width to accommodate a new dedicated transit lane.

RECOMMENDATIONS:

1. **That in respect of Section 475 of the Local Government Act, requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:**

    i. **The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;**
    ii. **The Board of any Regional District that is adjacent to the area covered by the plan;**
    iii. **The Council of any municipality that is adjacent to the area covered by the plan;**

iv. First Nations;
v. Boards of Education, Greater Boards and Improvement District Boards, and
vi. The Provincial and Federal Governments and their agencies; and

In that regard it is recommended that additional consultation be required in respect to this matter, as outlined in Section 6 'Next Steps' of the staff report titled "Lougheed Transit Corridor Area Plan and Development Permit Guidelines", dated December 7, 2021; and early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment;

2. That Official Community Plan Amending Bylaw No. 7781-2021 be given first reading;

3. That staff work in partnership with the Ministry of Transportation and Infrastructure, TransLink, and the City of Pitt Meadows to undertake a Lougheed Highway study that will determine the ultimate road design and road width to accommodate a dedicated transit lane; and further

4. That staff proceed with a land use review of properties adjacent to the Lougheed Transit Corridor Area Plan to ensure appropriate transitional land uses.

1.0 CONTEXT:

The Lougheed Transit Corridor Study was initiated in September 2018 with an aim to review existing Official Community Plan (OCP) designations and policies for this area and create a more detailed land use plan to guide future development. The timing of this study coincided with the TransLink announcement that a new rapid bus (R3) service would commence along Lougheed in the near future. The R3 bus route commenced in January 2020.

A draft Lougheed Transit Corridor Concept Plan was presented at the December 3, 2019 Workshop meeting, wherein Council provided feedback. Following a final open house event in September 2010, Council endorsed the concept plan on November 10, 2020 with the following resolution:

> *That the Lougheed Transit Corridor Concept Plan, as presented in the November 10, 2020 report, as Appendix A, be endorsed.*

The endorsement of the concept plan completed the land use planning study. The Lougheed Transit Corridor Concept Plan is currently providing guidance on the desired development form and land use in the area. There are currently nine in-stream development applications in the Area Plan, with a total of 677 proposed new residential units. The next step, which is to formalize the concept plan into an OCP area plan, is the subject of this report.

Over the course of the area planning process, an update to the City's Strategic Transportation Plan began. Preliminary findings from the Strategic Transportation Plan update indicate that while 68% of trips are within Maple Ridge, a large portion of all trips (30%) are leaving to locations west of the city, requiring travel through west Maple Ridge. Data also suggests that congestion is increasing, with more car trips and limited travel occurring with active modes relative to other municipalities in the region. The update of the Strategic Transportation Plan, coupled with TransLink's preparation of *Transport 2050* have each highlighted the need for more analysis on the future for Lougheed Highway. Further study of Lougheed Highway is intended to support development along the corridor and would provide guidance on required road dedication for all modes of transportation.

2.0 DISCUSSION:

2.1 Lougheed Transit Corridor Area Plan Overview

The Lougheed Transit Corridor Area Plan (LTCAP) is a long-term planning document that will help guide urban form, investment and changes to infrastructure within the major transportation corridor of west Maple Ridge over the next thirty years. The plan reimagines Lougheed Highway's suburban landscape as a reinvigorated area anchored by two nodes centered on rapid transit stations – at Laity Street and at 203 Street along Lougheed Highway.

Key aspects of the Area Plan include:

- Introduction of mixed-use buildings at transit nodes;
- Land allocation for employment uses, such as light industrial, business park, warehousing and distribution to boost local job space;
- Focus on multi-storey buildings, with minimums of two or four storeys depending on land use;
- Improved connectivity, safety and amenities for transit users, pedestrians and cyclists;
- Central greenway to offer 'All Ages and Abilities' facilities; and
- New park spaces.

Several housing forms are encouraged through the Area Plan to provide a variety of choice for residents. An increase in residential density is being introduced into this area to help build ridership for the R3 Rapid Bus route and also to help create a local customer base for the "Complete Street" retail/service units. Six guiding principles were developed from the input received through the public consultation process and have set the foundation for creating the area plan. The guiding principles are:

1. Rapid transit stops are mixed-used employment hubs;
2. Mobility choice is enhanced;
3. New built environment is designed at a human scale;
4. Neighbourhoods are safe, diverse and inclusive;
5. Housing for the needs of the many; and
6. Green spaces connect people and nature.

2.2 Lougheed Transit Corridor Land Use Designations

The Area Plan land uses support the introduction of mixed-use development in the Area Plan and a broad range of employment uses. The Lougheed Transit Corridor Area Plan creates five new land use designations that are unique to the Area Plan, as follows:

- Local Residential Infill;
- Intensive Attached Residential Infill;
- Transit Corridor Multi-Family;
- Commercial Mixed-Use; and
- Flexible Employment.

Since Council's endorsement of the concept plan in November 2020, some land use designation changes have been made to the final land use map contained in the area plan and the locations are shown in Figure 1 below. The nature of the changes is generally from a moderate density of duplexes, triplexes, and rowhomes (*Intensive Attached Residential*) to more intensive residential forms of townhouses, fourplexes and apartments (*Transit Corridor Multi-Family*) in specific locations along Major Corridors and the Off-Lougheed Greenway, which will help minimize the number of driveway access points along cycling routes (location 3, 4 and 6 in Figure 1 and Table 1).

These designation changes also include some mapping errors (location 2 and 5 in Figure 1 and Table 1) for existing *Institutional* land uses, and from *Flexible Employment* to *Commercial Mixed-Use* at the western gateway to support more interactive land uses at this location (location 1 in Figure 1 and Table 1). It is noted that the land use change at location 1 to *Commercial Mixed-Use* is based on pre-application discussions with a developer that includes commercial at-grade, office use above and four storeys of multi-family residential use. A rezoning application is expected in the coming months.

Figure 1: Proposed Land Use Changes Following Endorsed Concept Plan

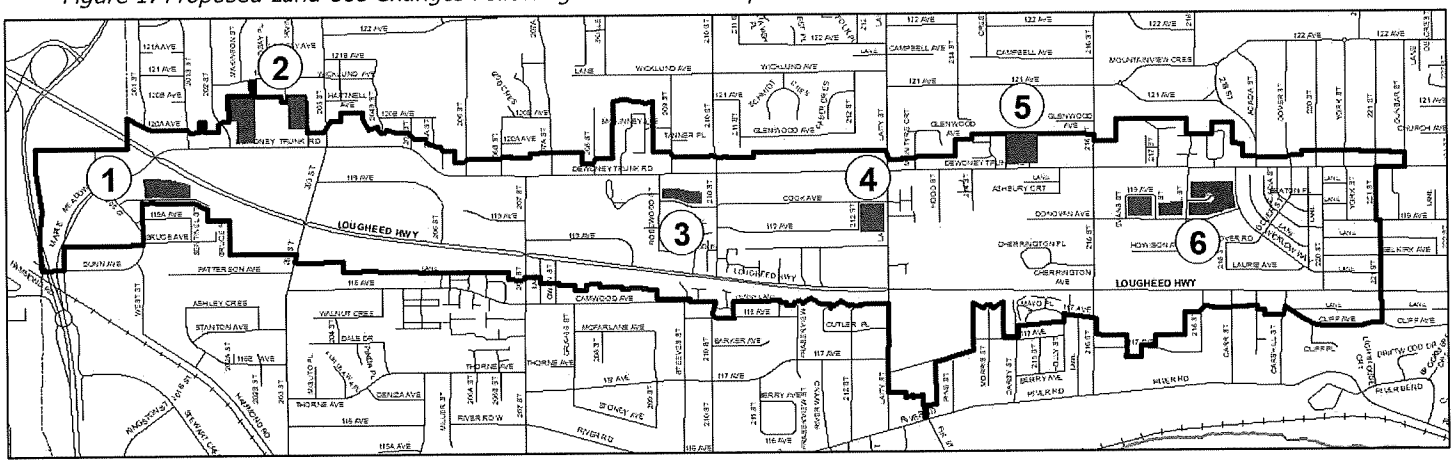


Table 1: Proposed Land Use Changes Identified in Figure 1 Above

Land Use Shown in Endorsed Concept Plan	Proposed Land Use for Area Plan
1. Flexible Employment	Commercial Mixed-Use
2 Transit Corridor Multi- Family	Institutional
3 Local Residential Infill	Transit Corridor Multi-Family
4 Intensive Attached Residential Infill	Transit Corridor Multi-Family
5 Institutional	Transit Corridor Multi-Family, Institutional
6 Local Residential Infill	Transit Corridor Multi-Family

2.2.1 2021-341-RZ, 22100 Lougheed Highway (south block):

Application 2021-341-RZ is for a six-storey apartment building in the south-west corner of the Town Centre Area Plan. Lands directly south of the project on Cliff Avenue are designated *Single-Family Residential*. Recently, Council has commented about the impact of the proposed apartment form and density in regards to an in-stream rezoning application adjacent to the Lougheed Transit Corridor Area.

It is proposed that a review of the *Single-Family Residential* designation for properties in the Town Centre that abut the Lougheed Transit Corridor Plan (see Appendix B), be undertaken to look at allowing a higher form of density, such as townhouse or apartment use, that better aligns with the adjacent uses shown in the Lougheed Transit Corridor Area Plan. Staff recommend that a review of the lands identified in Appendix B be undertaken, under recommendation number four of this report.

Alternatively, staff could be directed to prepare an OCP amending bylaw for first reading to re-designate the *Single-Family Residential* land use to *Ground-Oriented Multi-Family* or *Low-Rise Apartment*, without any further analysis or consultation.

2.3 Lougheed Transit Corridor Objectives and Policies

Objectives for each guiding principle were developed to help determine how the area will evolve over time and to inform the creation of land use designations for the area plan (see Appendix A, Schedule 2, page 195). Each objective has a number of supporting policies identified. The area plan objectives and policies are organized into three topic areas:

- land use;
- transportation and connectivity; and
- public realm.

The land use policies are intended to shape and transform the area with higher density residential and employment uses throughout the Lougheed Transit Corridor. A hierarchy of building forms is outlined, with policies to indicate appropriate lot size, density, setbacks, and land use mix dependent on the proximity to a transit station, road classification, and interface with lands beyond the area plan. The implementation of these policies will ensure an urban form of redevelopment, which creates compact communities. The land use policies reflect the appropriateness of rental and affordable housing units in proximity to transit as a consideration in equity planning.

The transportation, connectivity and green space policies address the multi-modal transportation considerations in the area plan. These policies speak to creating a linear greenway, which will be designed as an 'All Ages and Abilities' route connecting to downtown Maple Ridge as well as north-south bike routes. Policies also include parking, transportation demand management, supporting increased transit use and safe routes for walking and cycling.

Public realm policies provide a framework for creating inviting and vibrant spaces for people, through architecture, road design, culture and park amenities.

2.4 Lougheed Transit Corridor Area Plan Maps

The Lougheed Transit Corridor Area Plan contains three new maps to support the written policies (see Appendix A, Schedule 2, page 221):

- Land Use Map: Identifying the locations of land uses that are specific to the area plan.
- Off-Lougheed Greenway, Parks & Open Space Map: Focuses on the east-west greenway road alignment with park and conservation land locations.
- Road Pattern & Connectivity Map: Shows locations of desired new road connections, pedestrian walkways and laneways.

2.5 Lougheed Transit Corridor Development Permit Guidelines

As part of the preparation of an area plan, Development Permit Guidelines have also been created for the Lougheed Transit Corridor to shape the form and character of new development. The Development Permit Guidelines are organized into sections to address each residential and commercial land use, and provide guidance on design considerations such as building design, signage and lighting, as well as access and parking. The Development Permit Guidelines support the creation of vibrant, urban spaces integrated with rapid transit service. The use of diagrams and photos provide examples of desired development.

2.6 OCP Amendments:

The Lougheed Transit Corridor Area Plan and the Lougheed Transit Corridor Development Permit Area Guidelines will form two new sections in the OCP (see Appendix A). Additionally, two changes are required in Chapter 6 Employment. As the transit nodes identified in the Area Plan will become focal locations for jobs, services, and retail, they will replace the existing Community Commercial Node located at 216 Street and Dewdney Trunk. Additionally, commercial land in the Area Plan will no longer be identified as *General Commercial*, and will follow new commercial Area Plan policies. These changes require revisions to policies 6-23 and 6-27, and are included in Appendix A. It is noted that the Area Plan's identification of higher residential opportunities will in turn support greater demand for retail, service and employment uses, resulting in the creation of more complete communities.

3.0 STRATEGIC ALIGNMENT:

Implementing strategic plans related to local infrastructure and the economy, including area plans, is a Council priority as established under its Growth pillar of the 2019-2022 City of Maple Ridge Strategic Plan.

4.0 INTERGOVERNMENTAL IMPLICATIONS:

Since the kick-off of the Lougheed Transit Corridor Study in 2018, significant progress has been made at the regional level through Metro Vancouver's Regional Growth Strategy update (*Metro 2050)* and TransLink's *Transport 2050* work. Both of these documents have implications for local government planning, including regional growth policy, long term transit investment planning, and addressing climate change. Additionally, the COVID-19 pandemic and local real-estate conditions have accelerated trends in consumer choice and lifestyle more generally.

4.1 Metro Vancouver Implications:

Maple Ridge's land use planning work in the Lougheed Corridor has been informed by a regional study of the segment of Lougheed Highway, from Coquitlam Central Station to Maple Ridge's Town Centre, undertaken by Metro Vancouver in 2018. This transit corridor study provided baseline research and identified a number of metrics that will be tracked and reported over time to better understand the impact of transit-oriented community policies.

Metro Vancouver recently completed a draft of the updated Regional Growth Strategy, *Metro 2050*, which is intended to be presented to the regional board in 2022. An important part of the growth network of regional urban centres, outlined in *Metro 2050*, is Frequent Transit Development Area (FTDAs). The draft Metro 2050 RGS states:

> *"FTDAs are intended to be additional priority locations to accommodate concentrated growth in higher density forms of development. They are identified by member jurisdictions and located at appropriate locations within the Major Transit Growth corridors. FTDAs complement the network of Urban Centres, and are characterized by higher density forms of residential, commercial, and mixed uses, and may contain community, cultural and institutional uses."*

The Lougheed Transit Corridor Area Plan meets the criteria to be considered as a FTDA. It is proposed that Maple Ridge pursue the identification of an FTDA area in the Lougheed Transit Corridor Area Plan (through preparation of a Regional Context Statement, as required by the *Local Government Act*), following adoption and acceptance of the revised Regional Growth Strategy, anticipated next year.

Identification of a FTDA area will signal Maple Ridge's desire for frequent, fast, and reliable transit along Lougheed Highway, and support for transit-oriented development that includes employment and residential densification. As transit ridership grows in the area, greater transit investment for improved service will be warranted.

4.2 Transport 2050:

TransLink is in the process of preparing the Regional Transportation Strategy, *Transport 2050,* which is anticipated to be brought to the TransLink Board and Mayor's Council in early 2022 for adoption. *Transport 2050* will contain a Major Roads Network and a Regional Cycling Network that tie into Lougheed Highway land use planning. A new road classification – Major Transit Growth Corridor – will be introduced in both the *Transport 2050* and *Metro 2050* regional documents. The portion of Lougheed Highway in the Town Centre and west of Maple Ridge Town Centre Area to Coquitlam Central station is identified as a Major Transit Growth Corridor. Major Transit Growth Corridors are locations identified for long term transit investment. In the context of the Lougheed Highway, transit investment could take the form of a rapid transit bus in a dedicated lane, light rail, or another emerging transit form.

The Regional Cycling Network identifies routes that have regional significance to reach key destinations in Metro Vancouver. Lougheed Highway is also identified as part of the Regional Cycling Network and upgrades, through capital projects over the next several years, will complete a multi-use path for the stretch of Lougheed Highway west of the Town Centre. In the future, rapid transit improvements, off-street cycling facilities on each side of Lougheed Highway are envisioned within *Transport 2050*.

TransLink's *Transport 2050* work has identified Lougheed Highway as a Major Transit Growth Corridor from Maple Ridge Town Centre Area to Coquitlam. Major Transit Growth Corridors are identified for future rapid transit investment with a dedicated travel lane separate from vehicular traffic. At this point in time, the corridor classification is the first step of a multi-step process to realize a higher order of transit on Lougheed Highway. The Lougheed Highway is under the Ministry of Transportation and Infrastructure's (MoTI) jurisdiction, therefore, collaboration and communication between the City, TransLink and MoTI will be critical going forward. The impetus for an inter-governmental meeting on the Maple Ridge portion of the Major Transit Growth Corridor is discussed further in Section 5.1 "Transportation" and Section 6 "Next Steps".

5.0 INTERDEPARTMENTAL IMPLICATIONS

Planning Department staff have been working collaboratively with the Engineering and Parks, Recreation & Culture Departments in the preparation of the area planning policies. It is anticipated that these departments will continue to be involved as redevelopment of the Lougheed Transit Corridor area occurs over time. One key area where significant synergies have been identified is in the alignment of the Lougheed Transit Corridor Area Plan and the update to the Strategic Transportation Plan. Additional comments are provided on the upgrades to Engineering servicing in Section 5.1 below.

5.1 Engineering Department:

The Engineering Department has provided the following comments regarding the servicing implications in the Lougheed Transit Corridor.

Water:
Increasing density throughout the Lougheed Transit Corridor will necessitate the replacement of existing small diameter water mains. The most significant driver of the upgrades will be the increased need for peak flows to fight fires.

Sewage:
Increasing densities associated with the area plan will necessitate upgrades to existing sewers. Currently, large older sewers thread the needle between houses and run through somewhat inaccessible areas. In these cases, it will likely be necessary to construct new sewers with sufficient capacity on major roadways such as Lougheed Highway. Another consideration is the very large trunk sewer that skirts the north and west sides of the Urban Area. The capacity of this sewer relative to the increase in population will have to be confirmed. Also, it will be important for the City to make progress on eliminating rainwater connections to the sanitary system, as the ingress of clean water to the sewer system takes up capacity otherwise available for growth. A study of sewer flow monitoring data is currently underway and will demonstrate which areas of the City have higher amounts of rainfall incorrectly entering the sewage system. This information will allow the City to prioritize areas for detecting and correcting instances where rainwater is entering the sewer system.

Drainage:
The Lougheed Transit Corridor study area traverses the South Alouette Watershed and the Kennedy (Pitt Meadows) Drainage Area. The impact of increased development on both areas will have to be examined. The greatest flooding concerns likely relate to McKenney Creek, which carries drainage from most of the area to the South Alouette. The Integrated Stormwater Management Plan has indicated that several culverts along this creek corridor are undersized. A section of McKenney Creek, in the ALR lands south of Abernethy Way, currently overflows its banks during large rain events. Best practice development can mitigate impacts on downstream flows, but major rain events in particular will be a challenge to address. Local and trunk sewers will have to be upsized to accommodate the proposed development. All new infrastructure will have to be sized to accommodate increased rainfall intensities that are predicted to accompany climate change. A significant amount of drainage upgrade work will be required to address current deficiencies and allow for growth. Some of the upgrades, such as lowland channel widening, may require cooperation from agricultural land owners and will likely involve riparian area improvements and improved management of invasive plant species known to clog streams.

The extent of upgrades for water, sewage and drainage can be approximated through studies, and funding needs required to accommodate growth could then be incorporated into the DCC bylaw. The impact this will have on DCC rates can be determined as part of future work.

Transportation:
The Ministry of Transportation and Infrastructure recently committed to undertake a study in 2022 of the Lougheed Highway that will determine the ultimate road design and width to accommodate a dedicated transit lane, in partnership with the City of Maple Ridge, the City of Pitt Meadows and TransLink. Maple Ridge has identified this work in the 2022 Business Plan.

Stemming from the outcome of that work, the remaining developable land south of Lougheed Highway, within the Area Plan boundaries, will require further review to ensure that there is sufficient depth to

construct the density and urban form that the area plan envisions. This analysis is proposed to take place after the Ministry of Transportation and Infrastructure has concluded their study, and may require expanding the area plan boundary.

5.2 Economic Development:

The Economic Development Department is currently preparing a new Economic Development Strategy to encourage and guide commercial and industrial investment in Maple Ridge. A key component of the strategy will focus on supporting the growth of the manufacturing sector in Maple Ridge, which will require the identification of new employment lands for light industrial, business park, technology-enabled manufacturing, and warehousing uses. The Lougheed Transit Corridor is ideally suited for these uses.

6.0 NEXT STEPS

Should Council grant first reading to OCP Amending Bylaw No. 7781-2021, the next step will be to refer the Lougheed Transit Corridor Area Plan to the following agencies and organization for comments:

- Katzie First Nation;
- Kwantlen First Nation;
- City of Pitt Meadows;
- School District 42;
- Metro Vancouver;
- TransLink;
- Ridge Meadows Hospital;
- Fraser Health;
- City Departments
- Committees of Council; and
- Ministry of Transportation & Infrastructure;

Referral comments will be included in the second reading report. Concurrently with the referral process, staff will be working with the Engineering Department, Ministry of Transportation and Infrastructure, and TransLink on planning for future rapid transit upgrades along Lougheed Highway and an update will be included in the second reading report. Following receipt of second reading, the Lougheed Transit Corridor Area Plan, Development Permit Guidelines and supporting OCP amendments will be forwarded to Public Hearing and subsequently consideration of third reading. Upon receipt of final approval, the amendments will be formalized in the OCP and will guide re-development in the area.

As the Lougheed Transit Corridor Area Plan includes higher density opportunities for re-development, it is recommended that land uses adjacent to the area plan boundaries be reviewed. Recommendation number four is included to direct staff to review the land use of properties adjacent to the Lougheed Transit Corridor Area Plan to ensure appropriate transitional land uses are able to be considered.

7.0 CONCLUSION

Following Council endorsement of the Lougheed Transit Corridor Concept Plan on November 10, 2020, this document has provided guidance to in-stream development applications and development inquiries. It is recommended that Council grant first reading to OCP Amending Bylaw 7781-2021. Following first reading, the Lougheed Transit Corridor Area Plan and Development Permit Guidelines be circulated for referral comments.

"Original signed by Amelia Bowden"

Prepared by: **Amelia Bowden, M.Urb, MCIP, RPP**
Planner 2

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM: Public Works & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A: Official Community Plan Amending Bylaw No. 7781-2021
- Schedule 1: Lougheed Transit Corridor: Development Permit Area Guidelines
- Schedule 2: 10.7 Lougheed Transit Corridor Area Plan
- Schedule 3: Figure 2 – Community Commercial Nodes and Historic Commercial Centres
- Schedule 4: Figure 6 – Area Plans
- Schedule 5: Schedule B

Appendix B: Single-Family Residential Properties Adjacent to Lougheed Transit Corridor Study

CITY OF MAPLE RIDGE
BYLAW NO. 7781-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

WHEREAS Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

AND WHEREAS it is deemed expedient to amend Schedules "A" and "B" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7781-2021".

2. Schedule "A", Chapter 6 Employment is hereby amended by deleting policy 6-23 and replacing it with the following:

   6 - 23 General Commercial lands are lands designated Commercial on Schedule B of the Official Community Plan that are located:

   a) on the Lougheed Highway east of the Town Centre;
   b) on Dewdney Trunk Road, east of the Town Centre and west of 230th Street; and
   c) at Lougheed Highway and 116th Avenue.

3. Schedule "A", Chapter 6 Employment is hereby amended by deleting policy 6-27 and replacing it with the following:

   6 - 27 The Community Commercial Nodes are located within the urban area boundary and are identified on Figure 2. The nodes are centred at the following intersections with residential developments interspersed between:

   a) Dewdney Trunk Road and 232nd Street; and
   b) Dewdney Trunk Road and 240th Street.

4. Schedule "A", Chapter 8 Development Permit Area Guidelines is hereby amended by adding "Lougheed Transit Corridor Area Plan" on the title page following the last bullet on the list.

5. Schedule "A", Chapter 8 Development Permit Area Guidelines, Section 8.2 Application and Intent, is hereby amended by adding the following Development Permit Area description and numbering accordingly:

   Lougheed Transit Corridor Development Permit Area Guidelines pursuant to Section 488 of the Local Government Act for property within the Lougheed Transit Corridor, as identified on Schedule B of the Official Community Plan. The Lougheed Transit Corridor Development Permit Area Guidelines applies to Local Residential Infill, Intensive Attached Residential Infill, Transit Corridor Multi-Family, Commercial Mixed-Use, and Flexible Employment land use designations and development.

6. Schedule "A", Chapter 8 Development Permit Area Guidelines is hereby amended by adding the Lougheed Transit Corridor Development Permit Area Guidelines, a copy of which is attached hereto and forms a part of this Bylaw as Schedule 1, at the end of Chapter 8 and before Chapter 9, and accordingly including the appropriate section number.

7. Schedule "A", Chapter 10 Area Planning is hereby amended by adding "Lougheed Transit Corridor Area Plan" on the title page following the last Area Plan on the list.

8. Schedule "A", Chapter 10 Area Planning is hereby amended by adding the Lougheed Transit Corridor Area Plan, a copy of which is attached hereto and forms a part of this bylaw as Schedule 2, Section 10.6, following Section 10.5 Hammond Area Plan.

9. Schedule "A", Figure 2 – Community Commercial Nodes and Historic Commercial Centres is replaced with a new Figure 2, which is attached hereto as Schedule 3 and forms part of this Bylaw.

10. Schedule "A", Figure 6 –Area Plans is hereby replaced with a new Figure 6, which is attached hereto as Schedule 4 and forms part of this Bylaw.

11. Schedule "B" is hereby replaced with a new Schedule B, which is attached hereto as Schedule 5 and forms part of this Bylaw.

12. Maple Ridge Official Community Plan Bylaw No. 7060-2014 is hereby amended accordingly.

READ a first time the day of , 20 .

READ a second time the day of , 20 .

PUBLIC HEARING held the day of , 20 .

READ a third time the day of , 20 .

ADOPTED the day of , 20 .

PRESIDING MEMBER

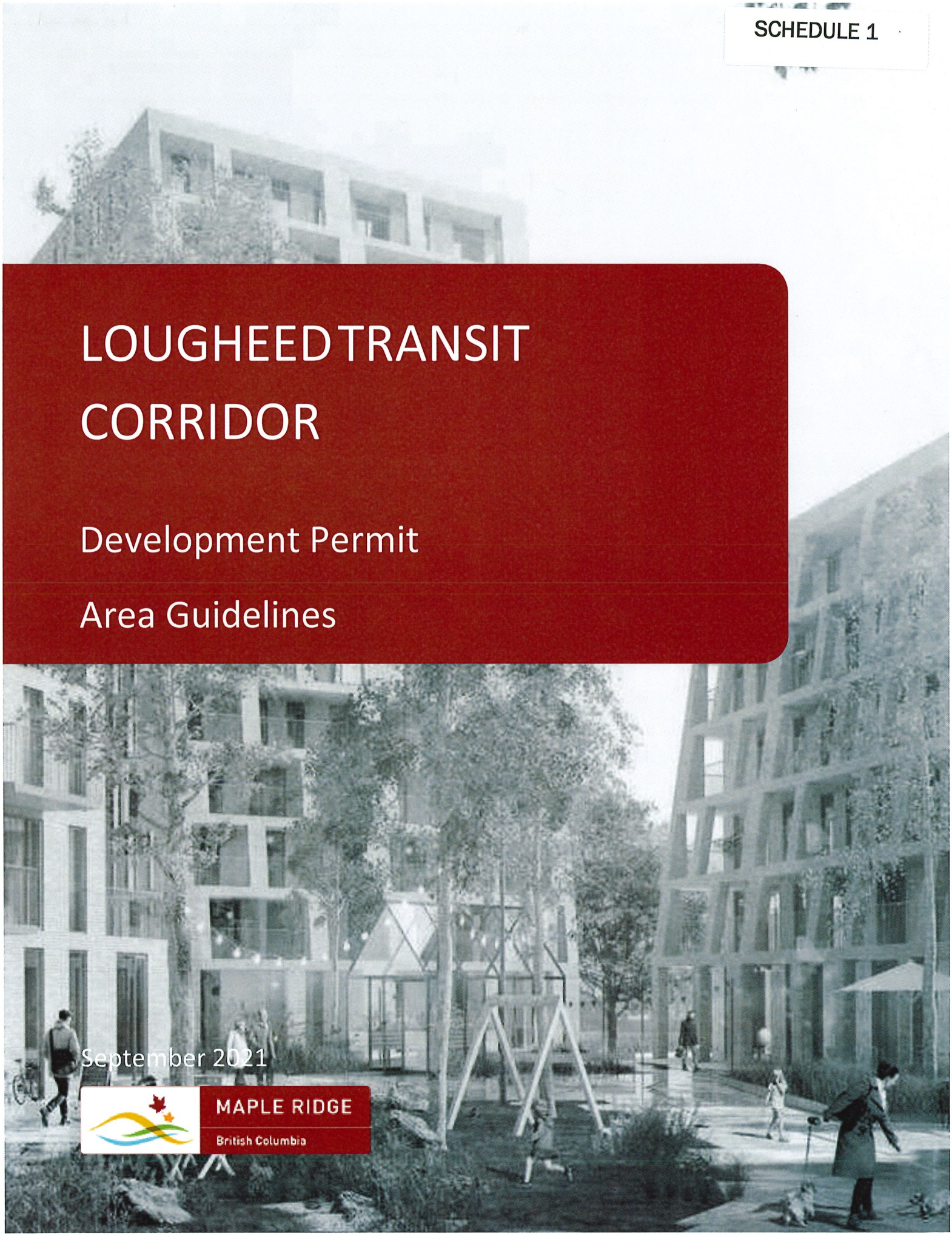
CORPORATE OFFICER

SCHEDULE 1

LOUGHEED TRANSIT CORRIDOR

Development Permit

Area Guidelines



September 2021

MAPLE RIDGE
British Columbia

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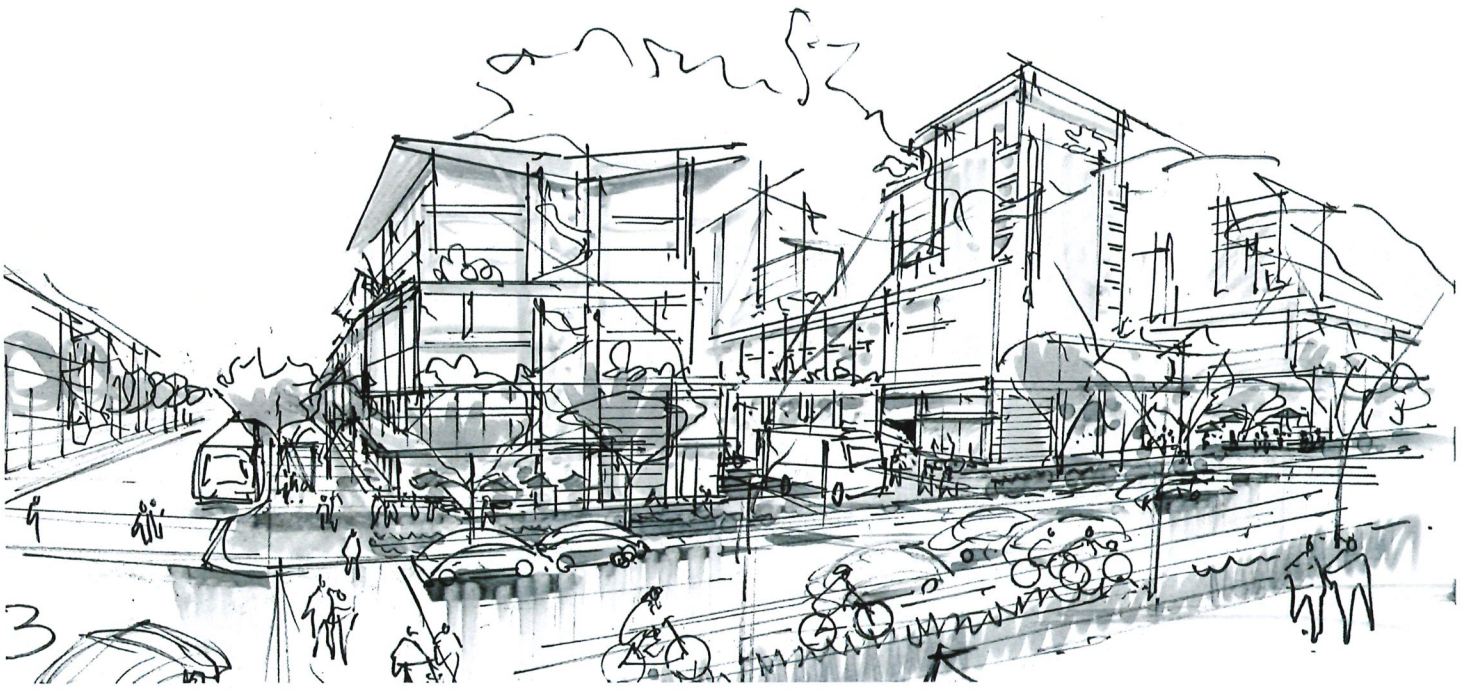
1.
Overview and Purpose



1 Overview and Purpose

The Lougheed Transit Corridor Development Permit Area (DPA) is designated pursuant to Section 44(1) of the Local Government Act, specifically the following sub-sections:

a) protection of the natural environment, its ecosystems and biological diversity;
b) protection of development from hazardous conditions;
c) revitalization of an area in which a commercial use is permitted;
d) establishment of objectives for the forms and character of intensive residential development;
e) establishment of objectives to promote energy conservation;
f) establishment of objectives to promote water conservation;
g) establishment of objectives to promote the reduction of greenhouse gas emissions.

For all properties within the Lougheed Transit Area Plan as identified on Schedule 1 of the Official Community Plan, Bylaw 7060-2014.

1.1 Application

The Lougheed Transit Corridor Development Permit Area (DPA) is designated pursuant to Section 44(1) of the Local Government Act, specifically the following sub-sections:

h) protection of the natural environment, its ecosystems and biological diversity;
i) protection of development from hazardous conditions;
j) revitalization of an area in which a commercial use is permitted;
k) establishment of objectives for the forms and character of intensive residential development;
l) establishment of objectives to promote energy conservation;
m) establishment of objectives to promote water conservation;
n) establishment of objectives to promote the reduction of greenhouse gas emissions.

For all properties within the Lougheed Transit Area Plan as identified on Schedule 1 of the Official Community Plan, Bylaw 7060-2014.

The Lougheed Transit Corridor DPA Guidelines apply to the following Lougheed Transit Corridor land use designations and development of:

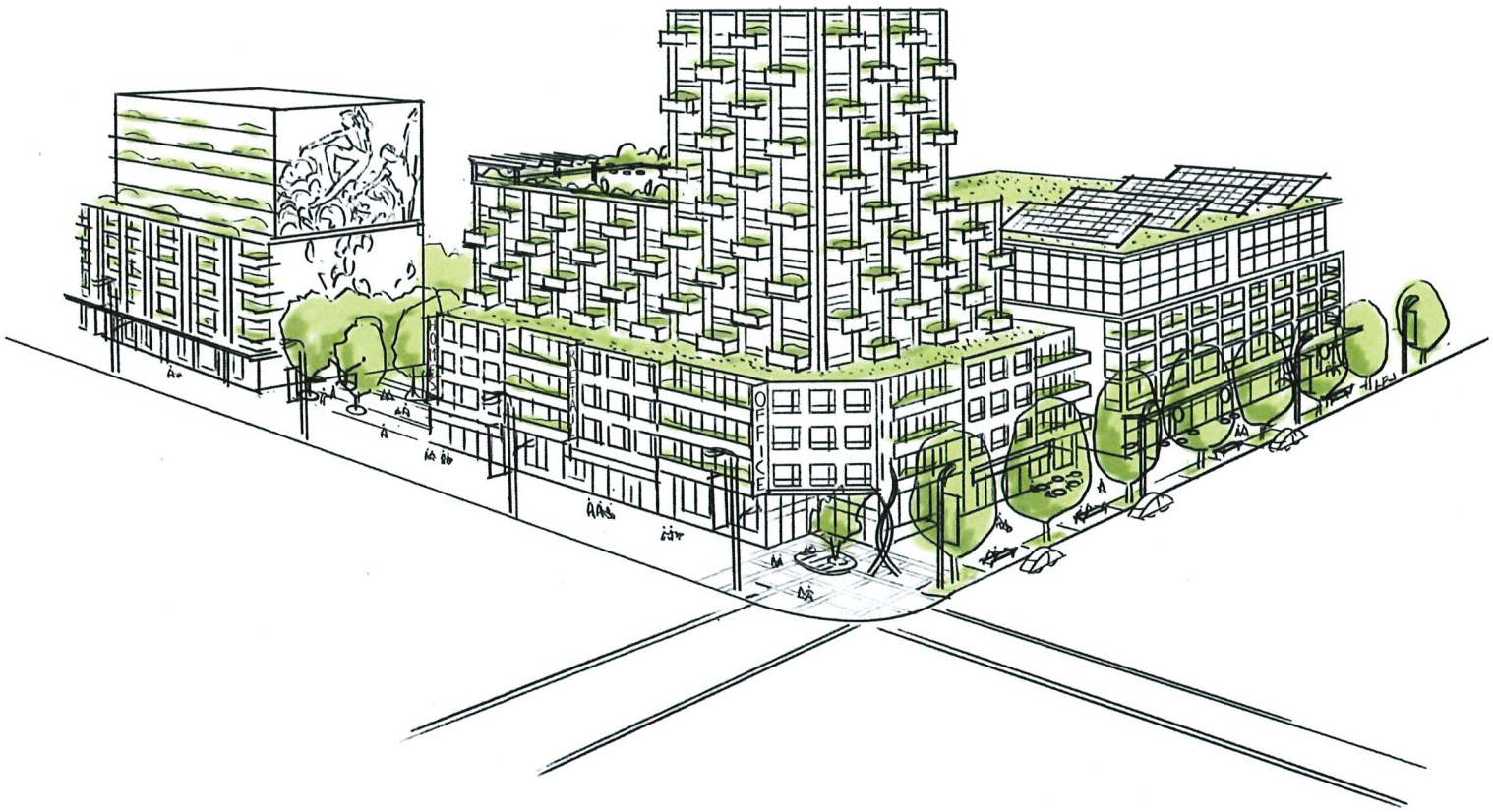
- Mixed-Use Commercial
- Flexible Employment
- Transit Corridor Multi-Family
- Intensive Attached Residential

The Lougheed Transit Corridor DPA Guidelines outline design criteria for new development. These Development Permit Guidelines work in tandem with policies in the Lougheed Transit Corridor Area Plan and regulations in the City of Maple Ridge Zoning Bylaw, which must also be taken into consideration for Development Permit approval. Other accompanying documents (bylaws, policies) and resources may need to be consulted during the development proposal process.

In the event of a conflict between the Lougheed Transit Corridor DPA Guidelines and the Lougheed Transit Corridor Land Use Designations on Schedule 1 adopted by the City, the latter shall take precedence. In the event of a conflict between the Lougheed Transit Corridor DPA Guidelines and regulations outlined in the *City of Maple Ridge Zoning Bylaw 7600-2019*, the latter two should take precedence. However, in the event of a conflict between Lougheed Transit Corridor DPA Guidelines and other Maple Ridge DPA Guidelines, the Lougheed Transit Corridor DPA Guidelines take precedence.

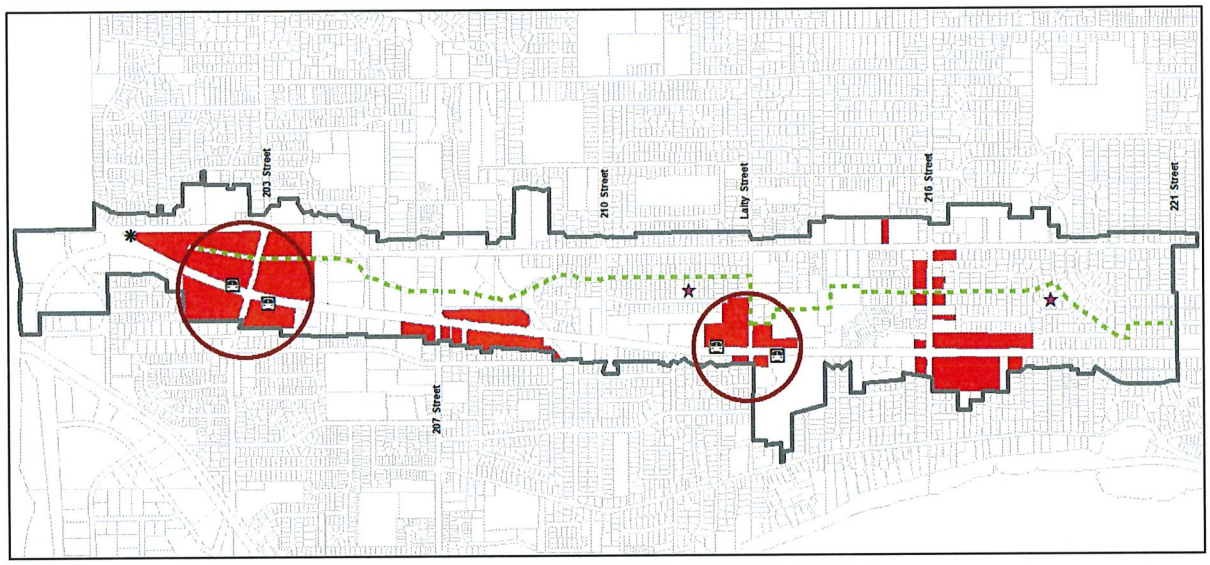
2.

Transit Node and High Street



2 Transit Node and Complete Street Form and Character

This section applies to commercial, mixed-use and residential development in the West Side and Ridge Junction Transit Nodes, and their supporting 'Complete Streets': 203 Street, 216 Street and Laity Street.



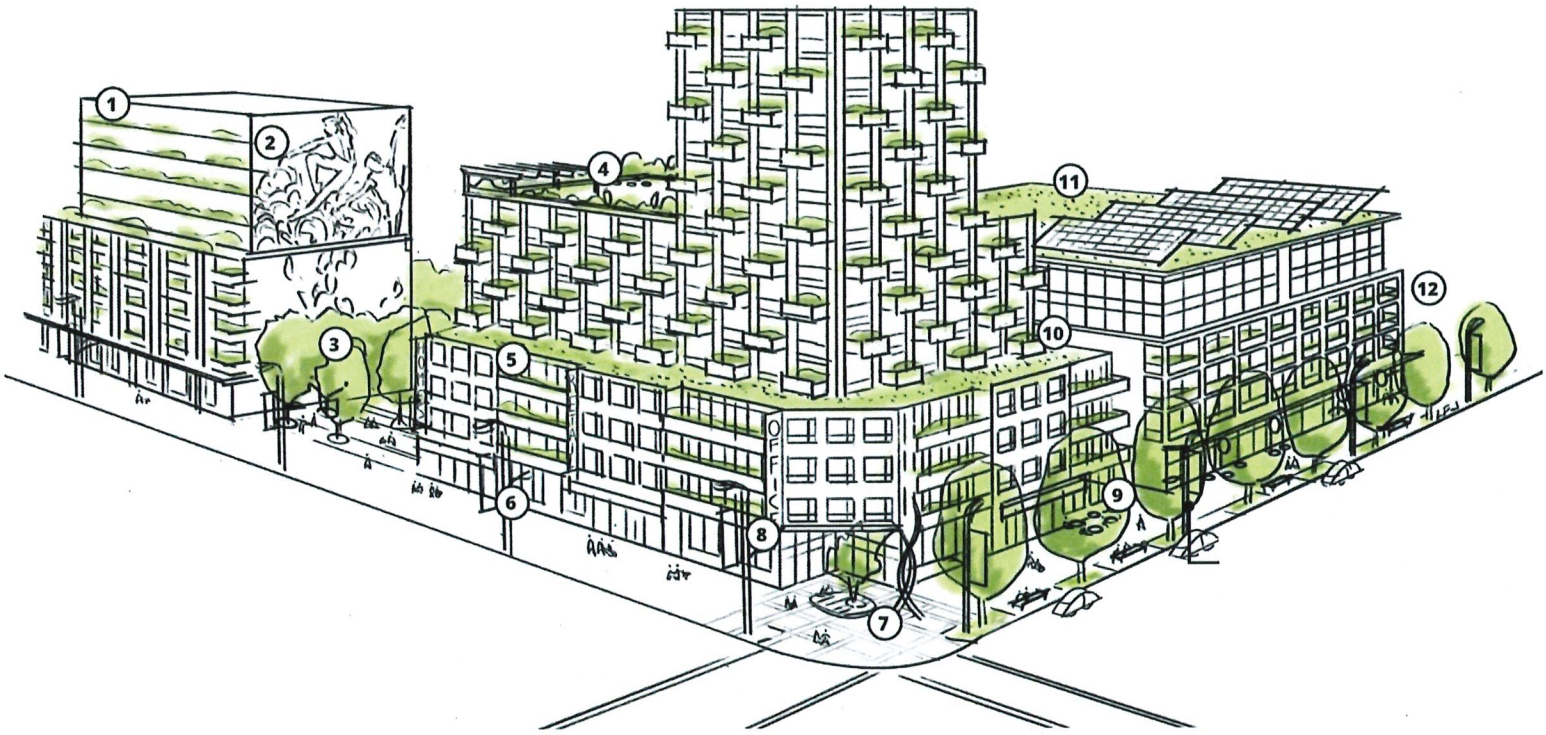
WEST SIDE TRANSIT NODE

THE COMMERCIAL HEART OF WEST MAPLE RIDGE

The largest node in the Transit Corridor is the western gateway into the city. Landmark buildings and features are desirable at the intersection of Dewdney Trunk Road and Lougheed Highway, where triangular lots lend themselves to creative architectural expression.

The area is envisioned as a vibrant urban village offering employment opportunities and multi-family housing in a mixed-use form. With an elevated urban design and public realm, attractive streetscapes are focused on the Off-Lougheed Greenway and outdoor plaza space for community gatherings. 203 Street between Dewdney Trunk Road and Lougheed Highway will be enhanced to create an inviting 'Complete Street' streetscape connecting local and regional public transportation. The 203 Street 'Complete Street' provides an enjoyable route that link local bus services on Dewdney Trunk Road to regional bus routes on Lougheed Highway.

WEST SIDE TRANSIT NODE - DESIGN DIRECTION SUMMARY

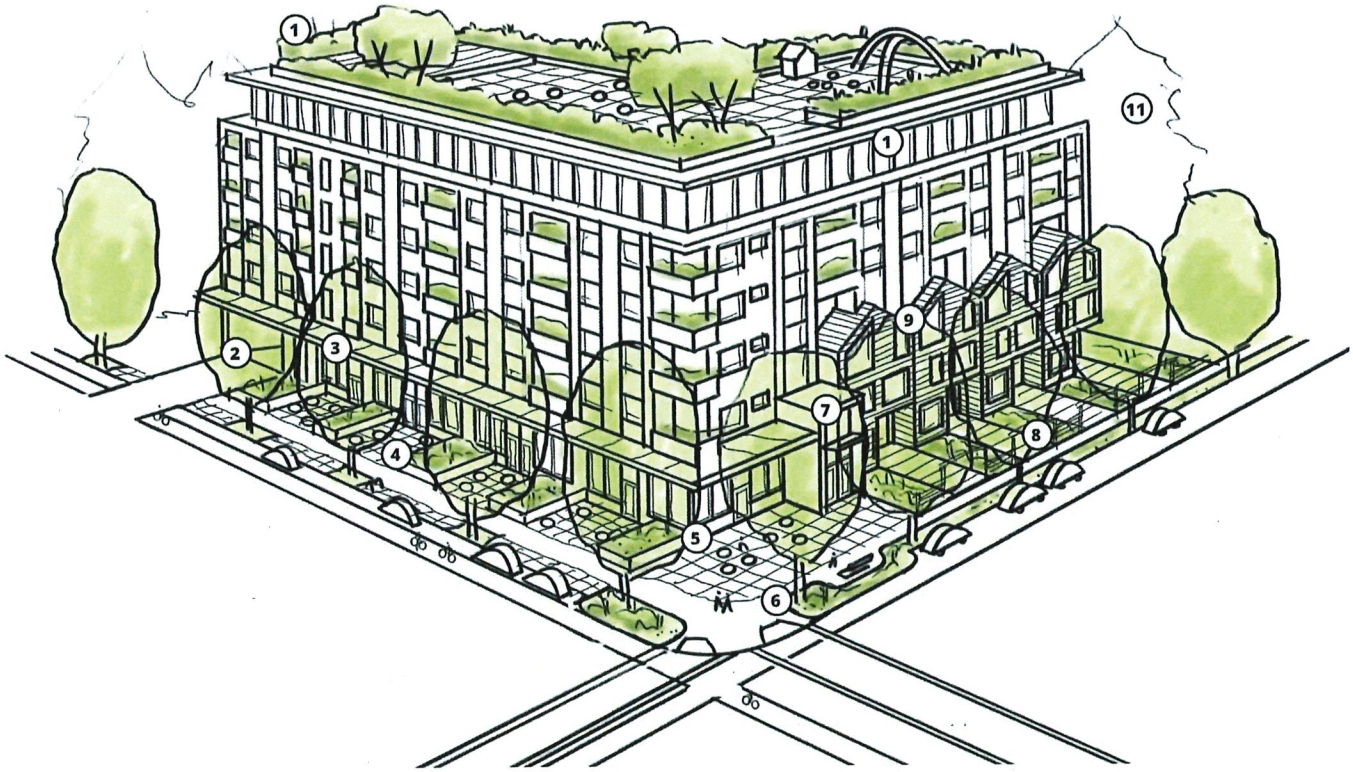


1. Building steps back after the 6th floor on Lougheed Highway and Dewdney Trunk Road.
2. A mural provides visual interest on a blank wall
3. Urban Plazas break up the block and provide pedestrian connections to public space amenities at the heart of the neighbourhood.
4. Rooftops provide residents with shared outdoor amenity space.
5. Residential and office units have private outdoor space.
6. Banners and street furniture contribute to neighbourhood identity
7. Entrances have arrival areas and entry courtyards with amenities such as seating, landscaping and public art.
8. Signage is both pedestrian and highway oriented.
9. Patio space is provided for smaller scale retail catering to food and beverage.
10. Buildings stepback after the 4th floor (except when located on an arterial).
11. Greenroofs, raingardens, solar panels and solar fins contribute to sustainability.
12. Any at grade parking is located to the rear.

THE RIDGE JUNCTION TRANSIT NODE
AN URBAN NEIGHBOURHOOD STEEPED IN MAPLE RIDGE HISTORY

Ridge Meadows Hospital and the Maple Ridge Cemetery are key destinations that are landmarks of the Laity Street Rapid Bus transit stop and Laity Street 'Complete Street'. Building off the walkable road network and important healthcare function of this neighbourhood, the Area Plan encourages commercial use in both retail and service industry opportunities. Ensuring affordable housing units for existing residents, as well as expanding housing options, will be an important focus in the neighbourhood.

THE RIDGE JUNCTION TRANSIT NODE - DESIGN DIRECTION SUMMARY



1. Rooftops provide residents with shared outdoor amenity space.
2. Underground parking stalls are accessed by a single entry and have electric vehicle charging connections.
3. Ground floor retail has continuous weather protection and ample glazing.
4. A setback provides areas for planters, storefront display and patio space.
5. Buildings on a corner site orient entrances towards both streets.
6. Seating and accessible design provides a welcoming streetscape.
7. Apartment lobby entrance is distinct and easy to identify and provides bike parking and seating.
8. Ground floor residential uses are ground oriented, with private entrances and patios; and, a pathway connecting to the sidewalk.
9. Residential uses are distinguished from retail uses through architectural expression, such as articulated roof line.
10. Articulation and materials create visual interest, a varied streetscape and human scale.
11. Coniferous trees and raingardens support biodiversity and intercept rainwater.

2.1 Building Design, Massing and Siting

HEIGHT

2.1.1 Reflect a pedestrian-scale in the articulation and massing of buildings and their facades.

2.1.2 Buildings on the south side of Dewdney Trunk Road and the north side of Lougheed Highway should be designed to step storeys back above the 8th storey.

2.1.3 Buildings along all major corridors excluding Dewdney Trunk Road and Lougheed Highway, should be designed to step-back above the 4th storey to reinforce a pedestrian-scale.

2.1.4 Buildings along Area Plan boundaries on the north side of Dewdney Trunk Road and the south side of Lougheed Highway that are higher than 4 storeys should be designed to step-down to 3 storeys to create a transition to lower building heights.

2.1.5 Buildings greater than 10 storeys should be designed with a pedestrian-oriented podium.

2.1.6 Consider view corridors to the Golden Ears Mountains.

SITING

2.1.7 Buildings should be set-back along Lougheed Corridor and Dewdney Trunk Road to provide generous space for businesses to spill out and animate the street, for people to walk and socialize, and for the establishment of a healthy and broad tree canopy, while still framing the street to create a human scaled, urban room.

2.1.8 Buildings fronting Lougheed Highway and Dewdney Trunk Road should be sited to provide sufficient buffering from road traffic while maintaining an urban development form.

2.1.9 Buildings fronting 'Complete Streets' should be sited to provide space for street furniture and outdoor display outside of the public right-of-way to create an animated street.

2.1.10 Developments should provide additional setbacks for the establishment of corner or mid-block plazas to be animated by adjacent businesses.

2.1.11 Site buildings to capitalize on daylight and solar opportunities.

ACCESS AND ENTRANCES

2.1.12 Separate residential entrances from commercial entrances.

2.1.13 Distinguish entrances of residential buildings with arrival areas and courtyards.

2.1.14 Design commercial buildings to have the primary customer entrance on the 'Complete Street' or Off-Lougheed Greenway where applicable.

2.2 Street Front

DESIGN

2.2.1 Enhance the block with corner commercial buildings.

2.2.2 Articulate large buildings into smaller modules to establish a human scale and a cadence along the street.

2.2.3 Provide a high floor-to-ceiling height for ground floor commercial and retail uses to create a sense of openness and scale. 4.5 metres is recommended.

2.2.4 Individuality within a unified appearance is encouraged for buildings with multiple units and uses which could be expressed through colour, materials and articulation of architectural elements.

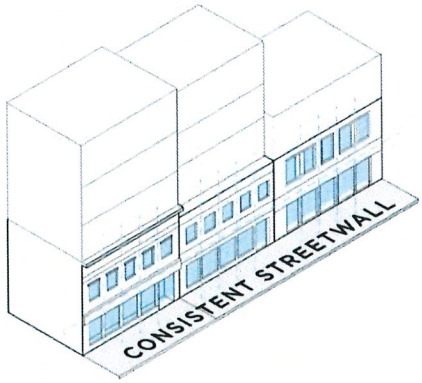


Figure 1 Consistent streetwall

2.2.5 Maintain the horizontal rhythm of the street wall. Strategies may include using a similar alignment of windowsills, building line, cornices, roof lines, and floor-to-floor spacing along a street block.

2.2.6 Provide a visual division between the street level and upper floors.

2.2.7 Include continuous pedestrian weather protection through the use of canopies, awnings overhangs or other architectural strategies.

2.2.8 Ensure awnings or canopies use materials such as glass or metal and are appropriately placed at the first storey.

2.2.9 Provide transparency at ground level to create and vibrant pedestrian experience.

2.2.10 Avoid blank walls.

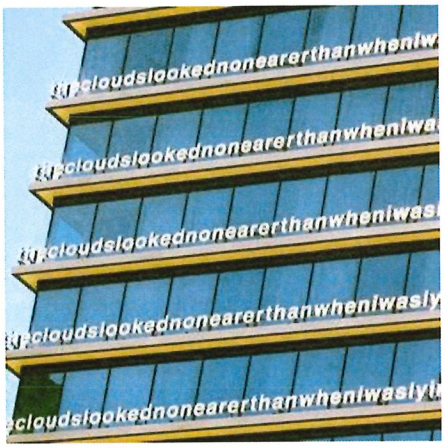
2.3 Public Realm

OUTDOOR SPACE

2.3.1 Orient outdoor plazas for optimal solar access.

2.3.2 Integrate pedestrian amenities with site design and landscaping. Pedestrian amenities may include seating, shelters, gathering places, and wayfinding.

2.3.3 Allow the setbacks area to accommodate display space for businesses to create a shared sense of place along this street.



2.3.4 Paving should be compatible with the streetscape materials palette and patterned to respond to surrounding building architecture (entrances, pilasters, etc.), create visual interest and merge seamlessly into the overall paving pattern of adjacent sidewalks.

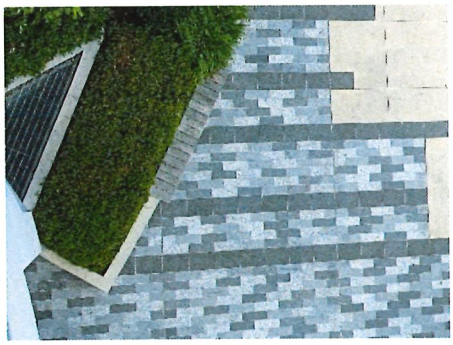
2.3.5 Provide public art and work with public artists early in and throughout the design process to provide space for and incorporate their work in a meaningful way.

2.3.6 Use public art as a means to advance reconciliation and redress.

2.3.7 Incorporate public art as either a free-standing element or integrated with architecture to enhance the gateway function of transit nodes.

2.3.8 Integrate public art as part of public realm components such as benches, storm grates, and light poles.

2.3.9 Provide utilities such as power and water in outdoor spaces to support flexible programming opportunities.



2.3.10 Ensure universal access for all public spaces and buildings. Public spaces should provide universal access to people of all ages and abilities and offer spaces for informal play and respite.

2.3.11 Paving materials should be high-quality and authentic. Mortar set pavers are preferred. Avoid the use of tinted, coloured or stamped concrete.

Figure 2 Transit node public plaza

SEATING AND FURNISHINGS

2.3.12 Provide a variety of seating opportunities in locations that receive direct sun during the day and in places that have rain protection.

2.3.13 Design seating to be integral to the building and landscape design and use materials that complement the material palette of the landscape.

2.3.14 Provide accessible seating options along walkways at approximately every 50m.

2.3.15 Incorporate seating into site planning that adds to the aesthetic and character of the area. Include ledges and seat walls, berms, and other unique feature seating beyond typical bench designs.

VISIBILITY AND CONNECTIVITY

2.3.16 Provide connections between buildings, sidewalks and outdoor open spaces to provide route options for people walking and rolling; and, to create connections between rear parking areas, front entrances and other amenities. Routes should be clearly identified with signage. The design of these spaces should be welcoming for use by the public (not gated, well lit, seating/rest areas included, urban condition softened through the use of vegetation).

2.3.17 Ensure a clear visual connection between the transit stop on 203 Street and the plaza.

2.3.18 Ensure public space is highly visible from streets. Select plant varieties that are open and transparent; and, ensure a clear visual line from 1.2 m to 2.5m off of the ground to provide direct sightlines from the street to sidewalk.

2.3.19 When pedestrian walkways run adjacent a building, the building should provide fenestration and transparency to create a human scale and interest.

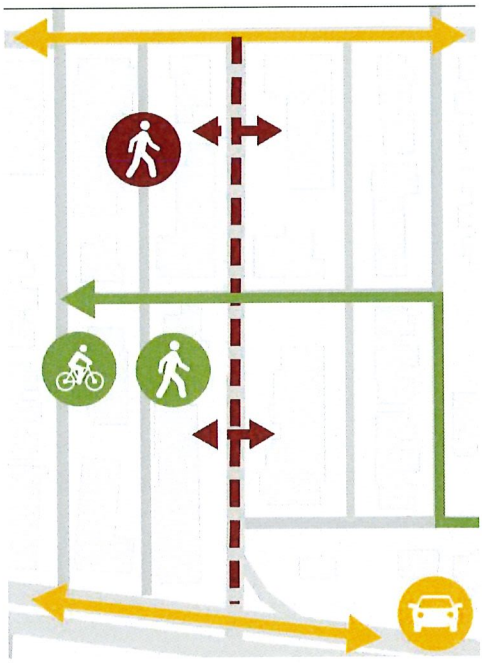


Figure 3 Multi-modal connectivity

2.4 Signage and Lighting

2.4.1 Business signage should be oriented for pedestrian rather than vehicular sight lines, such as under canopies, etc.

2.4.2 Signage shall comply with the sign bylaw.

2.4.3 Ensure signage respects the building scale, character and materials.

2.4.4 No freestanding signs are permitted.

2.4.5 Lighting should be used to create safety through visibility, but also public space experience through the use of string and catenary lights, light based public art installments and other lighting design options.

2.4.6 Design outdoor lighting to minimize light pollution and select fixtures that are Dark Sky Compliant.

2.4.7 Consider including small scale, low level lighting along pedestrian routes, such as under benches, within bollards, lighting associated with public art, and up-lighting of trees to add character and ambiance to pedestrian areas.

2.4.8 Streetlight standards should be adaptable for electric vehicle charging.

2.5 Access, Parking and Circulation

ROAD DESIGN AND GREENWAY DESIGN

2.5.1 Adjacent to commercial land uses, design the greenway to be easily closed off to vehicles with elements such as removable bollards, to allow for weekend markets and festivals, while still providing access to the lane for parking and delivery access.

2.5.2 Create a greenway that provides separated space for walking and cycling while still accommodating the efficient movement of goods and those who choose to drive and take transit.

2.5.3 Design boulevards to provide an ample buffer for people walking and rolling, where feasible.

Figure 4 Typical condition of the greenway within the Transit Node DPA

VEHICLE ACCESS PARKING AND CIRCULATION

2.5.4 Prioritize underground parking.

2.5.5 Underground parking access should be from a rear lane or lower classified street.

2.5.6 Provide clear wayfinding and signage to indicate the location of public underground parking.

2.5.7 Limit at-grade parking. When provided, it should be located to the rear or side of buildings. Surface parking between the street and building frontage is not permitted.

2.5.8 Screen at grade parking with landscaping to reduce the visual impact.

2.5.9 Use artistic installation to create a visually pleasing vertical elements to screen structured parking.

2.5.10 Where at grade parking is present, provide pedestrian walkways with tree canopy to create safe and comfortable connections between the parking area and the building entrance.

2.5.11 Where at grade parking is present, provide raingardens with capacity to infiltrate the rainwater that is generated as a result of the impermeable paved area.

2.5.12 Seek opportunities to reduce impermeability and to increase permeability, such as permeable paving or other finishes, and the overall reduction of paved area.

2.5.13 Paving should be of a light colour to reduce the urban heat island effect.

2.5.14 All residential parking spaces should provide electric vehicle charging connections or adaptability.

2.5.15 Commercial parking should provide some electric vehicle charging connections (i.e. 10%).

BICYCLE STORAGE AND PARKING

2.5.16 Provide secure bicycle storage facilities for short-term uses adjacent that are conveniently located near the entrances to commercial and residential buildings.

2.5.17 Provide long-term bicycle parking for commercial tenants as well as residential tenants. Bicycle parking should be located for convenient access and in a secure and indoor space.

2.5.18 Provide end of trip facilities for commercial tenants such as: showers, changing areas and storage lockers.

PEDESTRIAN AND BICYCLE ACCESS

2.5.19 Provide pedestrian-scale lighting along all pathways.

2.5.20 Avoid dead-end paths and provide route options.

2.6 Landscape Design

STREET TREES

2.6.1 Provide street trees that are well adapted to urban conditions and are resilient to climate change.

2.6.2 Provide street trees that create a large and transparent tree canopy.

2.6.3 Provide wide softscape boulevards for street trees to allow them to thrive over the long term (i.e. 3m wide).

2.6.4 Where space is constrained or the character is more urban, provide soil cells or structural soil for street trees to allow for healthy long-term growth.

GENERAL PLANTING

2.6.5 Use native and drought resistant plants in landscaping when possible.

2.6.6 Provide edible landscaping in shared residential open spaces such as courtyards and on rooftops (i.e. blueberries, huckleberries, apples, figs, bay trees).

2.6.7 Design landscapes to support native pollinators (i.e. native flowering plants, composted mulch/incorporate logs) and song birds (i.e. include coniferous trees for refuge; include plants with persistent fruits in winter; and, design plant areas so that they have multiple layers of foliage (ex. ground cover, shrub layer and trees)).

2.6.8 Reduce the urban heat island effect by incorporating trees with significant tree canopy to shade areas of paving.

2.6.9 Where space is limited, provide columnar tree species.

2.6.10 All areas that are not paved are to be planted with sod, ground cover, perennials, shrubs or trees. Large expanses of rock and gravel are discouraged (strategic use of river rock in raingardens, and under building overhangs is acceptable).

2.6.11 Planted/garden areas are to be finished with composted bark mulch.

2.6.12 Use shrubs and perennials to soften the edge between public pathways and private residential entrances.

2.6.13 Avoid opaque hedges (i.e. cedar, laurel, yew hedges) along property lines to avoid shading public and private spaces and obscuring views.

2.6.14 Maintain sightlines to streets, lanes, and/or pathways from windows, balconies and private patios. For example, select dwarf or low growing shrubs species for planting next to ground level patios (1.2m height maximum). Fences should be 1.2m height maximum. Trees species should provide transparency except where coniferous trees are being used to increase habitat and rainwater infiltration.

WATER AND RAINWATER

2.6.15 Provide irrigation for all planted areas.

2.6.16 Create raingardens at corners to infiltrate rainwater

2.6.17 Green roofs and cisterns are encouraged.

2.6.18 Find opportunities to integrate coniferous trees to provide rainwater interception.

2.6.19 Street trees should have power to accommodate seasonal string lights and event needs.

LANDSCAPE MATERIALS

2.6.20 When screens or fences are being incorporated into the design, use material that is attractive, durable and contributes to the quality of the overall landscape design, such as wood.

2.6.21 Paving materials should be high-quality and authentic. Mortar set pavers are preferred for public plazas and within setbacks. Avoid the use of tinted, coloured or stamped concrete.

2.7 Refuse, Recycling and Servicing Areas

2.7.1 Locate and enclose trash, composting and recycling to reduce visibility from public areas.

2.7.2 Screen mechanical equipment.

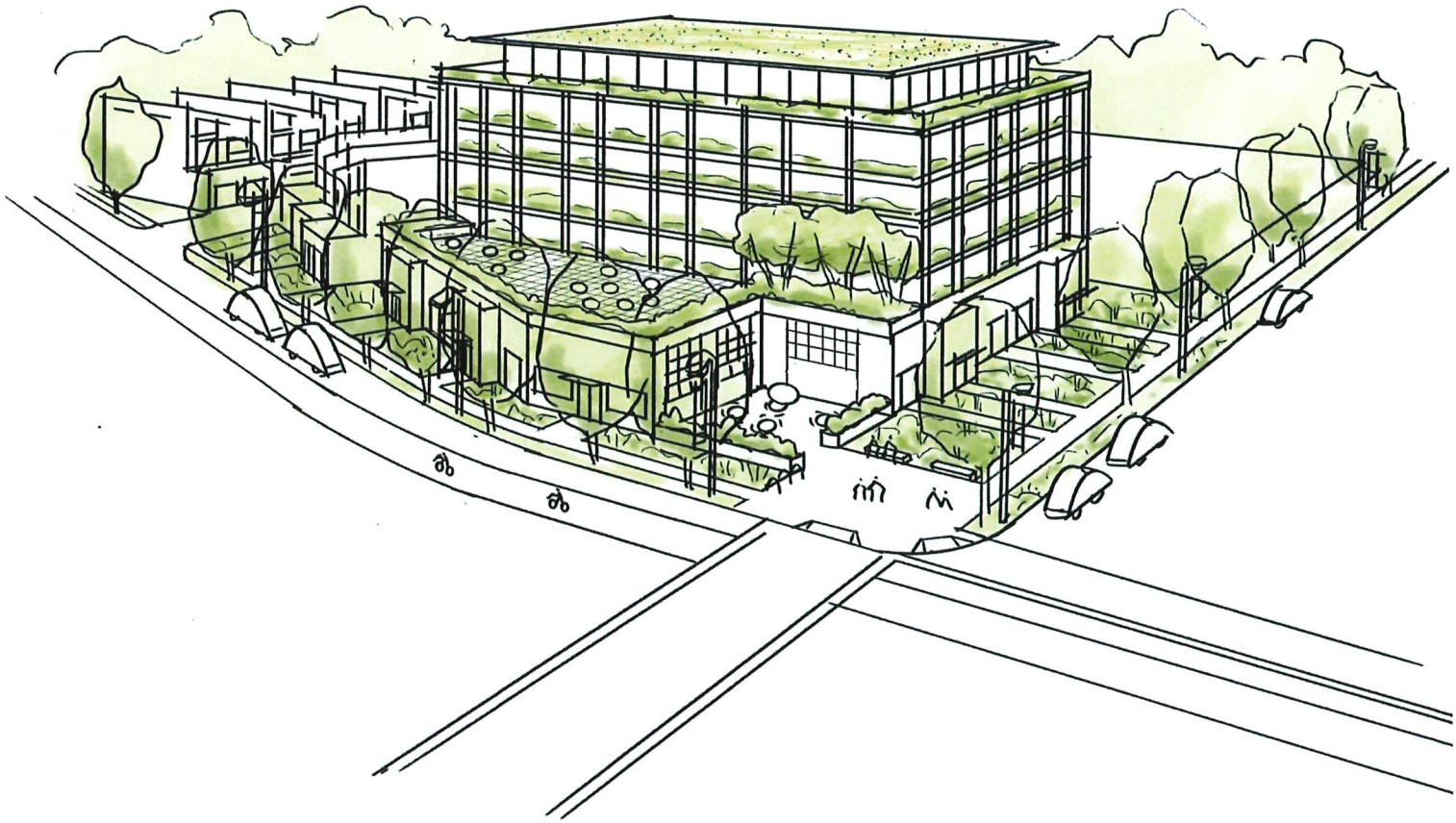
2.7.3 Avoid conflict with neighbouring properties.

2.7.4 Locate building ventilation systems to minimize noise and exhaust nuisances for pedestrian areas.

2.7.5 Locate recycling, servicing and loading areas off of the laneway or to the rear of the building.

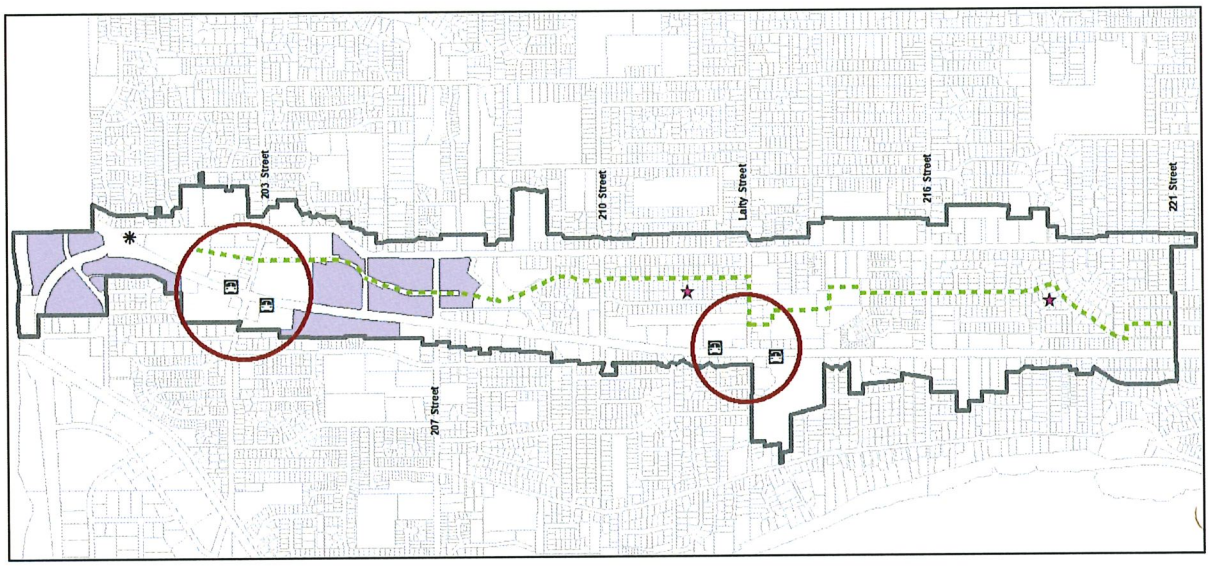
3.

Flexible Employment



3 Flexible Employment

This section applies to industrial and commercial development on lands designated Flexible Employment.



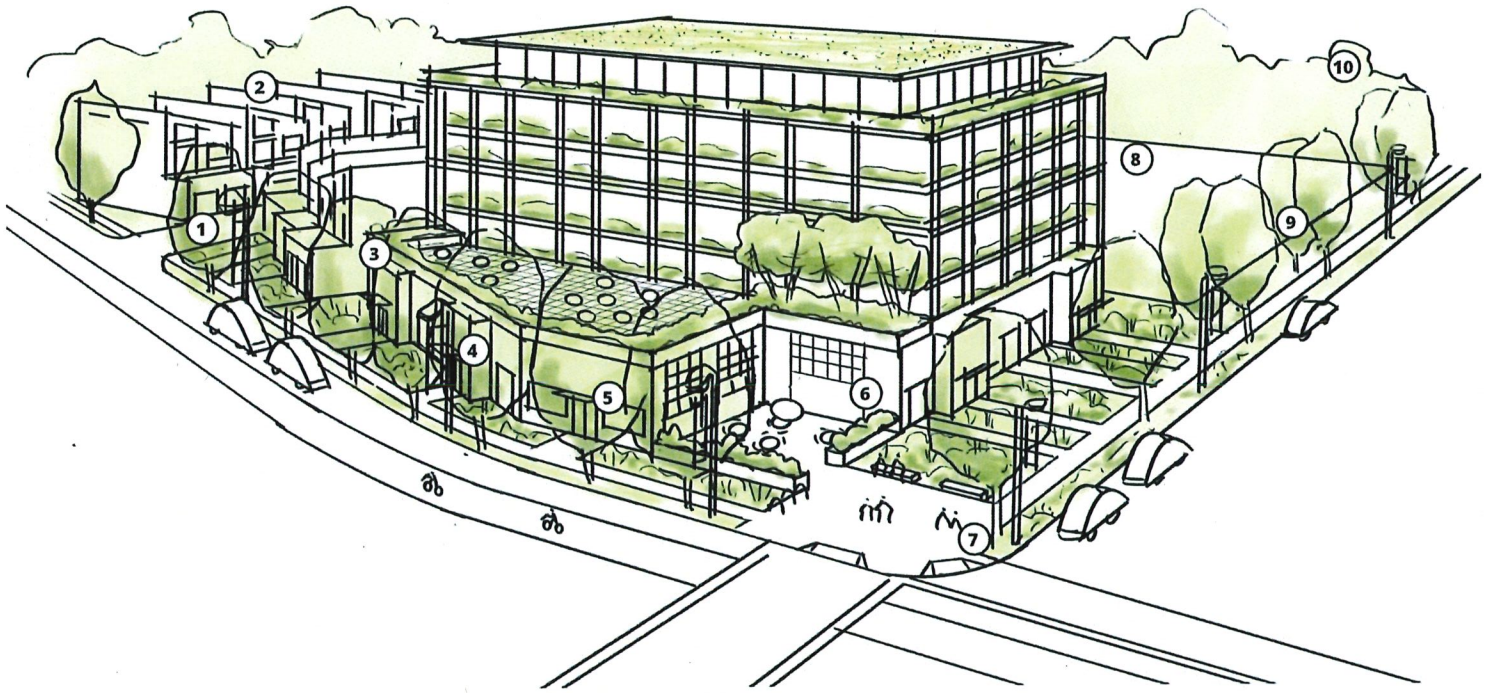
GATEWAY CENTRE

Warehousing and distributions centres are located in proximity to the truck routes of Lougheed Highway and Golden Ears for access to the broader regional market.

MCKENNEY EMPLOYMENT DISTRICT

This district is an enclave of light industrial employment uses. Warehousing and distribution are permitted, with loading bays and freight access from Dewdney Trunk Road and Lougheed Highway. A smaller building typology is supported here, with a network of internal block walkways for accessible pedestrian navigation. The Off-Lougheed Greenway bisects the district and serves as an access point for workers and clients. Buildings fronting the Greenway have the highest pedestrian focus, through urban design and public realm design considerations. Multi-level buildings are permitted here, and live-work units are also encouraged. The District is a destination that provides small store-front experiences for manufacturing businesses, such as food and beverage, and maker industries.

FLEXIBLE EMPLOYMENT - DESIGN DIRECTION SUMMARY



1. Vehicle access point is limited to one.
2. Live-work units are located near the greenway and other open space amenities when present; and, they have a distinct residential language and private outdoor space.
3. Continuous building wall is broken up with massing and articulation to create visual interest.
4. Multiple entrances along the building front are provided. Articulation and materials create visual interest and make them easy to identify.
5. Glazing on the ground floor provides visual interest from the street.
6. An outdoor patio is located along the public facing street and next to retail oriented production space. Bicycle parking is provided.
7. Design and finishes are accessible and made of high quality materials. Seating and accessibility contribute to a welcoming streetscape.
8. Parking, loading and servicing areas are located to the rear of the building.
9. Trees and low growing shrubs buffer large paved areas and the sidewalk.
10. A green buffer provides visual separation from adjacent residential and commercial uses. Coniferous tree and native shrub species contribute to biodiversity and rainwater interception.

3.1 Building Design, Massing and Siting

HEIGHT

3.1.1 Provide higher floor to ceiling height at the entrance of one storey buildings to clearly identify the entry and to contribute to the overall urban landscape. Consider a higher floor-to-ceiling height overall to provide flexibility of future uses.

ENTRANCES

3.1.2 Locate and design main building entries to be clearly identified from streets, sidewalks and pathways, and entry driveways.

3.1.3 Encourage entry features such as building articulation, courtyards, and public art installation.

3.1.4 Distinguish entrances with arrival seating areas, gardens and courtyards.

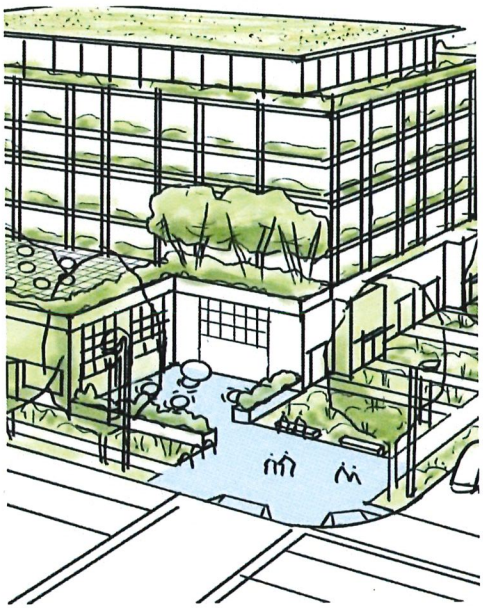
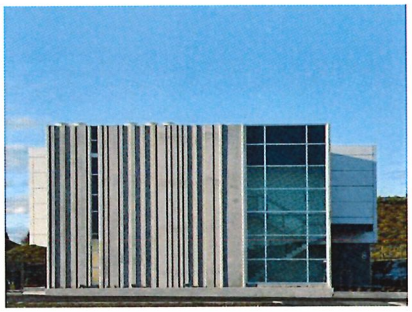


Figure 5 Entry features

MASSING

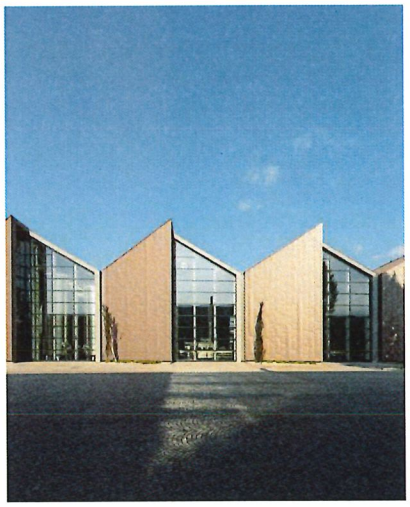
3.1.5 Individuality within a unified appearance is encouraged for buildings with multiple units and uses which could be expressed through colour, materials and articulation of architectural elements.

MATERIALS AND CHARACTER



3.1.6 Emphasize the "industrial/workshop" look and feel of this special use by encouraging the use of roll up doors and frames and higher ceilings in working areas.

3.1.7 Materials such as corrugated metal siding/roofing, different types of flat metal siding, galvanized powder coated steel, fiber cement siding are suitable.



3.1.8 Incorporate a range of materials, for example, ribbed or corrugated steel, cladding, panelised cladding (expressed joints), polycarbonate sheeting, glass, timber and louvre screening.

3.1.9 Avoid rendered finishes and large expanses of flat pre-finished steel cladding.

3.1.10 Include glazing as a major component of greenway-facing building facades.

3.1.11 Large expanses of stucco are not desirable.

3.2 Street Front

3.2.1 Buildings that are located adjacent to the Off-Lougheed Greenway should be oriented towards the greenway (i.e. main entrance faces the greenway, loading faces away, offices/work spaces with fenestration face the greenway).

3.2.2 Provide a street presence with welcoming entrances and architectural interest in building designs fronting the Off-Lougheed Greenway (i.e. entrance canopies, seating, pedestrian pathways connected to the sidewalk, high-quality materials that provide texture).

3.2.3 Avoid continuous unarticulated façades of over 45 metre in length.

3.2.4 When pedestrian walkways run adjacent a building, the building should provide fenestration and transparency to create a human scale and interest.

3.2.5 Buildings with significant expanses of blank walls should incorporate features such as texture, graphics, reveals, colours, vegetation and/or decorative floodlighting to provide visual interest.

3.3 Public Realm

SEATING AND FURNISHING

3.3.1 Design seating to be integral to the design concept and use materials that complement the material palette of adjacent buildings and streetscape.

3.3.2 A variety of seating opportunities should be provided in locations that receive direct sun during the day and in places that have rain protection.

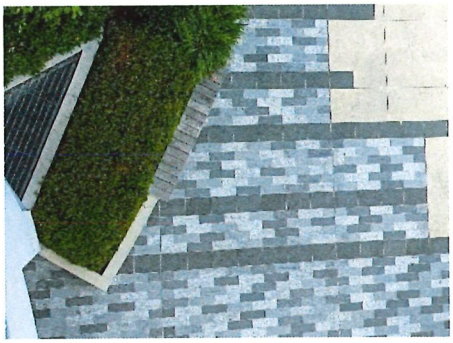
3.3.3 Coordinate site furnishings (e.g. garbage containers, bike racks, lighting, tables and seating) with streetscape furnishings.

3.3.4 Provide seating along walkways and sidewalks, at approximately every 50 metres.

3.3.5 Provide outdoor seating and dining areas for people to use during lunch hour and on breaks. These spaces should provide a variety of sun and shade options, and rain cover; as well as screening from at grade parking using vegetation.

3.3.6 Provide public art and work with public artists early in and throughout the design process to provide space for and incorporate their work in a meaningful way.

CONNECTIVITY AND ACCESS



3.3.7 Provide separated pedestrian connections between buildings, sidewalks and outdoor open spaces. Use materials and vegetation to define and differentiate these spaces from spaces that are dedicated to vehicle movement.

3.3.8 Pedestrian walkways between buildings are encouraged to break up larger building footprints. Walkways should be well lit, with appropriate seating, landscaping and access considerations.

3.3.9 Ensure universal access for all public spaces.

3.3.10 Integrate pedestrian amenities with walls and/or landscaped areas (i.e. seat-walls, and benches).

3.3.11 Ensure surfacing is universally accessible, yet explore opportunities for various treatments to create visual interest.

LANDSCAPE MATERIALS

3.3.12 Paving should be compatible with the streetscape materials palette and patterned to both respond to surrounding building architecture (entrances, pilasters, etc.) and merge seamlessly into the overall paving pattern of adjacent sidewalks.

3.3.13 Paving materials of pedestrian areas and gathering areas should be high-quality and authentic (i.e. use pavers or broom finish cast-in-place concrete and avoid stamped and/or coloured concrete).

3.4 Signage and Lighting

3.4.1 Business signage should be oriented for pedestrians rather than vehicular sight lines, such as under canopies, etc.

3.4.2 Signage shall comply with sign bylaw.

3.4.3 Ensure signage respects the building scale, character and materials.

3.4.4 No freestanding signs permitted.

3.4.5 Lighting should be used to create safety through visibility, but also public space experience through the use of string and catenary lights and light-based public art installations.

3.4.6 Design outdoor lighting to minimize light pollution and select fixture that protect the night sky.

3.4.7 Consider including small scale, low level lighting along pedestrian routes, such as under benches, within bollards, lighting associated with public art, and up-lighting of trees to add character and ambiance to pedestrian areas.

3.5 Access, Parking and Circulation

VEHICLE ACCESS, PARKING AND CIRCULATION

3.5.1 At grade parking should be screened with landscaping to reduce the visual impact from surrounding public spaces and properties.

3.5.2 Above ground parking structures and at grade parking should use artistic installation, architectural finishes or vegetation to create a visually pleasing vertical element.

3.5.3 Loading facilities should be located away from public streets and into the rear or the interior of a site.

3.5.4 Provide pedestrian walkways with tree canopy to create safe and comfortable connections through parking lots to the building entrance or to a "Campus Street" connecting to the front entrance.

3.5.5 Where at grade parking is present, provide raingardens with capacity to infiltrate the rainwater that is generated as a result of the impermeable paved area.

3.5.6 Seek opportunities to reduce impermeability and to increase permeability, such as permeable paving or other finishes, and the overall reduction of paved area.

3.5.7 Paving should be of a light colour to reduce the urban heat island effect.

3.5.8 Provide some electric vehicle charging connections (i.e. 10% of all employee parking).

BICYCLE ACCESS AND PARKING

3.5.9 Provide secure and sheltered bicycle storage facilities for short-term uses near building entrances.

3.5.10 Provide interior secured long-term bicycle parking. When bicycle parking is provided in a parkade, the access path for bicycles should be distinct/separated from the vehicle access route.

3.5.11 Provide end of trip facilities such as: showers, changing areas and storage lockers.

3.6 Landscaping and Open Space

STREET TREES

3.6.1 Provide street trees with a generous boulevard width in order to accommodate long term tree health and growth (i.e. 3m wide).

3.6.2 Where space is limited, provide soil cells or structural soil for street trees to allow for healthy long-term growth.

GENERAL PLANTING

3.6.3 Use native and drought resistant plants in landscaping when possible.

3.6.4 Provide trees that are well adapted to urban conditions and are resilient to climate change.

3.6.5 Provide trees that create a large and transparent tree canopy.

3.6.6 Landscapes that are intended to screen the view of at grade parking areas should be wide enough to establish large mature tree and shrub sizes (i.e. 6m). They should be designed to support native pollinators (i.e. native flowering plants, composted mulch/incorporate logs) and song birds (i.e. include coniferous trees for refuge; include plants with persistent fruits in winter; and, design plant areas so that they have multiple layers of foliage (ex. ground cover, shrub layer and trees)).

3.6.7 Reduce the urban heat island effect by incorporating trees with significant tree canopy to shade areas of paving.

3.6.8 Paving should be of a light colour to reduce urban heath island effect.

3.6.9 Find opportunities to integrate coniferous trees to provide rainwater interception.

3.6.10 All areas that are not paved are to be planted with sod, ground cover, perennials, shrubs or trees. Large expanses of rock and gravel are discouraged (strategic use of river rock in raingardens, and under building overhangs is acceptable).

3.6.11 Planted areas are to be finished with composted bark mulch.

WATER AND RAINWATER

3.6.12 Create raingardens at corners to infiltrate rainwater.

3.6.13 Green roofs and cisterns are encouraged.

3.6.14 Provide irrigation for all planted areas.

LANDSCAPE CHARACTER

3.6.15 Use shrubs and perennials to adjacent to walkways to soften the edge between public pathways and parking areas, drive aisles, outdoor work yards, and building edges. Screens should provide transparency and not fully obscure the view.

3.6.16 Avoid opaque hedges (i.e. cedar, laurel, yew hedges) along property lines to avoid shading public and private spaces and obscuring views.

3.6.17 Maintain sightlines to streets, lanes, and/or pathways from windows. For example, select dwarf or low growing shrubs species for planting next to ground level windows (1.2m height maximum). Trees species should provide transparency except where coniferous trees are being used to increase habitat and rainwater infiltration.

3.6.18 Provide trees on both the inside of the sidewalk and on the outside of the sidewalk in order to create a double-sided canopy. This condition is especially encouraged along the Off Lougheed Greenway.

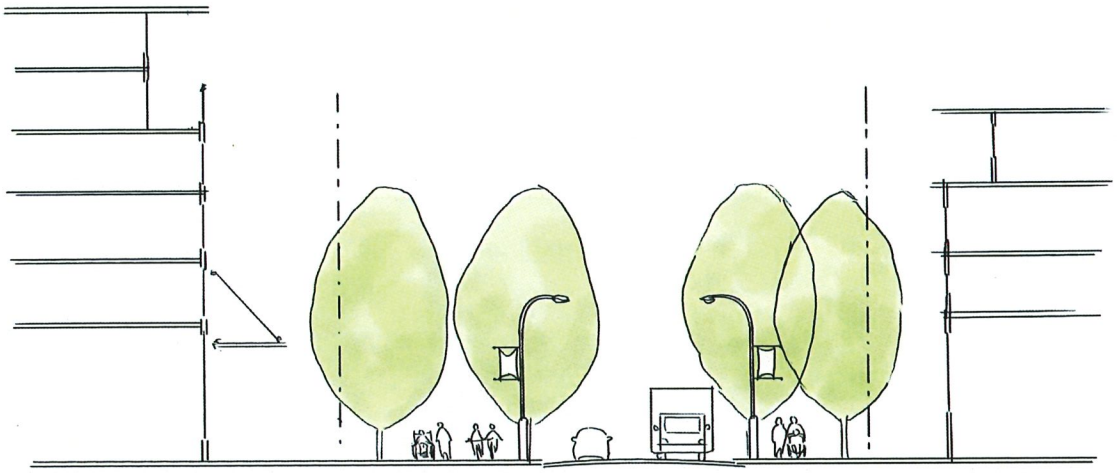


Figure 6 Typical condition of the Off Lougheed Greenway in the Flexible Employment DPA

LANDSCAPE MATERIALS

3.6.19 When screens or fences are being incorporated into the design, use material that is attractive, durable and contributes to the quality of the overall design, such as wood.

3.6.20 Paving materials should be high-quality and authentic. Avoid the use of tinted, coloured or stamped concrete.

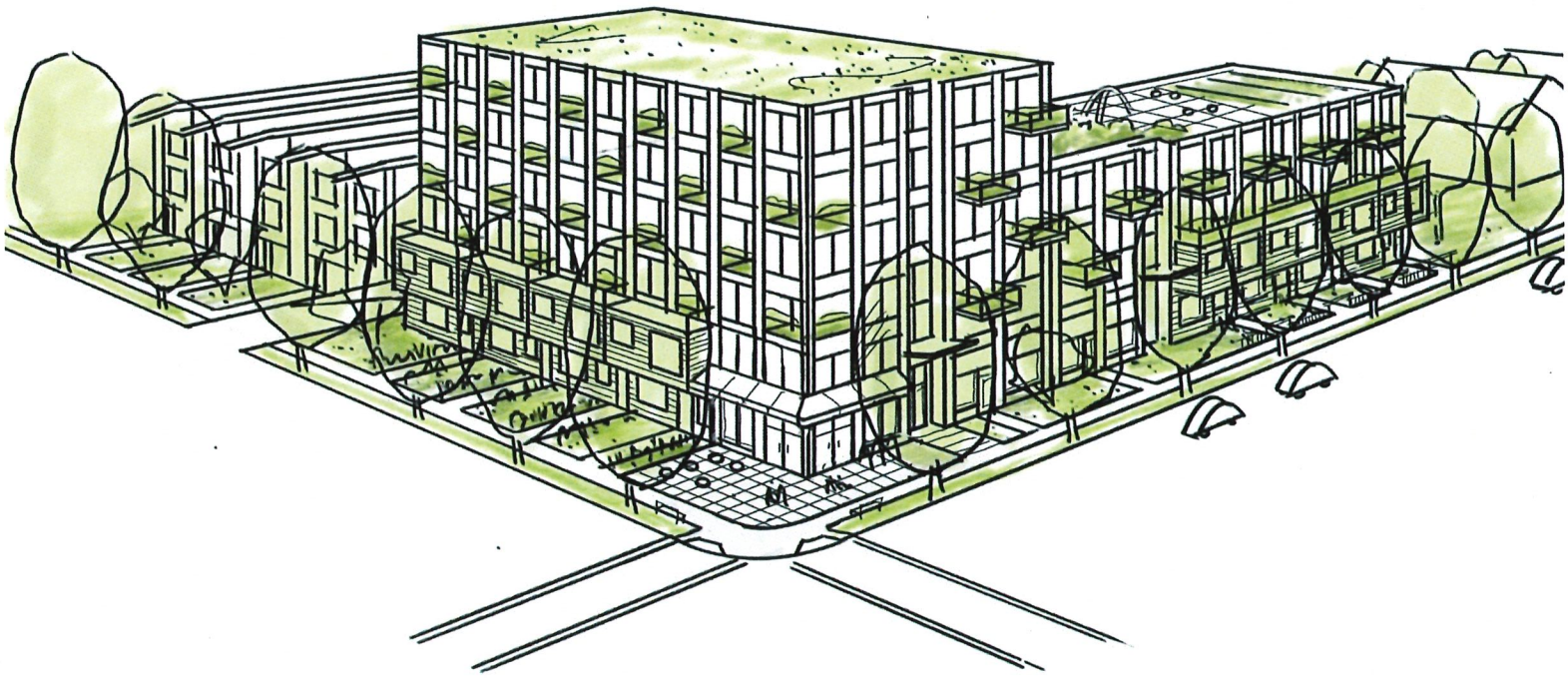
3.7 Refuse, Recycling and Servicing Areas

3.7.1 Outdoor storage is not permitted according to the zoning bylaw in these land uses, therefore no guidelines are provided regarding outdoor storage.

3.7.2 Whenever possible, overhead servicing doors and loading docks should be located to the rear, and should not be located on a building façade that faces the Off-Lougheed Greenway.

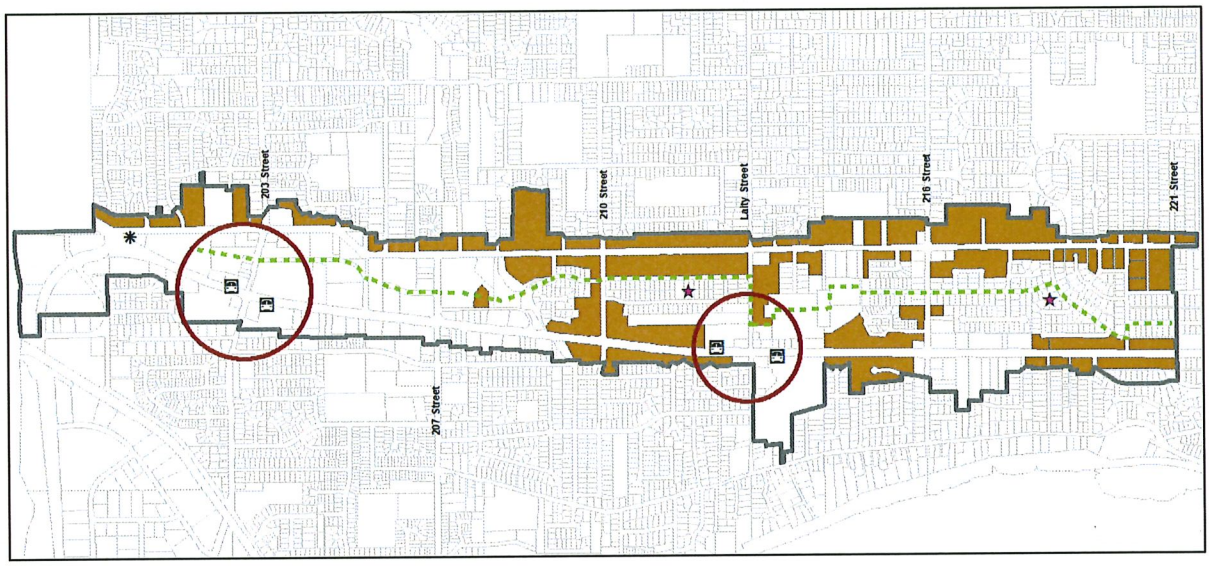
4.

Transit Corridor Multi-Family



4 Transit Corridor Multi-Family

This section is for all residential development on lands designated Transit Corridor Multi-Family.



LOUGHEED CORRIDOR MULTI-FAMILY DEVELOPMENT

TRANSIT CORRIDOR MULTIFAMILY - DESIGN DIRECTION SUMMARY

1. A single access point to underground parking is provided to avoid interruptions to the side walk or greenway (where applicable).
2. Design and finishes are accessible. Entrances are design to be flush with grade and have no step.
3. Ground floor residential uses are ground oriented, with private entrances, yards and/or patios; and, a pathway connecting to the sidewalk.
4. Articulation and materials create visual interest, a varied streetscape and human scale.
5. Greenroofs and raingardens contribute to sustainability.
6. Buildings on a corner site orient entrances towards both streets.
7. Seating and accessible design provides a welcoming streetscape.
8. Apartment lobby entrance is distinct and easy to identify and provides bike parking and seating.
9. Rooftops provide residents with shared outdoor amenity space.
10. Buildings step down toward adjacent existing buildings, when they are smaller in scale.

4.1 Building Design, Massing and Siting

HEIGHT

4.1.1 Buildings over 4 storeys in height are encouraged to step subsequent storeys back to maintain a pedestrian scale of development and provide architectural interest.

4.1.2 Consider view corridors to Golden Ears Mountain.

SITING

4.1.3 Buildings should be setback from the fronting street to provide generous space for ground oriented patios and yards for each ground level unit, and to provide opportunities for planting large canopy trees while still framing the street to create a human scaled, urban room.

4.1.4 When a building is located on a corner, the building should address both street frontages (i.e. provide windows and entrances on both streets).

4.1.5 Site buildings to capitalize on daylight and solar opportunities. Site buildings to allow for shared open spaces to be south facing, and to allow for large canopy deciduous trees on the south side of buildings to shade buildings and units in summer.

Figure 7 Generous setback to allow for a ground-oriented outdoor spaces. Building siting and massing addresses both streets on the corner.

MASSING

4.1.6 Design large buildings into smaller modules.

4.1.7 Individuality within a unified appearance is encouraged for buildings with multiple units and uses which could be expressed through colour, materials and articulation of architectural elements.

4.2 Access, Parking and Circulation

4.2.1 Parking should be provided underground.

4.2.2 At grade parking should be for a maximum of 10% of the required spaces.

4.2.3 At grade parking should be screened with landscaping to reduce the visual impact from surrounding public open spaces, private properties as well as from on site residential units.

4.2.4 Above ground parking structures and at grade parking should use artistic installation, architectural finishes or vegetation to create a visually pleasing vertical element.

4.2.5 Underground parking access should be from a rear lane or lower classified street.

4.2.6 Where pedestrian walkways are located adjacent to a building façade, provide windows to create visual interest.

4.2.7 Landscaping along walkways is encouraged to soften hardscapes.

4.2.8 Ensure surfacing is universally accessible, yet explore opportunities for various treatments to create visual interest.

4.2.9 Provide secure and sheltered bicycle storage facilities for short-term uses.

Figure 8 Distinct and separate unit entrances

4.2.10 Provide long-term bicycle parking.

4.2.11 Distinguish entrances with arrival areas and courtyards.

4.2.12 Where ground floor residential is permitted, provide at grade entrances for each unit on the ground floor, consider these for larger family units.

4.2.13 Where at grade parking is present, provide raingardens with capacity to infiltrate the rainwater that is generated as a result of the impermeable paved area.

4.2.14 Seek opportunities to reduce impermeability and to increase permeability, such as permeable paving or other finishes, and the overall reduction of paved area.

4.2.15 Paving should be of a light colour to reduce the urban heat island effect.

4.2.16 All residential underground parking spaces should provide electric vehicle charging connections or adaptability.

4.2.17 Parking access points should be limited to one to reduce the number of driveway let downs that interrupt the public sidewalk and/or greenway.

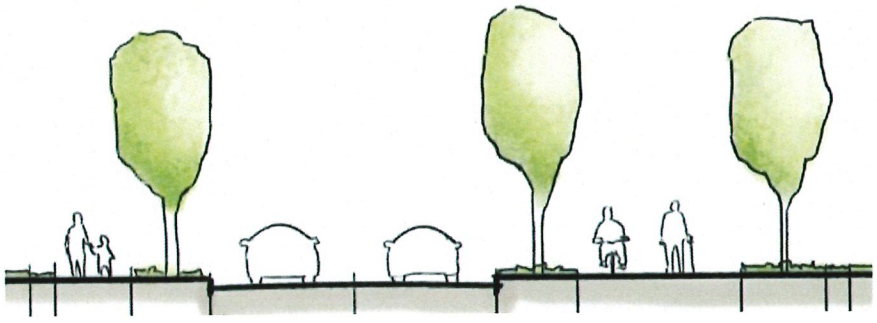


Figure 9 Typical condition of the Off Lougheed Greenway in the Transit Corridor Multi-Family DPA

4.3 Landscaping and Open Space

STREET TREES

4.3.1 Provide street trees that are well adapted to urban conditions and are resilient to climate change.

4.3.2 Provide street trees that create a large and transparent tree canopy.

4.3.3 Provide edible landscaping in shared residential open spaces and as a part of private outdoor patios (i.e. blueberries, huckleberries, apples, figs, bay trees).

4.3.4 Where trees are planted in a paved street boulevard, provide soil cells or structural soil for to allow for healthy long-term growth. Where the boulevard is planted with shrubs or grass, and is 2.0m wide or more then soil cells and structural soil are not required.

GENERAL PLANTING

4.3.5 Design landscapes to support native pollinators (i.e. native flowering plants, composted mulch/incorporate logs) and song birds (i.e. include coniferous trees for refuge; include plants with persistent fruits in winter; and, design plant areas so that they have multiple layers of foliage (ex. ground cover, shrub layer and trees)).

4.3.6 Reduce the urban heat island effect by incorporating trees with significant tree canopy to shade areas of paving.

4.3.7 Where space is limited, provide columnar tree species.

4.3.8 Find opportunities to integrate coniferous trees to provide rainwater interception.

4.3.9 All areas that are not paved are to be planted with sod, ground cover, perennials, shrubs or trees. Large expanses of rock and gravel are discouraged (strategic use of river rock in raingardens, and under building overhangs is acceptable).

4.3.10 Planted/garden areas are to be finished with composted bark mulch.

WATER AND RAINWATER

4.3.11 Provide irrigation for all planted areas.

4.3.12 Create raingardens to infiltrate rainwater.

4.3.13 Green roofs and cisterns are encouraged.

4.3.14 Use native and drought resistant plants in landscaping when possible.

LANDSCAPE CHARACTER

4.3.15 When screens or fences are being incorporated into the design, use material that is attractive, durable and contributes to the quality of the residential landscape design, such as wood.

4.3.16 Paving materials should be high-quality and authentic (i.e. cast in place concrete, pavers, stone etc. Avoid the use of tinted, coloured or stamped concrete).

4.4 Refuse, Recycling and Servicing Areas

4.4.1 Locate and enclose trash, composting and recycling to reduce visibility from public areas as well as adjacent and on-site residential units.

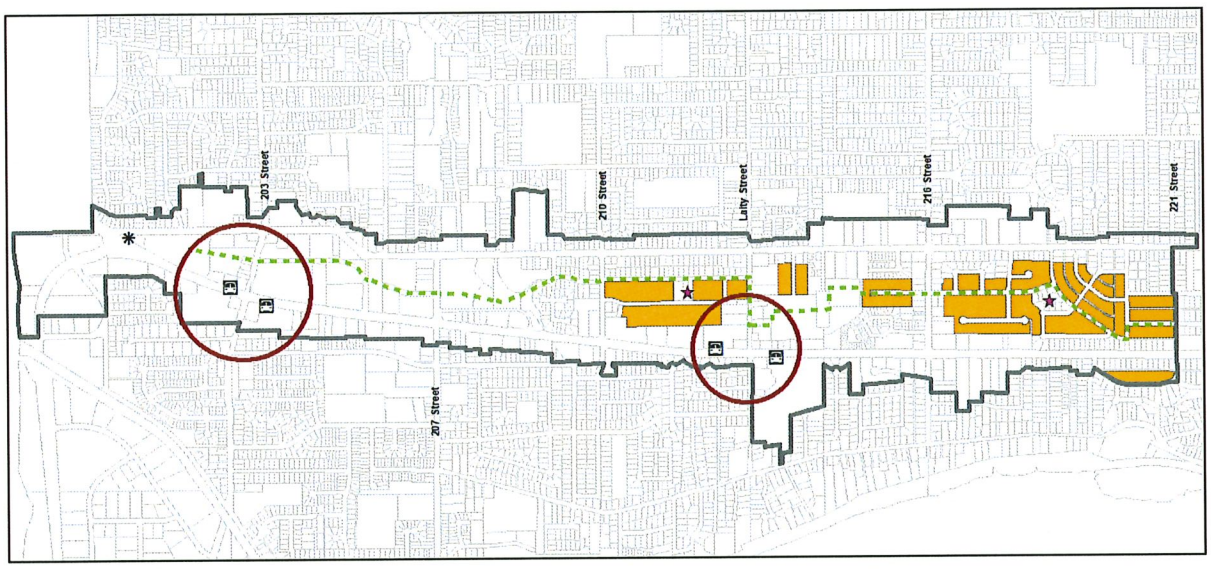
4.4.2 Screen mechanical equipment

4.4.3 Locate building ventilation systems to minimize noise and exhaust nuisances for pedestrian areas and residential units.

5.

Intensive Attached Residential

5 Intensive Attached Residential



INTENSIVE ATTACHED RESIDENTIAL - DESIGN DIRECTION SUMMARY

1. Each unit has a private entrance and private outdoor space.
2. Coniferous trees and raingardens support biodiversity and intercept rainwater.
3. Parking is located to the rear off of the laneway.
4. Seating and accessible design provides a welcoming streetscape.
5. Buildings on a corner site orient entrances towards both streets.
6. Articulation and materials create visual interest and a varied streetscape.
7. Roof overhang, porch and entrance emphasize residential character.
8. A low fence and shrubs delineate public space from private gardens, while maintaining sightlines from the sidewalk to the home.

5.1 Building Design, Massing and Siting

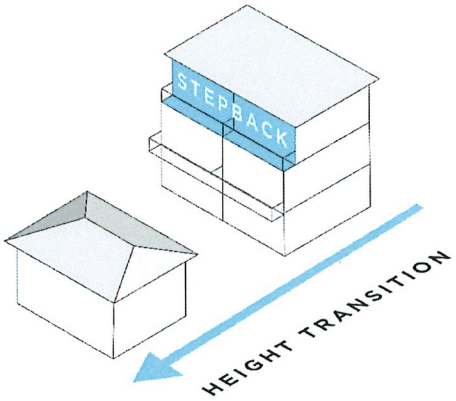
5.1.1 Respect the neighbourhood context, in terms of size, scale and massing.

5.1.2 Transition to neighbouring properties by stepping massing down.

5.1.3 Emphasize residential character with a clearly identifiable front entrance with roof overhang and private open space such as a porch or patio, oriented to the street.

5.1.4 Encourage building articulation to create a comfortable scale and interesting streetscape.

5.1.5 Create unit and building diversity to ensure a varied streetscape.



5.2 Landscaping and Open Space

STREET TREES

5.2.1 Provide street trees that are well adapted to urban conditions and are resilient to climate change.

5.2.2 Provide street trees that create a large and transparent tree canopy.

GENERAL PLANTING

5.2.3 Design landscapes to support native pollinators (i.e. native flowering plants, composted mulch/incorporate logs) and song birds (i.e. include coniferous trees for refuge; include plants with persistent fruits in winter; and, design plant areas so that they have multiple layers of foliage (ex. ground cover, shrub layer and trees)).

5.2.4 Reduce the urban heat island effect by incorporating trees with significant tree canopy to shade areas of paving.

5.2.5 Where space is limited, provide columnar tree species.

5.2.6 Find opportunities to integrate coniferous trees to provide rainwater interception.

5.2.7 All areas that are not paved are to be planted with sod, ground cover, perennials, shrubs or trees. Large expanses of rock and gravel are discouraged (strategic use of river rock in raingardens, and under building overhangs is acceptable).

5.2.8 Planted/garden areas are to be finished with composted bark mulch.

WATER AND RAINWATER

5.2.9 Permeable surfaces for pathways and driveways as well as other opportunities for infiltration and on-site rainwater retention are encouraged. Consider permeable pavers or reducing overall paved area. Also consider water cisterns and green roofs, as well as raingardens on site.

PRIVATE AND SEMI-PRIVATE OPEN SPACE

5.2.10 Provide usable private open space for each unit (i.e. minimum 3m width, and an overall private outdoor area of at least 9m^2).

5.2.11 Delineate semi-private and shared or public open space through the use of planted areas and/or fence. Shrubs should be a low growing or dwarf species to maintain views beyond the open space and to maintain a visible connection to the street or shared open space. Fences should also be low (i.e. max 1.2m). Trees species should be selected to provide transparency.

LANDSCAPE LIGHTING

5.2.12 Design outdoor lighting to minimize light pollution and select fixtures that protect the night sky.

5.2.13 Consider including small scale, low level lighting along pedestrian routes, such as under benches, to illuminate address signage, within bollards and up-lighting of trees to add character and ambiance.

LANDSCAPE MATERIALS

5.2.14 When screens or fences are being incorporated into the design, use material that is attractive, durable and contributes to the quality of the residential landscape design, such as wood.

5.2.15 Paving materials should be high-quality and authentic. Avoid the use of tinted, coloured or stamped concrete.

LANDSCAPE CHARACTER

5.2.16 Maintain sightlines to streets, lanes, and/or pathways from windows, balconies and private patios. For example, select dwarf or low growing shrubs species for planting next to ground level patios (1.2m height maximum). Fences should be 1.2m height maximum. Trees species should provide transparency except where coniferous trees are being used to increase habitat and rainwater infiltration.

5.2.17 Avoid opaque hedges (i.e. cedar, laurel, yew hedges) along property lines to avoid shading public and private spaces and obscuring views.

5.2.18 Applicants are encouraged to provide a welcoming streetscape (i.e. provide seating areas adjacent to the public sidewalk for residents as well as passersby).

5.2.19 Use shrubs and perennials to soften the edge between public pathways and private residential entrances.

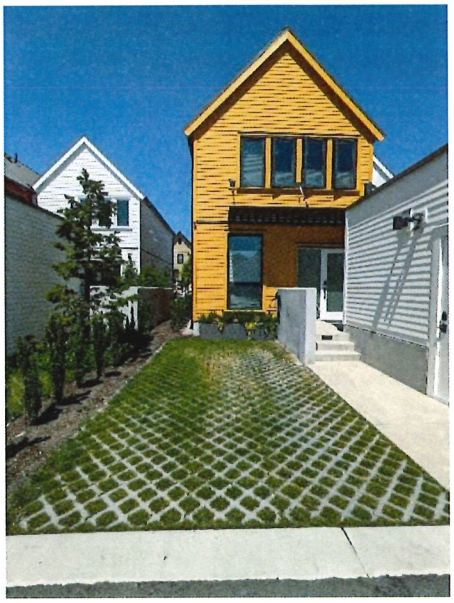
5.3 Vehicle Access, Parking and Circulation

5.3.1 Require a clear access route to the entrance of the units, with lighting.

5.3.2 Share site access between units/developments wherever possible to reduce the amount of paved surface and to reduce the number of driveways along street frontages.

5.3.3 Electric vehicle charging connections are encouraged for all residential parking spaces.

5.3.4 Use alternative driveway surfacing materials for increased permeability.



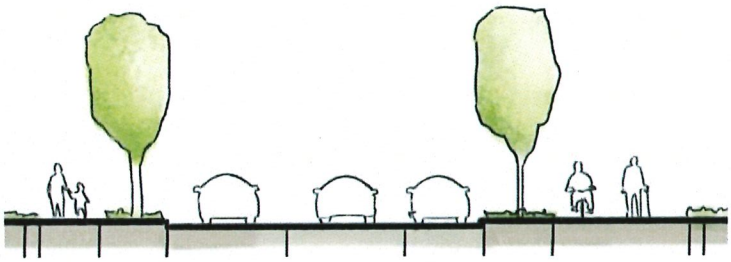
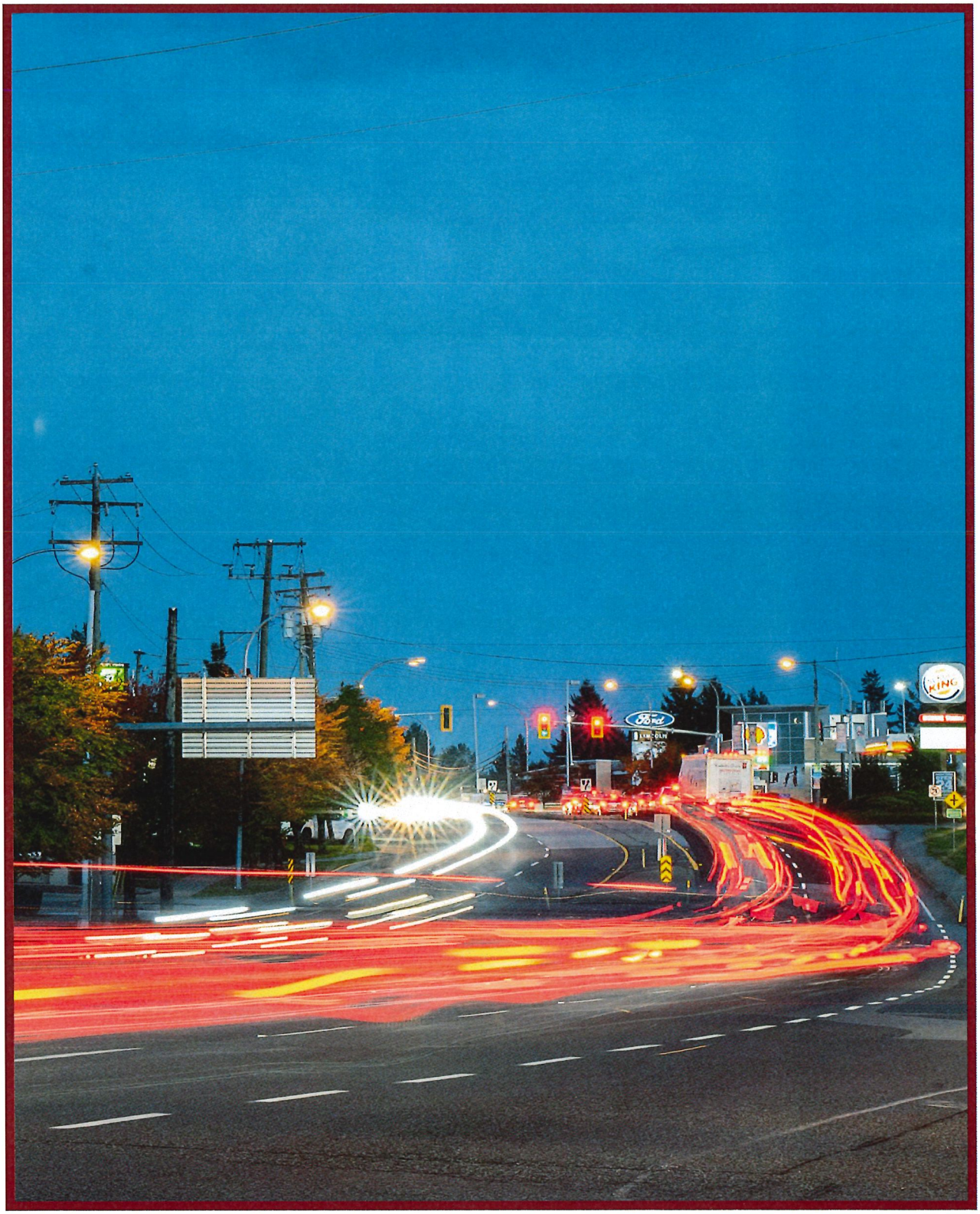


Figure 10 Typical condition of the Off Lougheed Greenway in the Intensive Residential DPA

10.7 LOUGHEED TRANSIT CORRIDOR AREA PLAN



LOUGHEED TRANSIT CORRIDOR AREA PLAN

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1.0 INTRODUCTION

1.1 BACKGROUND

The Lougheed Transit Corridor Area is defined geographically as lands bordering Dewdney Trunk Road and Lougheed Highway, including land between these two arterials from the western boundary of the Town Centre Area Plan to the western City boundary with Pitt Meadows.

Currently the Lougheed Transit Corridor is characterized by suburban development patterns, with highway-oriented service commercial use and mostly single-family homes. Lot coverage and building heights are low; and places are designed for automobiles as the main form of transportation, with wide roads, low intersection density, abundant surface parking, and highway signage.

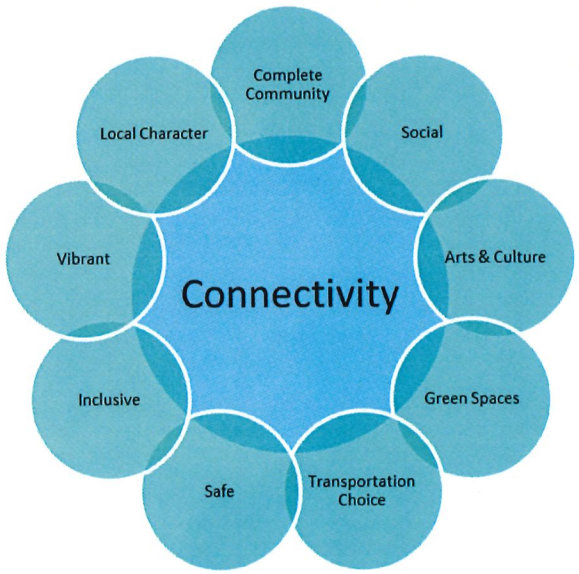
While the area plan envisions expansion of the residential and commercial components of the Lougheed Transit Corridor to be more varied in use and dense in form, the area is intended to remain smaller in scale to the Town Centre Area.

Maple Ridge has identified the Lougheed Transit Corridor as a Frequent Transit Development Area in Metro Vancouver's Regional Growth Strategy. The Lougheed Highway from Maple Ridge Town Centre to Coquitlam, is a regional Major Transit Growth Corridor, identified by TransLink's Transport 2050 as a location for future transit investment in rapid transit through exclusive lanes for light rail or bus travel.

The rapid bus line from Maple Ridge Town Centre to the Evergreen Skytrain line in Coquitlam is the beginning of more efficient and convenient transit service for Maple Ridge residents, that provides a more viable alternative to destinations across the Metro Vancouver region and reduces the need for a personal vehicle.

1.1.1 COMMUNITY VISION

Through public consultation for the Lougheed Transit Corridor Study, an overarching theme that was often heard and resonated with various other key topics was a desire for connectivity. The theme of connectivity was envisioned through the built form; as a transition through a mix of land uses and building typologies; in a well-connected and designed network of streets; and through connecting people of all ages and demographics in a place where they can walk, shop, eat, visit, gather, and play.



To help provide some definition for each of the themes, the following points below highlight the collective community vision for a neighbourhood that includes:

- Physical linkages for ease of mobility;
- A range of commercial uses and various housing types and tenures;
- An increase in commercial and employment activity;
- Opportunities for social interaction;
- Arts and cultural experiences;
- Green spaces in proximity to the built environment;
- Options for transportation, including walking, cycling, and public transit;
- Neighbourhoods that feels safe;
- Places that are inclusive to all ages and demographics
- Vibrant destinations designed for people; and
- Local character and historical elements reflected in the built environment.
- Manage single-occupancy vehicles with Transportation Demand Management strategies.

1.2 Assumptions and Metrics

The Lougheed Highway between Maple Ridge Town Centre and the Evergreen Skytrain line in Coquitlam is classified as a Major Transit Growth Corridor in TransLink's Transport 2050 and Metro Vancouver's Regional Growth Strategy *Metro 2050.* Major Transit Growth Corridors correspond with areas for long-term public transit investment and locations for employment and residential densification to ensure sustainable transit ridership to justify regional transit investment. In the future, the projected demographics for Maple Ridge's Lougheed Transit Corridor are:

	Population	Dwelling Units	Jobs
2021	4,500	1,800	6,300
2035	11,800	5,300	8,600
2050	16,400	6,900	11,000

These metrics will be measured every five years with Census data.

1.3 Role of the Area Plan

The Lougheed Transit Corridor Area Plan reflects the community's values and is the preeminent document for long range planning and development with the Lougheed Corridor boundaries. The Lougheed Corridor Area Plan forms part of the Official Community Plan.

Plan Overview

The Lougheed Transit Corridor Area Plan uses the six Guiding Principles (in Section 2.0 below) to provide a framework for growth and development in the area. Transit Nodes at the intersections of 203 Street and Lougheed Highway, as well as Laity Street and Lougheed Highway are the area's focal nodes being mixed-use destination locations with the highest densities in the Area Plan. Additionally, a 203 Street, Laity Street and 216 Street are identified as Complete Streets that are important pedestrian and cycling routes with a range of destinations and key residential density. The Transit Nodes are intended for the greatest concentration of mixed-uses, such as office and educational uses, health services, apartments, and gathering spaces.

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2. GUIDING PRINCIPLES

Over the course of the next 30 years, a significant evolution of the Lougheed Corridor is anticipated. The Lougheed Transit Corridor Area Plan sets the course to guide the next chapter of growth in this area, shaping it from its former auto-oriented suburban development pattern, to an urban group of neighbourhoods served by rapid transit. Using the community vision and themes created through the public consultation process, the following guiding principles underpin the Lougheed Transit Corridor Area Plan.

1. RAPID TRANSIT STOPS ARE MIXED-USE EMPLOYMENT HUBS.

The five minute walking distance around rapid transit stations on Lougheed Highway, generally 400 metres surrounding the intersection, are key locations for local jobs, complimenting existing health services and business park employment. Employment opportunities served by frequent and reliable transit supports equity in job access. A range of uses, coupled with new multi-family housing units and pedestrian friendly design, make these nodes complete communities that are walkable, mixed-use, and transit-oriented. Complete communities foster a variety of jobs and social, cultural, educational, and recreational amenities for people in all stages of life.

Objectives

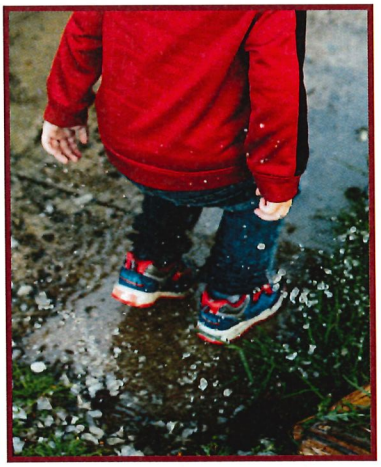
- Encourage a hierarchy of nodes that maintain the Town Centre as Maple Ridge's downtown.
- Increase the number and types of jobs within walking distance of rapid transit.
- Locate highest residential densities at Transit Nodes and along Complete Streets.
- Use design principles to create an urban environment, particularly at Transit Nodes and along Complete Streets.
- Promote architectural design excellence informed by local identify and context.
- Design Multi-Family and Mixed-Use developments to consider the road classification and adjacent land use.

2. MOBILITY CHOICE IS ENHANCED.

Design, planning and investment provide amenities for safe, convenient and enjoyable trips on foot, by bike and transit. Creating complete communities, where daily needs are located within short distances from where people live, enhances mobility choice, and this coupled with access to efficient and effective transit reduces gaps in equity. Considerations include improved neighbourhood connectivity through new streets and walkways. Similarly, the infrastructure and design needs of emerging mobilities are considered through re-development.

Objectives:

- Grow transit ridership to build a case for future rapid transit investment.
- Connect Maple Ridge to the region through enhanced rapid transit.
- Reduce reliance on single-occupancy vehicles with Transportation Demand Management strategies.
- Make decisions informed by land use and transportation planning best practices to help address congestion-related concerns.
- Ensure that active transportation modes can be supported through re-development and capital projects.
- Create smaller blocks with new roads and pathways to improve access and walkability.



3. THE BUILT ENVIRONMENT IS DESIGNED AT A HUMAN SCALE.

Buildings, streets, and outdoor spaces consider the pedestrian experience. Care and attention are given to creating comfort, safety, accessibility and beautiful details that invite and delight.

Objectives:

- Shape places for people rather than cars through urban design.
- Design streets to create vibrant and dynamic places.
- Expand opportunities for both informal and formal community gathering spaces through redevelopment.
- Design buildings and sites for employment uses that are pedestrian-oriented along Off-Lougheed Greenway.
- Create a linear greenway route to promote a neighbourhood feel that also provides connection for walking, cycling and general recreation.

4. HOUSING FOR THE NEEDS OF MANY.

To create a diverse and inclusive community, different housing types and tenures are needed to accommodate both current and future residents. The range of housing needs that the Area Plan seeks to satisfy include: purpose-built rental units, universally accessible multi-family housing, ground-oriented units geared towards larger households, as well as seniors and affordable housing. Diverse housing options serviced by frequent and reliable transit supports equity in housing access. Over time, these housing types and tenures will provide a broader range of options and complement the existing single detached neighbourhood character surrounding the Lougheed Transit Corridor.

Objectives:

- Encourage moderate 'missing middle' infill housing between Dewdney Trunk Road and Lougheed Highway.
- Create new multi-family housing units in existing commercial areas.
- Increase and enhance the stock of rental housing, while maintaining affordable housing units for current residents.

5. NEIGHBOURHOODS ARE SAFE, DIVERSE AND INCLUSIVE.

Safety considerations are addressed through Crime Prevention Through Environmental Design (CPTED), to ensure visibility, natural surveillance, and lighting; and also through street design with safe crossing, appropriate demarcation of cycling, pedestrian and vehicular zones. Resident inclusion and diversity is prioritized through creating and enhancing community gathering spaces that include programming to facilitate neighbourhood vitality and build community pride and spirit. Public art further celebrates diversity.

Objectives:

- Integrate culture and heritage through public art installations.
- Design streets to be safe and enjoyable places to walk and cycle at all hours.

6. GREEN SPACES CONNECT PEOPLE AND NATURE.

There are unique parks and conservation lands in this area that include the urban watercourses: McKenney Creek and the Katzie Slough, as well as the Maple Ridge Cemetery. Through re-development, greater emphasis on access and rehabilitation of these spaces will reconfirm the value of green spaces and their role as restorative, recreational spaces for the community.

Objectives:

- Provide new park spaces in infill areas.
- Enhance and maintain health of environmentally sensitive areas.
- Improve access and visibility of existing green space and environmentally sensitive areas.

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3.0 GENERAL LAND USE OBJECTIVES & POLICIES

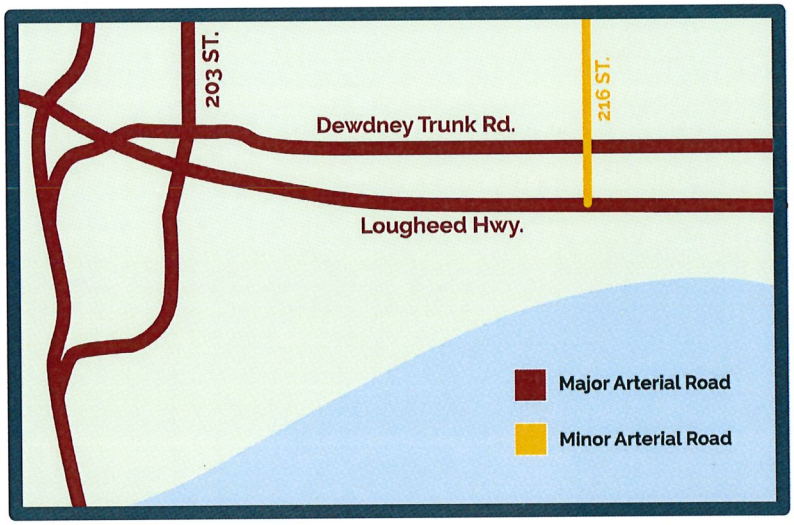
GUIDING PRINCIPLES
RAPID TRANSIT STOPS ARE MIXED-USE EMPLOYMENT HUBS.
HOUSING FOR THE NEEDS OF MANY.

OBJECTIVES:

- Design Multi-Family and Mixed-Use developments to consider the road classification and adjacent land use.
- Locate highest residential densities at Transit Nodes and Complete Streets.
- Increase and enhance the stock of rental housing, while maintaining affordable housing units for current residents.

POLICIES:

3-1 Maple Ridge will encourage buildings over six storeys in height between Dewdney Trunk Road and Lougheed Highway, with transitional building heights of four to six storeys north of Dewdney Trunk Road and south of Lougheed Highway.



3-2 Maple Ridge will require buildings to step down to maximum of four storeys on the border of the area plan adjacent to lands designated *Urban Residential – Neighbourhood Infill* that are expected to remain lower density.

3-3 Maple Ridge will restrict direct vehicular access from Dewdney Trunk Road and Lougheed Highway as re-development occurs with new east-west lanes and roadway connections provided off north-south streets.

3-4 Maple Ridge will support buildings that are sited to create space for outdoor dining, and merchandise display adjacent to the road right-of-way while maintaining strong connection to the street.

3-5 Maple Ridge will required development on Major Arterial roads to be sited a minimum of six metres from the front property line and use landscaping to minimize the sound and visual impact of traffic.

3-6 Land assembly or lot consolidation proposed in conjunction with development, re-development, conversion, or infilling should meet the following conditions:

a) That any residual lots are left in a configuration and lot area which are suitable for a future development proposal, or can be consolidated with other abutting residual lots or land parcel and complies with the applicable Land Use Designations and Policies of this area plan;

b) The use of any residual abutting lots can continue to function in accordance with the applicable Land Use Designation and Policies of this area plan;

c) Residual abutting lots or land parcels are not isolated or left in a condition which is unsuitable for redevelopment or unsuitable for the maintenance of the existing land use;

d) The land assembly proposal will incorporate adequate impact mitigation measures such as the provision of buffers, landscaping, site design, building arrangements and building design to ensure compatibility with abutting existing land uses.

3-7 As re-development occurs, parking is desired to be located underground.

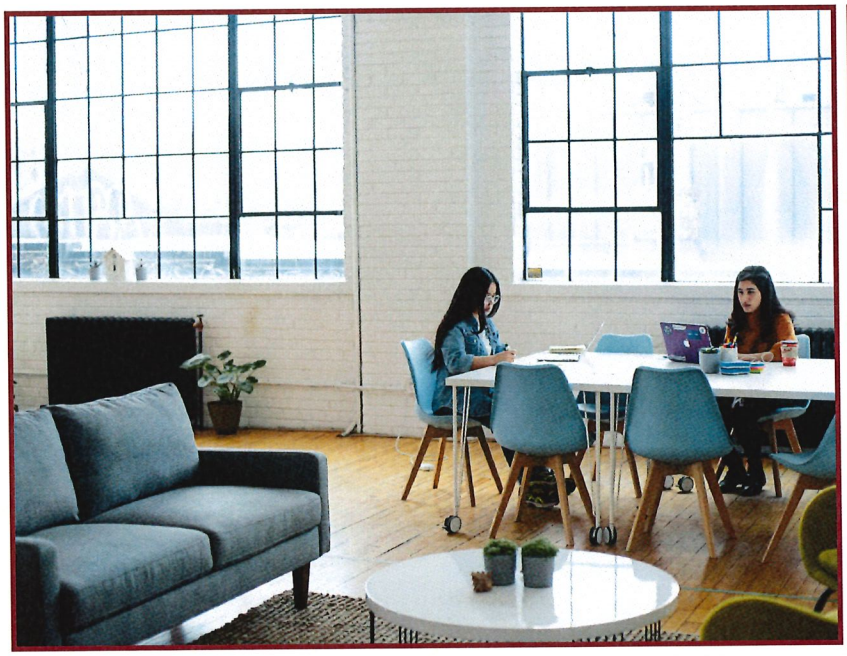
3-8 Maple Ridge will categorize the Lougheed Transit Corridor as a Frequent Transit Development Area in the Regional Growth Strategy.

3-9 Maple Ridge will encourage the construction of purpose-built rental housing.

3-10 Maple Ridge will support the retention of existing affordable rental units and will trigger tenant relocation processes outlined in Council policy to minimize impacts to existing residents.

3-11 Maple Ridge will work with Provincial and Federal agencies to secure sites for non-market housing, and work with the development community in sharing funding opportunities.

3-12 Maple Ridge will encourage the installment of bicycle parking in prominent well-lit locations as well as secure bike storage in new developments.



3-13 Maple Ridge will explore and develop a density bonus program in alignment with Council's strategic initiatives.

3-14 Maple Ridge will encourage complete communities in the Lougheed Transit Corridor that include housing, jobs, services and amenities, and transit to reduce vehicle trips.

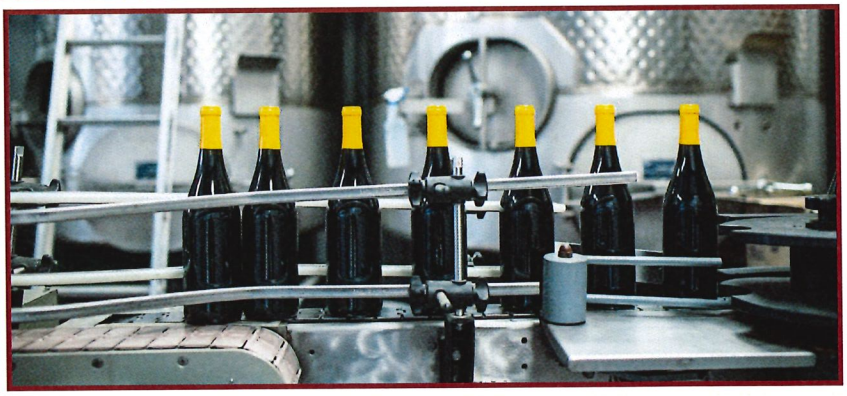
3-15 Limit suburban design elements and uses, such as drive-throughs, strip malls and highway commercial uses to select areas of the Lougheed Transit Corridor outside of Transit Nodes and Complete Streets.

3-16 Concealed parking structures are encouraged in all commercial, mixed-use, multi-family uses, and institutional uses in the Lougheed Transit Corridor. Below grade parking structures are particularly encouraged for Low-Rise, Medium, and High-Rise Apartment, Mixed-Use, Commercial and Institutional buildings.

3-17 Above grade concealed parking is a viable option where building height (six or more storeys) coupled with challenging site conditions make it cost prohibitive to provide all required parking spaces in an underground structure. Above grade parking structures should be designed in a manner that the pedestrian realm and streetscape are not negatively impacted.

3-18 Maple Ridge will use the Lougheed Transit Corridor Development Permit Guidelines to inform the urban design of new development.

3-19 Maple Ridge will support the adaptive re-use of heritage buildings.



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4.0 LAND USE DESIGNATIONS & POLICIES

This section describes the land use designations and supporting policies in the Lougheed Transit Corridor.

A "designation" of land on a schedule of the Official Community Plan characterizes what land uses could be supported in the future. City Council "designates" the types of land use activities that are appropriate for different areas throughout the City. The designations are general in nature, and specific form, character, and density details are contained in the Development Permit Guidelines and accompanying Zones.

An amendment to the Official Community Plan is required to adopt or change a land use designation and this includes four readings of an amending bylaw and a Public Hearing. The land use designations are mapped on Schedule 1 of the Lougheed Transit Corridor Area Plan and are summarized below.

GUIDING PRINCIPLES
RAPID TRANSIT STOPS ARE MIXED-USE EMPLOYMENT HUBS.
HOUSING FOR THE NEEDS OF MANY.

OBJECTIVES:

- Encourage a hierarchy of nodes that maintain the Town Centre as Maple Ridge's downtown.
- Increase the number and types of jobs within walking distance of rapid transit.
- Locate highest residential densities at Transit Nodes and along Complete Streets.
- Design Multi-Family and Mixed-Use developments to consider the road classification and adjacent land use.
- Make decisions informed by land use and transportation planning best practices to help address congestion-related concerns.
- Encourage moderate 'missing middle' infill housing between Dewdney Trunk Road and Lougheed Highway.
- Create new multi-family housing units in existing commercial areas.
- Increase and enhance the stock of rental housing, while maintaining affordable housing units for current residents.

4.1 LOCAL RESIDENTIAL INFILL

The *Local Residential Infill* designation permits single-family dwellings with complimentary secondary suites and detached garden suites as permitted by the property's zoning, to maintain existing single-family character.

POLICIES:

4-1 Maple Ridge will support the retention of single family homes to maintain a mix of housing forms.

4-2 Maple Ridge will encourage accessory residential units such as secondary suites and detached garden suites.

4.2 Intensive Attached Residential Infill

The *Intensive Attached Residential* Infill designation permits attached residential housing forms such as duplexes, triplexes, and rowhomes to a maximum of three storeys for moderate density.

Policies:

4-3 Maple Ridge will explore expanding the range of housing forms in established neighbourhoods to include duplex, triplex and row homes to encourage moderate densification while maintaining the existing lot pattern.

4-4 Maple Ridge will promote attached forms of housing with two to four residential units to encourage ground oriented residential units in proximity to a range of existing services.

4-5 Maple Ridge will support moderate densification in neighbourhoods with the creation of new rear lane vehicular access, as shown on Schedule 2.

4-6 The *Intensive Attached Residential Infill* land use permits new residential units that maintain similar massing to a single family home.

4.3 Transit Corridor Multi-Family

The *Transit Corridor Multi-Family* designation permits multi-family residential densification through lot consolidation along key arterials such as Dewdney Trunk Road and Lougheed Highway, as well as Major Corridors. Supported multi-family residential forms of development include fourplexes, courtyard residential, townhouses, apartments, and assisted living

Policies:

4-7 Maple Ridge will require a minimum lot consolidation of 2,000 m^2 for multi-family developments.

4-8 Maple Ridge will support buildings heights of four to six storeys.

4-9 Maple Ridge will encourage the creation of flexible amenity space that can be used as communal office or work area.

4.4 Commercial Mixed-Use

The *Commercial Mixed-Use* designation permits a mixed-use form of development with ground floor commercial and residential apartments above. Office use is also permitted above ground level.

Policies:

4-10 Maple Ridge will support a minimum of four storeys.

4-11 Maple Ridge will require a minimum lot consolidation of 3,000m^2 for commercial and mixed-use developments.

4-12 Maple Ridge will create a new commercial mixed-use zone for specific application in the Lougheed Transit Corridor.

4-13 Maple Ridge will permit commercial mixed-use buildings at Transit Nodes and along Complete Streets with ground floor commercial.

4-14 Compact neighbourhoods are desired and encouraged through high density development, wherein a variety of land uses are located such that residents and workers are within walking distance of many destinations.

4-15 Commercial uses in mixed-use buildings should serve the basic, everyday needs of residents, such as grocery, convenience and personal services, as well as destinations for residents within a five minute walking distance or 400m radius, such as retail and restaurants.

4-16 Commercial uses with extended hours such as cinemas, restaurants, bars and other evening entertainment venues are encouraged at the 203 Street Transit Node to create night life opportunities.

4-17 Complimentary health services to the Ridge Meadows Hospital are encouraged at the Laity Street node, including medical offices, pharmacies, medical imaging, laboratories, convenience retail, childcare, assembly, and restaurant.

4-18 Ground-floor commercial is required at Transit Nodes and along Complete Streets for the *Commercial Mixed-Use* land use designation.

4-19 Locate an event plaza in the 203 Street Transit Node for gatherings such as farmer's markets, concerts, and community festivals.

4.5 Flexible Employment

The *Flexible Employment* designation permits a business park form of development, with a consistent architectural standard, and pedestrian focused design. Typical highway commercial uses and live-work uses are also permitted and encouraged to be integrated within a business park format.

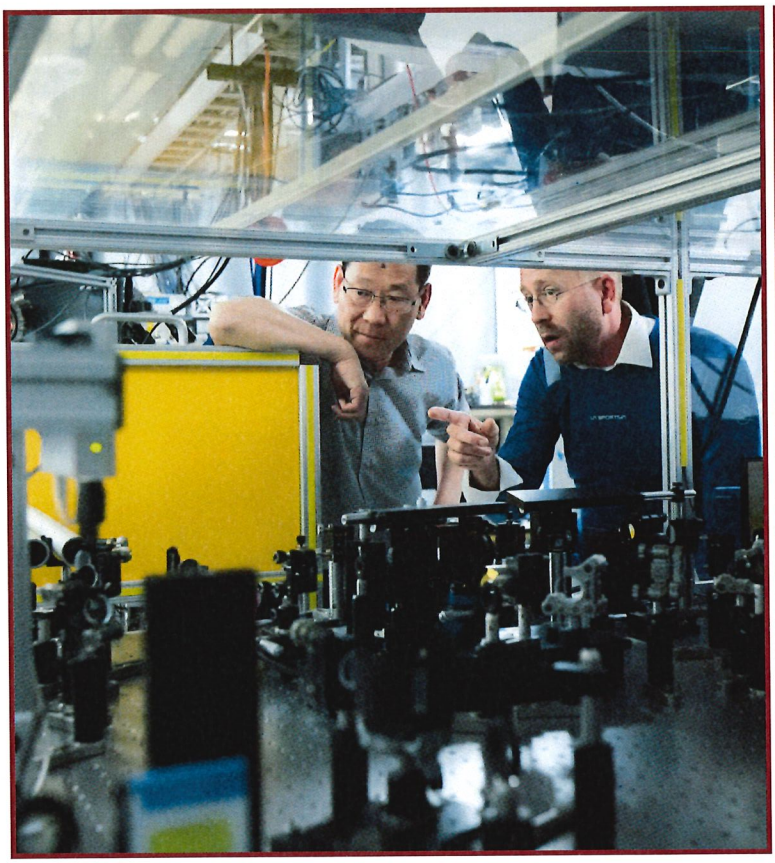
Policies:

4-20 Maple Ridge will support a minimum of two storeys and a maximum of six storeys.

4-21 Employment uses are completely enclosed in a building, and do not create noise, smell, or vibration issues to create compatibility with commercial and residential uses.

4-22 Maple Ridge will support live-work units that contain a residential space and a light industrial work space that also supports an accessory retail component.

4-23 The 207 Street and 119 Avenue intersection is encouraged to have destination light industrial uses that generate trips throughout the day and into the evening such as tasting rooms and lounges, performance space, boutique and niche artisanal retail, and restaurants connected with caterers or culinary schools.



4.6 Conservation

The *Conservation* designation is for the protection of ecologically sensitive lands and significant natural features that are essential to maintain the ecological diversity within the City.

Policies:

4-24 Conservation areas are intended for viewing and interpretation only. Where appropriate, trails may be incorporated into these areas for the enjoyment of experiencing these natural systems.

4-25 Through re-development, additional conservation land dedication will be sought by Maple Ridge to create better access to these spaces, providing enhancement opportunities, and creating passive recreation trails.

4-26 Use Streamside Protection Regulations to setback development from Environmental Sensitive Areas.

4-27 Maple Ridge will use signage in conservation areas to educate users about environmental stewardship.

4-28 Maple Ridge will create a north-south walking trail along the Katzie Slough in dedicated conservation land, with defined access points.

4-29 Maple Ridge will construct a north-south trail for pedestrians and cyclists along McKenney Creek in dedicated conservation land, with defined access points.

4.7 Park

The *Park* designation permits open space, recreation and park use under Municipal jurisdiction.

Policies:

4-30 Maple Ridge will acquire land adjacent to the off-Lougheed Greenway at Donovan Avenue and Wicklow Way for a new neighbourhood park. Park programing may include a sports court, play features, picnic space, walking paths or other amenities desired by the neighbourhood through a consultation process.

4-31 Maple Ridge will acquire land adjacent to Cook Park to expand the existing park. Park programing for the expansion may include a sports court, play features, picnic space, walking paths or other amenities desired by the neighbourhood through a consultation process.

4-32 Maple Ridge will acquire land adjacent to the off-Lougheed Greenway between 206 Street and 207 Street for a new neighbourhood park. Park programing may include a sports court, play features, picnic space, walking paths or other amenities desired by the neighbourhood through a consultation process.

4-33 Maple Ridge will evaluate opportunities for additional park spaces through re-development review. Opportunities may include an urban plaza and public gathering space near 203 Street between Dewdney Trunk Road and Lougheed Highway. Urban plaza space may include gathering space, seating options, water features, public art and play features to be reviewed through the development process.

4-34 Maple Ridge will support increased visibility of the Maple Ridge Cemetery along the south side.

4.8 Institutional

The *Institutional* designation includes diverse uses that meet specific community needs and that serve the local population, such as schools, community halls, recreational facilities, museum, places of worship, firehalls, daycare facilities, healing and wellness centres, correctional and rehabilitation facilities, public service uses, hospitals, cemeteries and congregate care facilities.

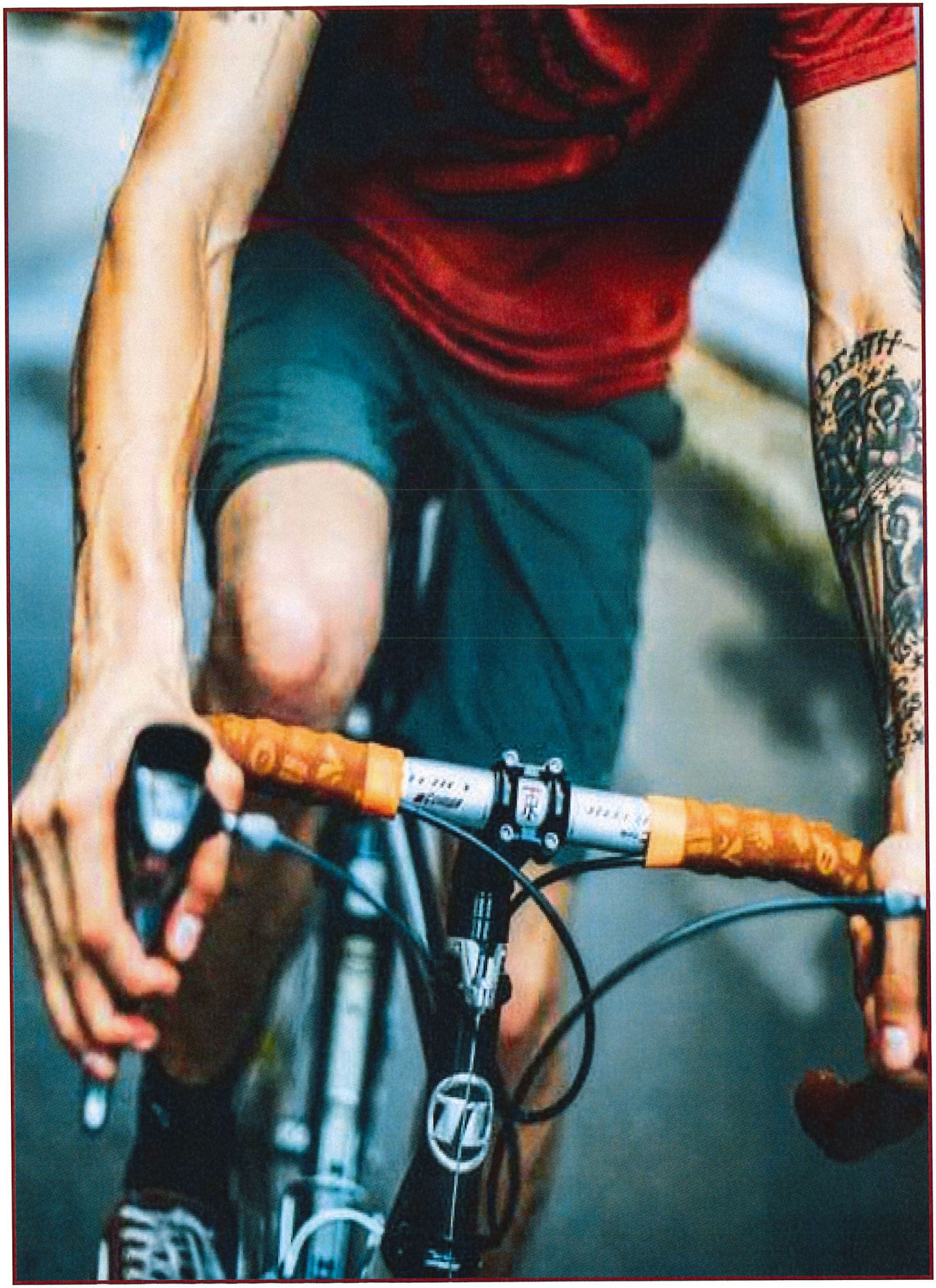
Policies

4-35 The integration of institutional uses with other uses in the community is encouraged and will be supported based on the following criteria:

a) compatibility with adjacent uses, the neighbourhood context and natural features;

b) located near public transit;

c) has direct access to a Major Corridor as identified on Figure 4 in the Maple Ridge Official Community Plan.


DEATH

5.0 TRANSPORTATION & CONNECTIVITY OBJECTIVES AND POLICIES

GUIDING PRINCIPLES
MOBILITY CHOICE IS ENHANCED.
NEIGHBOURHOODS ARE SAFE, DIVERSE AND INCLUSIVE.

OBJECTIVES

- Grow transit ridership to build a case for future rapid transit investment.
- Connect Maple Ridge to the region through enhanced rapid transit.
- Reduce reliance on single-occupancy vehicles with Transportation Demand Management strategies.
- Make decisions informed by land use and transportation planning best practices to help address congestion-related concerns.
- Ensure that active transportation modes can be supported through re-development and capital projects.
- Create smaller blocks with new roads and pathways to improve access and walkability.
- Shape places for people rather than cars using design principles
- Design streets to create vibrant and dynamic places.
- Create a linear greenway route to promote walking and cycling for transportation and recreation.
- Design streets to be safe and enjoyable places to walk and cycle.

POLICIES

5-1 Maple Ridge will work with TransLink to provide safe and well-lit areas for transit.

5-2 Maple Ridge will use universal design principles to create accessible routes to transit.

5-3 Maple Ridge will work with the Ministry of Transportation and Infrastructure and TransLink to create a dedicated bus lane on Lougheed Highway for faster, more reliable transit service.

5-4 Maple Ridge will advocate for local bus routes that bring residents from outside of the transit corridor to rapid transit in a convenient and efficient way.

5-5 Maple Ridge will create the Off-Lougheed Greenway to enhance neighbourhood livability with a connected, lower traffic volume route for pedestrians and cyclists.

5-6 Maple Ridge will prioritize non-vehicular forms of transportation on the Off-Lougheed Greenway.

5-7 Cycling facilities are separated from vehicular travel lanes on the Off-Lougheed Greenway.

5-8 Maple Ridge will explore the requirements for bike share amenities along the Off-Lougheed Greenway.

5-9 Maple Ridge will implement traffic calming where possible to create safe pedestrian and cycling facilities.

5-10 Maple Ridge will implement safe crossing measures at key intersections.

5-11 Maple Ridge will encourage the installment of bicycle parking in prominent well-lit locations along the Off-Lougheed Greenway as well as secure bike storage in new developments.

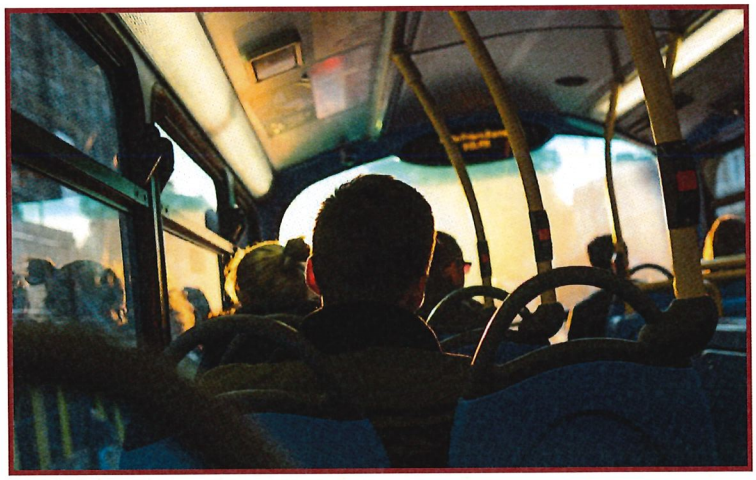
5-12 Maple Ridge will encourage wayfinding signage at key locations for cyclists and pedestrians along bicycle routes and at bus stops.

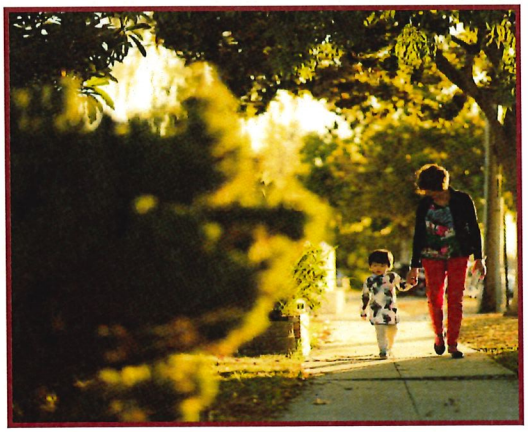
5-13 Maple Ridge will use the 'All Ages and Abilities' design approach and Crime Prevention Through Environmental Design (CPTED) principles to create comfortable environment for all Off-Lougheed Greenway users throughout all times of the day and evening.

5-14 Road improvements through new development and capital projects will identify and create safe spaces for active modes of transportation, such as walking and cycling.

5-15 Maple Ridge will require pedestrian level lighting on walkways to promote visibility and safety.

5-16 Maple Ridge will support active school travel by working with School District 42 on identifying and planning for safe and comfortable walking routes to schools.





5-17 Maple Ridge will explore the feasibility of reduced residential and commercial parking standards in proximity to rapid transit stations.

5-18 Maple Ridge will work in partnership with TransLink and car share providers to encourage identified car share parking spaces in new developments.

5-19 Maple Ridge will explore on-street parking time limits to promote access to local businesses.

5-20 Maple Ridge will encourage enhanced mobility choice with high quality infrastructure for active travel modes to provide options for residents that include enhanced connections east and west for ease of movement through this area.

5-21 Maple Ridge will require Transportation Impact Assessments, where appropriate, through the redevelopment process to help reduce traffic congestion.

5-22 Maple Ridge will investigate strategies for a range of parking facilities near rapid transit.

5-23 Maple Ridge will explore transportation demand management strategies to promote transit use and active forms of transportation.

5-24 Maple Ridge will identify locations for street pay parking, to promote turn over and prioritize non-vehicular transportation.

5-25 Maple Ridge will encourage public electric vehicle charging stations at transit nodes and high streets.

5-26 Maple Ridge will require pre-wiring for charging infrastructure in all new construction.

5-27 Maple Ridge will encourage a portion of commercial and employment parking spaces to be designated for car-sharing and car-pooling.

5-28 Maple Ridge will consider the needs of emerging micro-mobilities.

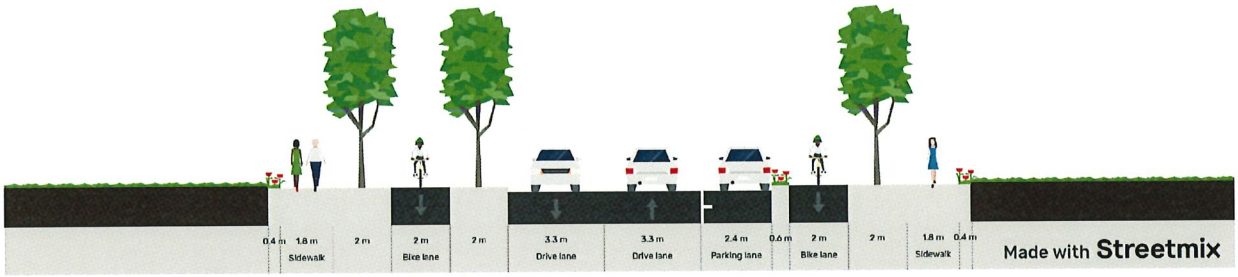
5-29 Maple Ridge will restrict direct vehicular access from Dewdney Trunk Road and Lougheed Highway as re-development occurs with new east-west lanes and roadway connections provided off north-south streets.

5-30 Maple Ridge will support small blocks to create improved pedestrian connectivity through new roads, parks and green space, and public or private pathways.

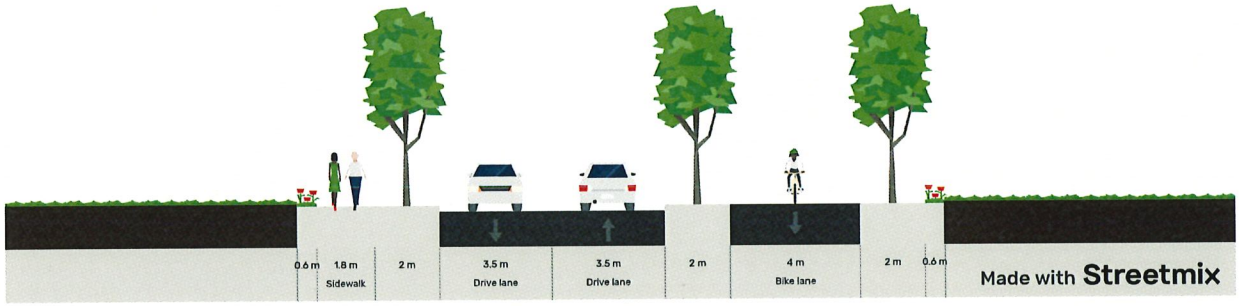
5-31 Maple Ridge will encourage multiple routes to destinations to provide a variety of options to pedestrians and cyclists.

5-33 Establish a grid network of roads and pathways between Dewdney Trunk Road and Lougheed Highway.

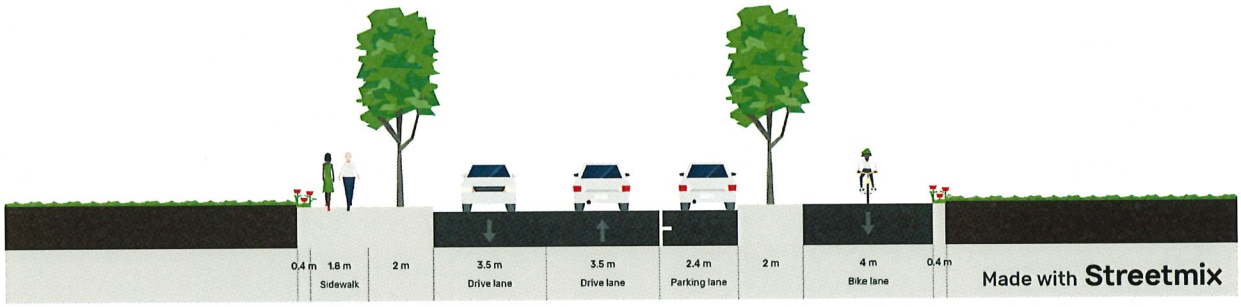
West of McKenney Creek Greenway Section



Laity Street Greenway Section



Cook Avenue Greenway Section



6.0 PUBLIC REALM OBJECTIVES & POLICIES

GUIDING PRINCIPLES

THE BUILT ENVIRONMENT IS DESIGNED AT A HUMAN SCALE.
NEIGHBOURHOODS ARE SAFE, DIVERSE AND INCLUSIVE.

OBJECTIVES

- Promote architectural design excellence informed by local identify and context.
- Shape places for people rather than cars through urban design.
- Design streets to create vibrant and dynamic places.
- Expand opportunities for both informal and formal community gathering spaces through redevelopment.
- Design buildings and sites for employment uses that are pedestrian-oriented along Off-Lougheed Greenway.
- Integrate culture and heritage through public art installations.

POLICIES

6-3 Where possible, street trees located on both sides of the Off-Lougheed Greenway provide visual interest, reduce the urban heat island effect and help create a defined sidewalk boundary and safe and inviting space for pedestrians.

6-7 Parkettes are used to provide additional seasonal patio seating and slow vehicular traffic.

6-8 Maple Ridge supports unique, exciting and innovative uses of rear lanes to create dynamic places for pedestrians.

6-10 Maple Ridge will consider the needs of children, seniors, and persons with disabilities in public realm design.

6-11 In large comprehensive re-developments, Maple Ridge will identify opportunities to achieve community amenity space such as: community meeting rooms, a seniors activity centre, community centres, playgrounds, outdoor plazas and public art.

6-12 Maple Ridge will Identify a location for a covered performance amphitheater to host performance based arts and culture events.

6-13 Maple Ridge will explore locating community spaces with flexible use at Transit Nodes, for rotating cultural and heritage displays.

6-14 Incorporate public art in streetscape improvements, capital works projects and new development.

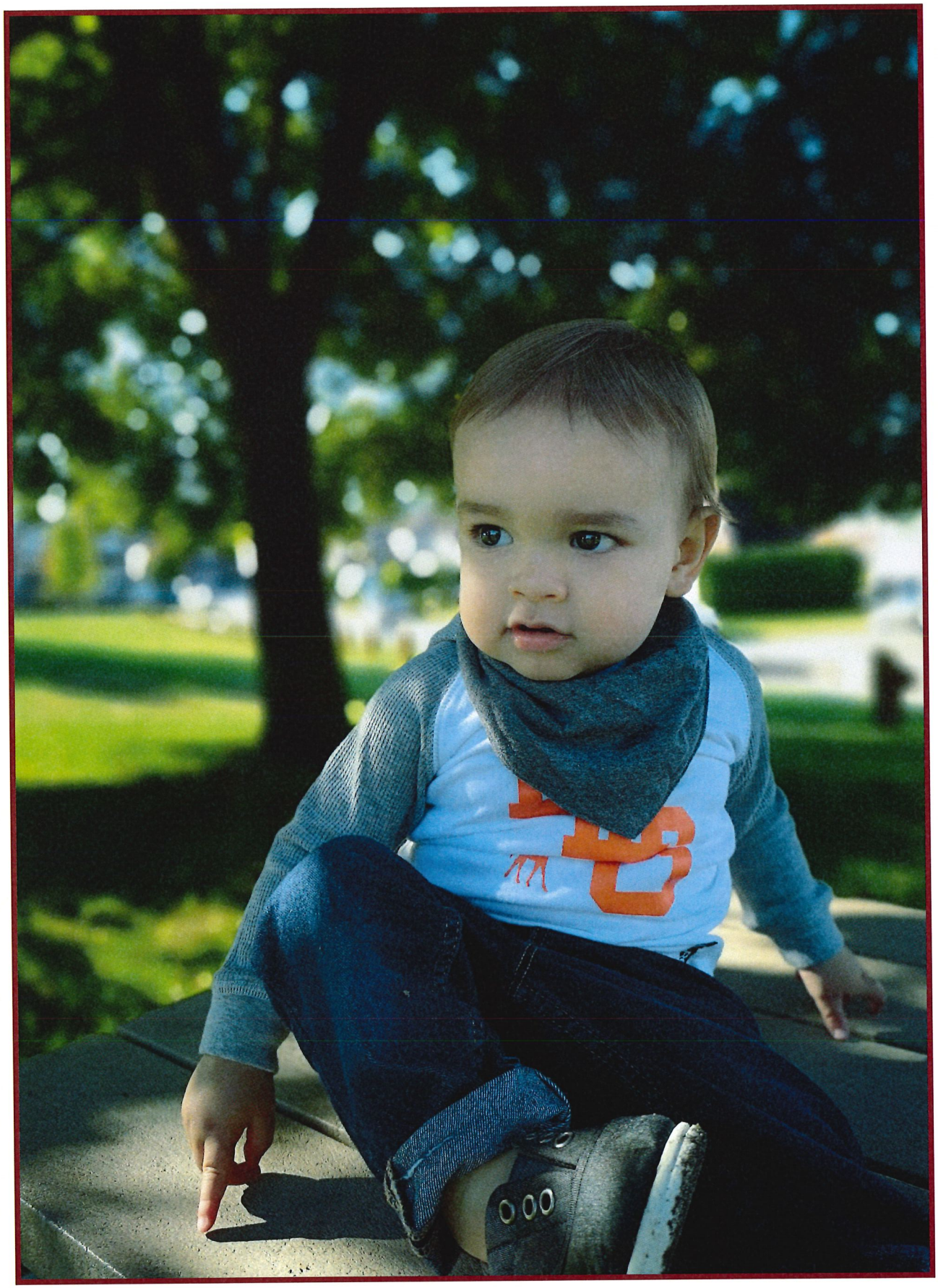
6-15 Engage with community members to ensure public art reflects the story and identity of the area.

6-16 Maple Ridge will explore an artist mural and more short-term vinyl wrap program to inject colour and expression into the built environment.

6-17 Variation in public space, sidewalk, and cycle route paving treatment and material help delineate space for different users.

6-18 Wayfinding is located at regular intervals at Transit Nodes and Complete Streets to orient users.

6-19 Maple Ridge will use enhanced sidewalk treatments, street lamp banners, and street furniture to define and identity the Complete Streets and Transit Nodes.



7.0 GLOSSARY OF TERMS

ALL AGES AND ABILITIES:

An international best practice that should be adopted for all bicycle facility design and network implementation to accommodate users with a range of abilities and comfort levels.

COMPLETE COMMUNITY:

A community with mix of uses and affordable services and amenities, which allows residents to meet most of their daily needs by walking, rolling, or transit without leaving the neighbourhood. This supports trip reduction, walking, healthier living, climate action, more equitable access to the key amenities that support a high quality of life, and creates resilient places with inclusion and connection.

COMPLETE STREETS:

A design approach that requires streets to be planned, designed, operated and maintained to enable safe, convenient and comfortable travel and access for users of all ages and abilities regardless of their mode of transportation.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN:

A multi-disciplinary approach of crime prevention that uses urban and architectural design and the management of built and natural environments. CPTED strategies aim to reduce victimization, deter offender decisions that precede criminal acts, and build a sense of community among residents so that the can reduce the rate and fear of crime.

FIVE MINUTE WALKING DISTANCE:

A 400 m radium is an approximate are that can be covered on foot in five minutes. A five minute walk is a low threshold distance that most people are willing to walk or roll to reach transit and other key destinations.

UNIVERSAL DESIGN:

The design of products, environments, programs and services to be usable by all people, to the greatest extent possible, without the need for adaptation or specialized design.

APPENDIX A – ZONING MATRIX

a) This Matrix is to be read in conjunction with the policies and criteria in the Lougheed Transit Corridor Area Plan as well as the Official Community Plan and is not the only source for determining applicable zones;

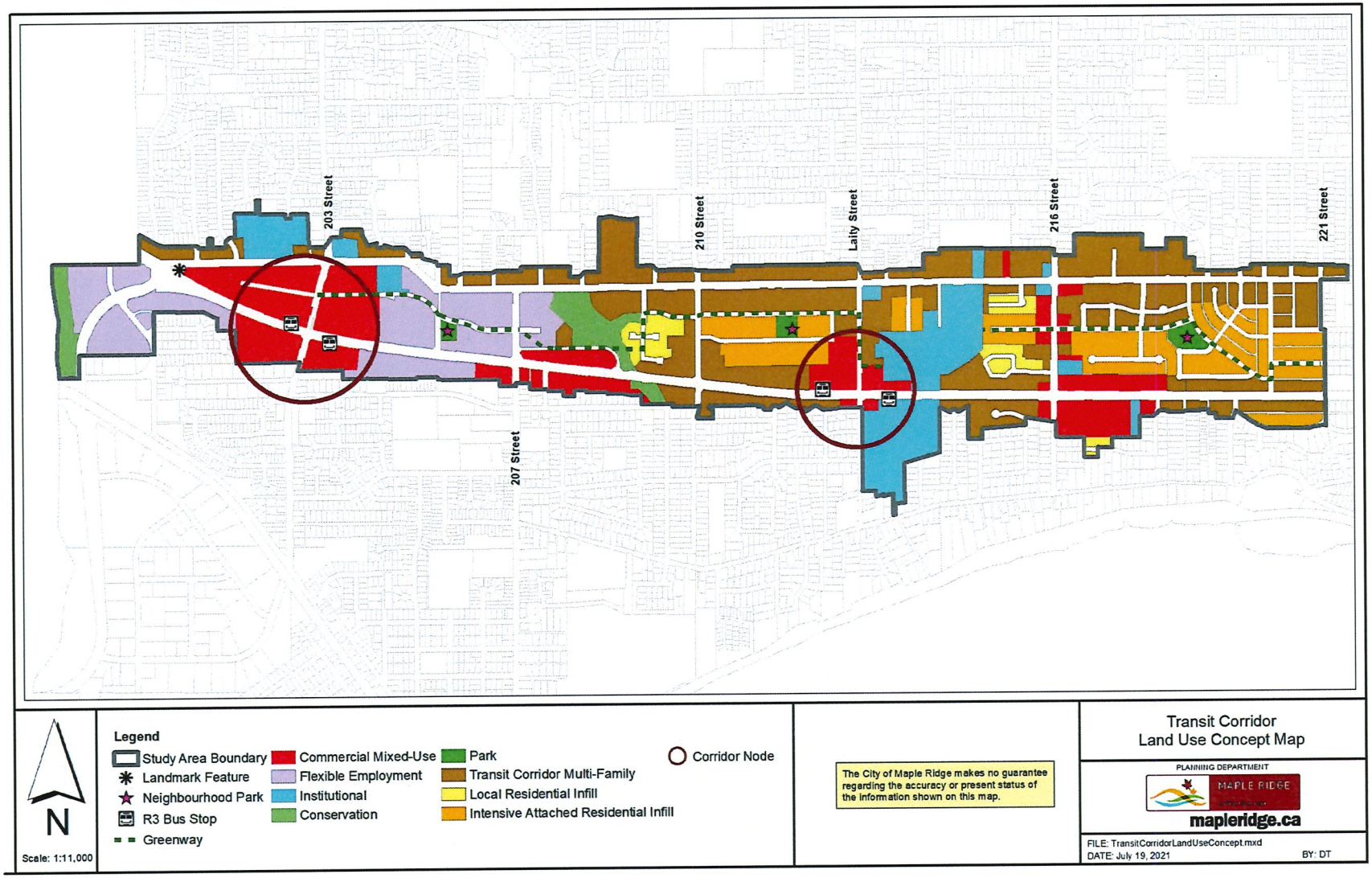
b) All zones corresponding to each land use designation or category may not be appropriate for a specific site and are not applicable in all areas of the municipality;

c) Lot consolidation may be required to meet the minimum lot area, lot width and/or lot depth requirements of the Zoning Bylaw and/or Subdivision Control Bylaw;

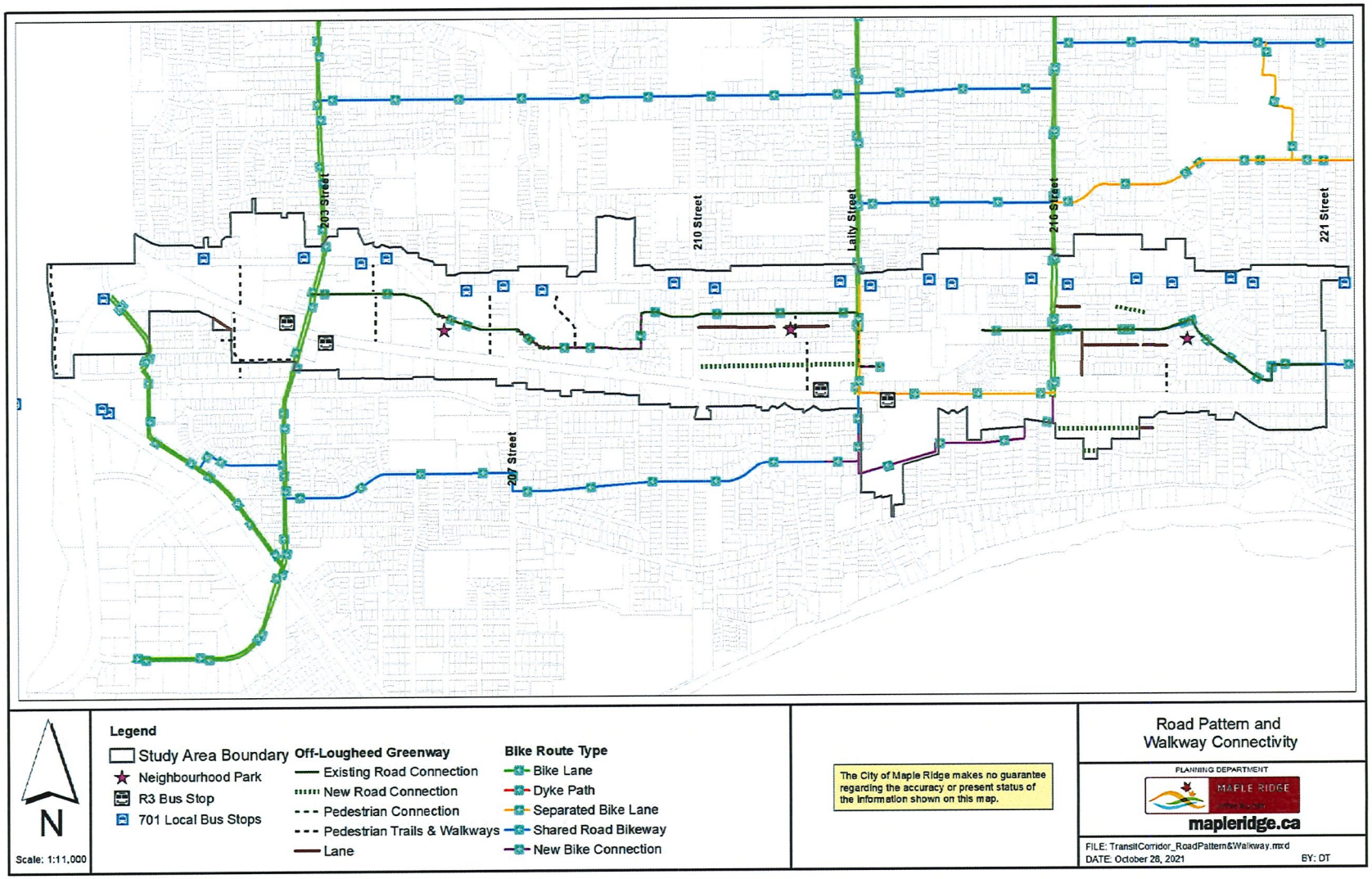
Land Use	Supported Zones
Local Residential Infill	R-1 Residential District R-4 Single Detached (Infill) Urban Residential RT-1 Two Family Urban Residential
Intensive Attached Residential Infill	RST Street Townhouse Residential RT-1 Two Family Urban Residential RT-2 Ground-Oriented Residential Infill (limited to triplex)
Transit Corridor Multi-Family	RT-2 Ground-Oriented Residential Infill (limited to fourplex and courtyard) RM-1 Townhouse Residential RM-2 Medium Density Residential RM-4 Multiple Family Family Residential District RM-5 Low Density Apartment Residential
Commercial Mixed Use	C-7* Lougheed Transit Corridor High Density Mixed-Use
Flexible Employment	M-6* Infill General Employment M-3 Business Park C-2 Community Commercial CS-1 Service Commercial

* Proposed new zones, which will be forthcoming through the development application process.

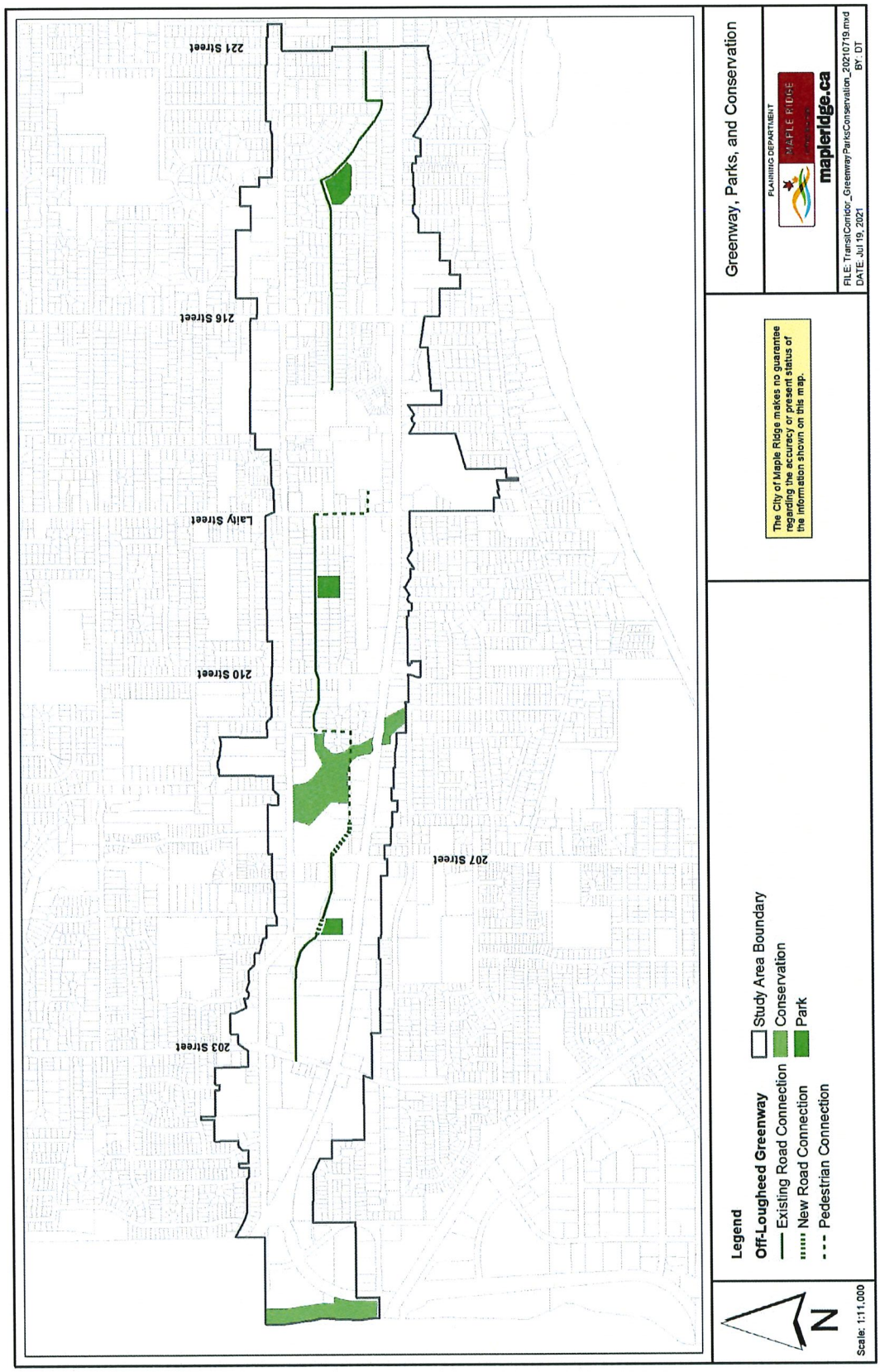
SCHEDULE 1—LAND USE MAP

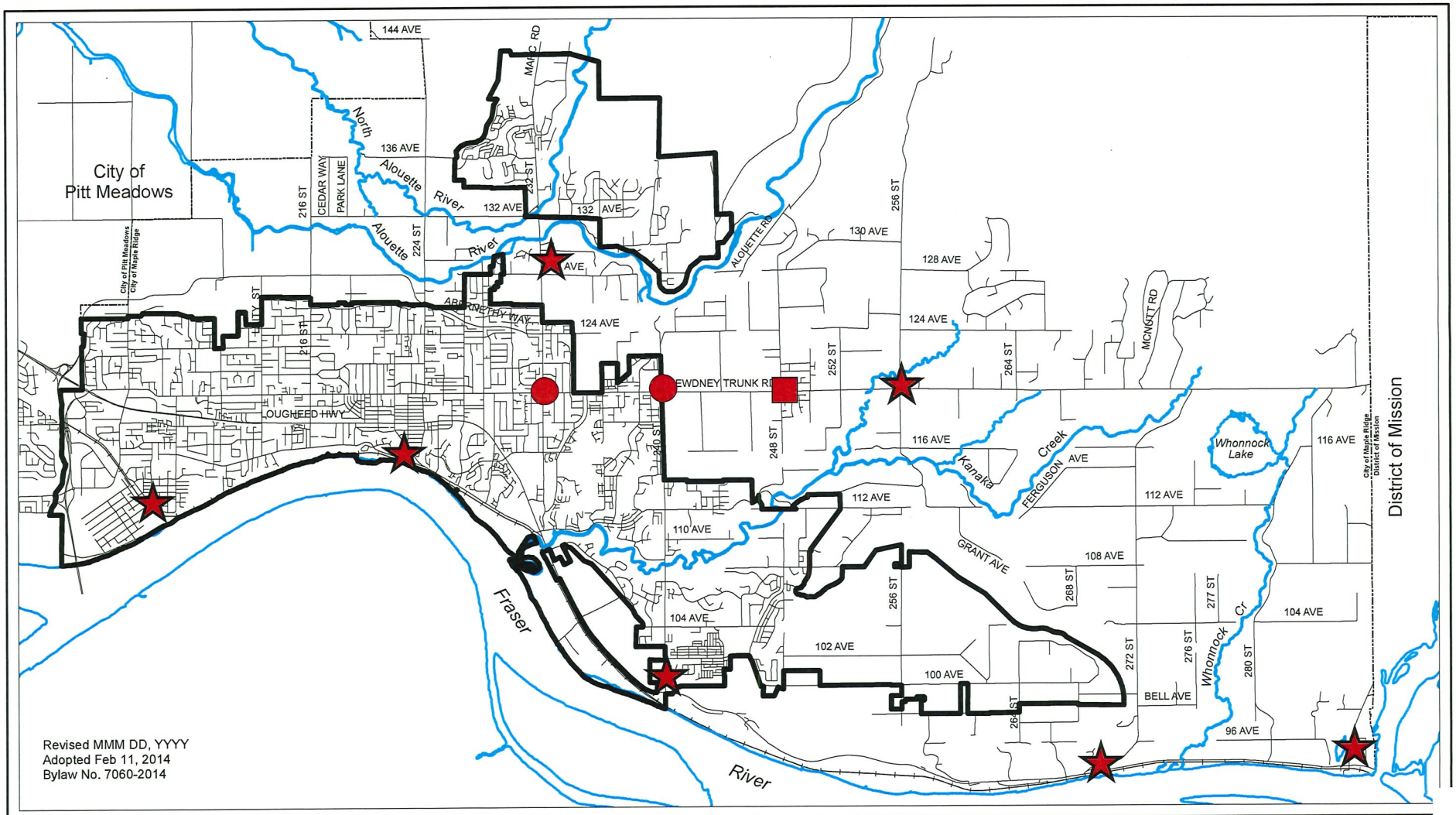


SCHEDULE 2—ROAD PATTERN

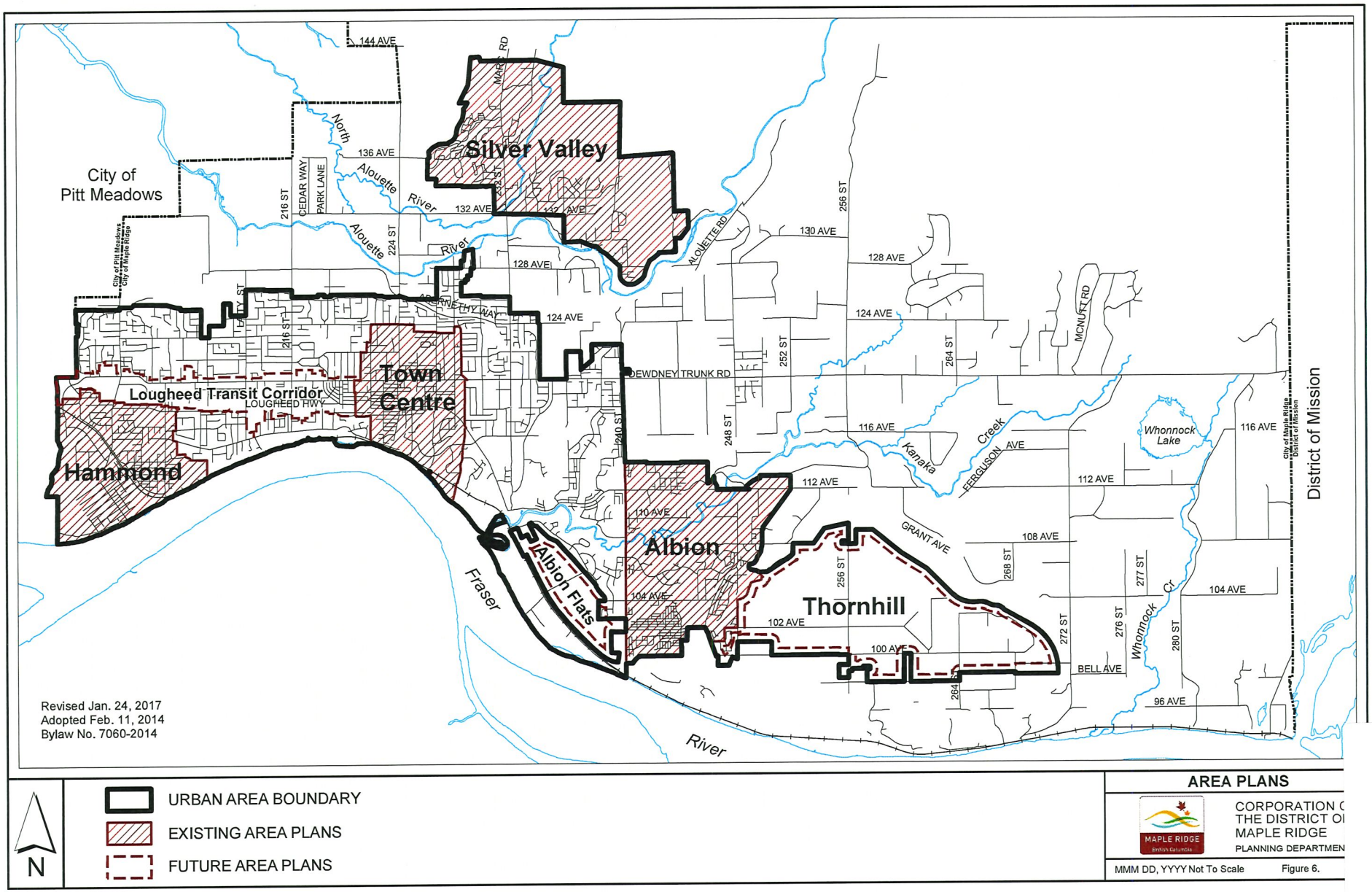


SCHEDULE 3—PARKS AND CONSERVATION

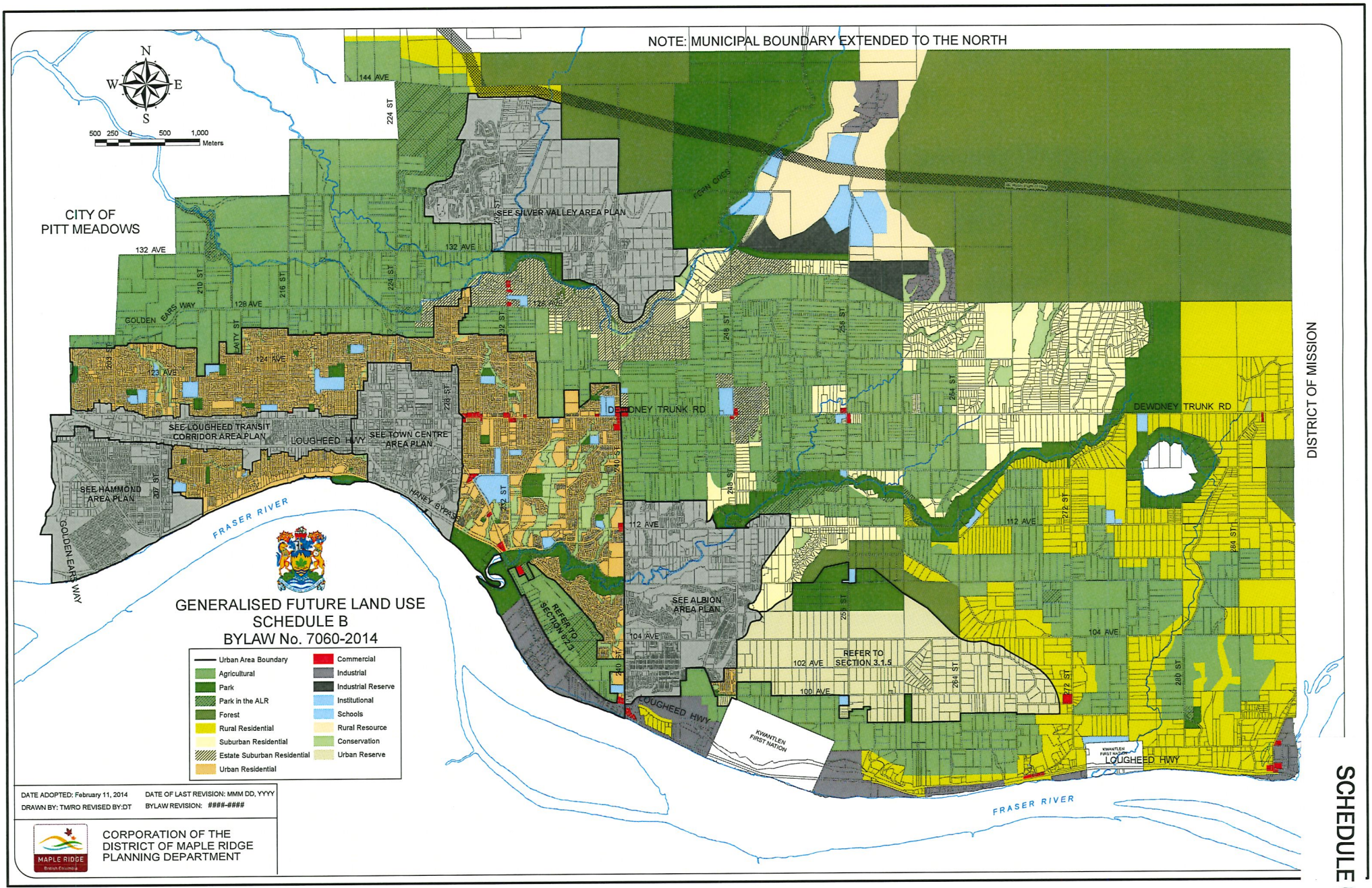



City of Pitt Meadows
City of Maple Ridge
District of Mission
144 AVE
136 AVE
132 AVE
128 AVE
124 AVE
116 AVE
112 AVE
110 AVE
108 AVE
104 AVE
102 AVE
100 AVE
96 AVE
BELL AVE
FERGUSON AVE
GRANT AVE
216 ST
224 ST
232 ST
240 ST
248 ST
252 ST
256 ST
264 ST
268 ST
272 ST
276 ST
277 ST
280 ST
CEDAR WAY
PARK LANE
ALOUETTE RD
MCNUTT RD
LOUGHEED HWY
Fraser River
North Alouette River
Alouette River
Kanaka Creek
Whonnock Lake
Whonnock Cr
Revised MMM DD, YYYY
Adopted Feb 11, 2014
Bylaw No. 7060-2014
N
COMMUNITY COMMERCIAL NODES (SUBJECT TO SECTION 6.3.5)
VILLAGE COMMERCIAL NODES (SUBJECT TO SECTION 6.3.6)
HISTORIC COMMERCIAL CENTRES (SUBJECT TO SECTION 6.3.8)
URBAN AREA BOUNDARY
COMMUNITY COMMERCIAL NODES, VILLAGE COMMERCIAL NODES AND HISTORIC COMMERCIAL CENTRES
CORPORATION OF THE DISTRICT OF MAPLE RIDGE
PLANNING DEPARTMENT
MMM DD, YYYY Not To Scale
Figure 2.

SCHEDULE 3


Silver Valley
Town Centre
Lougheed Transit Corridor
LOUGHEED HWY
Hammond
Albion
Albion Flats
Thornhill
City of Pitt Meadows
District of Mission
Fraser River
North Alouette River
Alouette River
Whonnock Lake
Kanaka Creek
144 AVE
136 AVE
132 AVE
128 AVE
124 AVE
116 AVE
112 AVE
110 AVE
108 AVE
104 AVE
102 AVE
100 AVE
96 AVE
MAPLE CRK RD
CEDAR WAY
PARK LANE
216 ST
224 ST
232 ST
240 ST
248 ST
252 ST
256 ST
264 ST
268 ST
272 ST
276 ST
277 ST
280 ST
ALOUETTE RD
DEWDNEY TRUNK RD
FERGUSON AVE
GRANT AVE
BELL AVE
MCNUTT RD
Revised Jan. 24, 2017
Adopted Feb. 11, 2014
Bylaw No. 7060-2014
URBAN AREA BOUNDARY
EXISTING AREA PLANS
FUTURE AREA PLANS
N
AREA PLANS
CORPORATION O
THE DISTRICT OI
MAPLE RIDGE
PLANNING DEPARTMEN
MMM DD, YYYY Not To Scale
Figure 6.

SCHEDULE 4


NOTE: MUNICIPAL BOUNDARY EXTENDED TO THE NORTH
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W
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S
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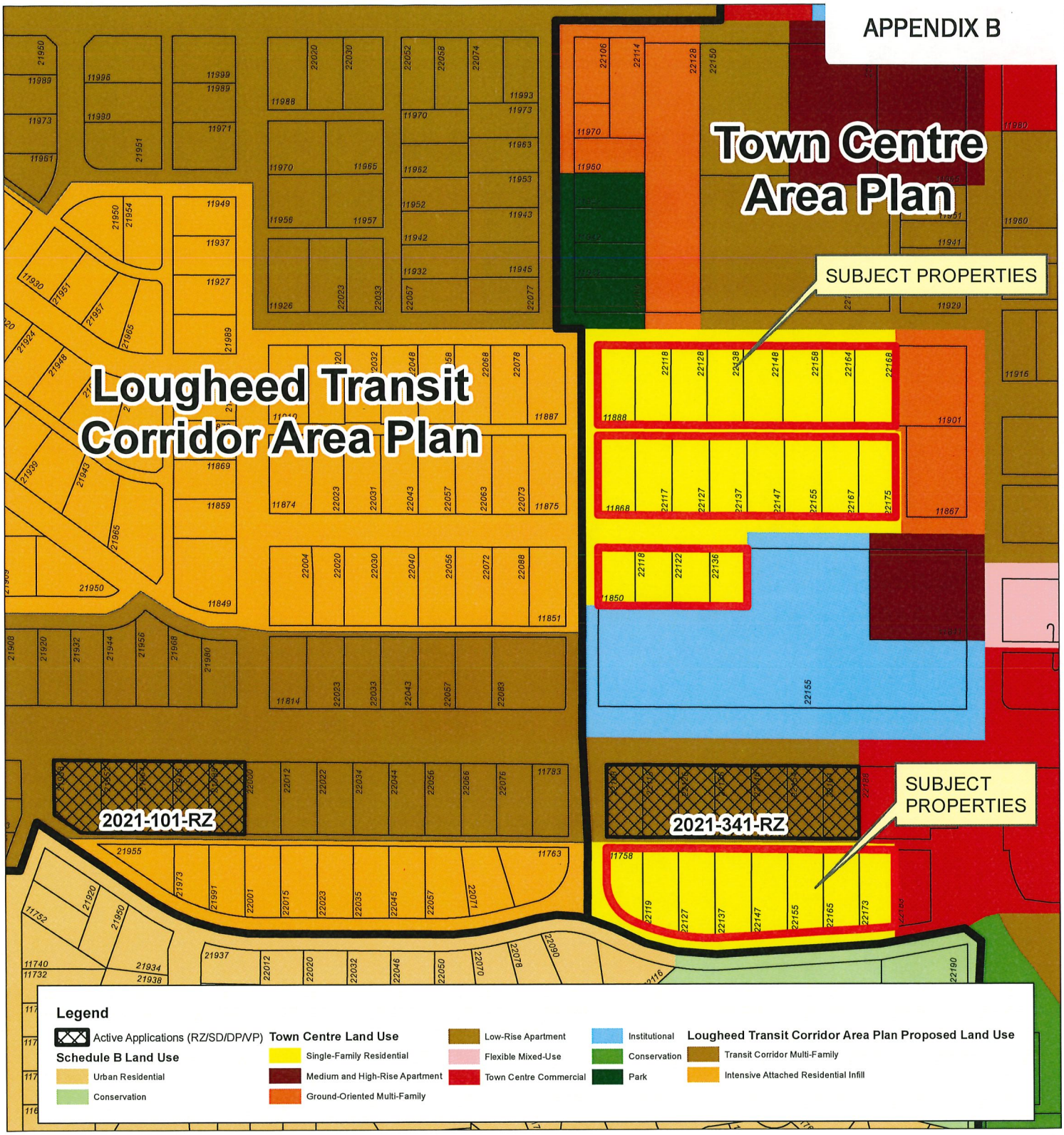
Meters
CITY OF PITT MEADOWS
DISTRICT OF MISSION
SEE SILVER VALLEY AREA PLAN
SEE LOUGHEED TRANSIT CORRIDOR AREA PLAN
SEE TOWN CENTRE AREA PLAN
SEE HAMMOND AREA PLAN
SEE ALBION AREA PLAN
REFER TO SECTION 8.7.3
REFER TO SECTION 3.1.5
KWANTLEN FIRST NATION
FRASER RIVER
LOUGHEED HWY
DEWDNEY TRUNK RD
GOLDEN EARS WAY
HANEY BYPASS
FERN CRES
132 AVE
128 AVE
124 AVE
123 AVE
112 AVE
104 AVE
102 AVE
100 AVE
144 AVE
224 ST
216 ST
210 ST
207 ST
203 ST
232 ST
240 ST
248 ST
256 ST
264 ST
268 ST
272 ST
280 ST
284 ST
GENERALISED FUTURE LAND USE
SCHEDULE B
BYLAW No. 7060-2014
Urban Area Boundary
Agricultural
Park
Park in the ALR
Forest
Rural Residential
Suburban Residential
Estate Suburban Residential
Urban Residential
Commercial
Industrial
Industrial Reserve
Institutional
Schools
Rural Resource
Conservation
Urban Reserve
DATE ADOPTED: February 11, 2014
DRAWN BY: TM/RO REVISED BY:DT
DATE OF LAST REVISION: MMM DD, YYYY
BYLAW REVISION: ####-####
CORPORATION OF THE
DISTRICT OF MAPLE RIDGE
PLANNING DEPARTMENT
MAPLE RIDGE
British Columbia

SCHEDULE 5

APPENDIX B



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Scale: 1:3,000

Single Family Designated Lots

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: SingleFamilyDesignation_TownCentre.mxd
DATE: Nov 9, 2021 BY: DT

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2021-341-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First Reading**
Zone Amending Bylaw No. 7780-2021
22108, 22118, 22126, 22136, 22146, 22154 and 22164 Lougheed Highway

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties, located at 22108, 22118, 22126, 22136, 22146, 22154, and 22164 Lougheed Highway, from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential), to permit the future construction of a six-storey, 224 unit residential apartment building. This application, also with 224 units, was presented at the September 21, 2021 Committee of the Whole meeting at which Council referred the application back to staff.

Staff have been working with the applicant to address Council's concerns raised at the September 21, 2021 meeting including the mix of unit types, on-site parking, and bylaw enforcement issues on the subject properties.

Pursuant to Council Policy 6.31 the proposed revised development is subject to the Community Amenity Contribution at a rate of $3,100 per apartment dwelling unit for an estimated amount of $694,400.

To proceed further with this application additional information is required as outlined below.

RECOMMENDATIONS:

1. **That Zone Amending Bylaw No. 7780-2021 be given first reading; and further**

2. **That the applicant provides further information as described on Schedules C, D, and E of the *Development Procedures Bylaw No. 5879–1999*.**

DISCUSSION:

a) Background Context:

Applicant:	Lovick Scott Architects Ltd.
Legal Descriptions:	Lot 4 District Lot 397 New Westminster District Plan 8614; Lot 5 District Lot 397 New Westminster District Plan 8614; Lot 6 District Lot 397 New Westminster District Plan 8614; Lot 7 District Lot 397 New Westminster District Plan 8614; Lot 8 District Lot 397 New Westminster District Plan 8614; Lot 9 District Lot 397 New Westminster District Plan 8614; and Lot 10 District Lot 397 New Westminster District Plan 8614.

1102

OCP:		
Existing:		Low-Rise Apartment
Proposed:		Low-Rise Apartment
Within Urban Area Boundary:		Yes
Area Plan:		Town Centre Area Plan
OCP Major Corridor:		Yes
Zoning:		
Existing:		RS-1 (Single Detached Residential)
Proposed:		RM-2 (Medium Density Apartment Residential)
Surrounding Uses:		
North:	Use:	Church
	Zone:	P-4 (Place of Worship)
	Designation:	Institutional
South:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Single-Family Residential
East:	Use:	Salvation Army, Ridge Meadows Ministries
	Zone:	C-3 (Town Centre Commercial)
	Designation:	Town Centre Commercial
West:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
Existing Use of Property:		Single Family Residential
Proposed Use of Property:		Residential Apartment Building
Site Area:		0.57 ha (1.40 acres)
Access:		Rear Lane
Servicing requirement:		Urban Standard

b) Application Update:

The subject application was presented for first reading at the Committee of the Whole meeting on September 21, 2021 at which the following resolution was passed:

> *"That the staff report dated September 21, 2021 titled "First Reading, Zone Amending Bylaw No. 7780-2021, 22108, 22118, 22126, 22136, 22146, 22154 and 22164 Lougheed Highway" be referred back to staff."*

Staff have worked with the applicant to modify the unit bedroom mix and the number of on-site parking stalls. The unit mix has been changed from having 128 studio units to the current proposal of six studio units and majority of the remainder one bedroom units as detailed below. The number of parking stalls in the revised proposal has a deficit of three (3) parking stalls, versus a deficit of 23 parking stalls in the previous proposal.

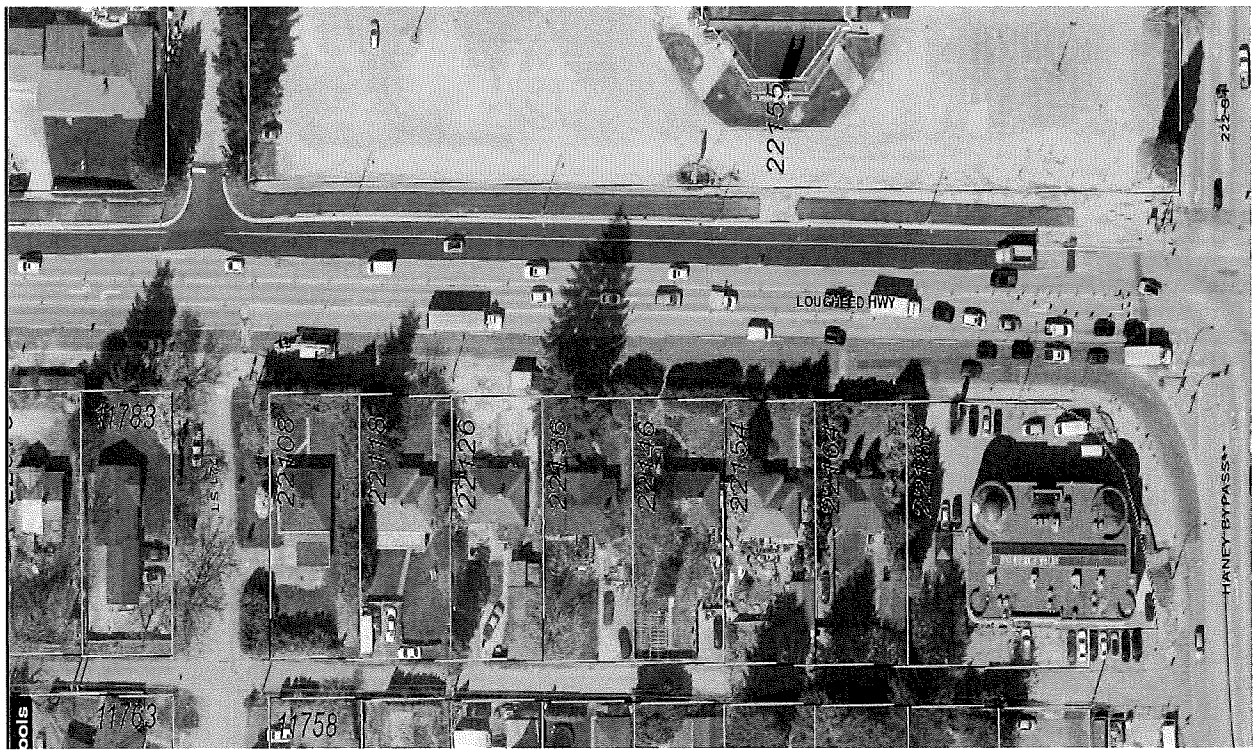
The applicant has noted Council's desire to have the building step back more from Lougheed Highway; however, at this stage of the application the design has not been changed. The design of the building will be reviewed through the Development Permit stage.

c) Site Characteristics:

The seven subject properties are located on Lougheed Highway between 221 Street and 222 Street, and comprise approximately 0.57 ha (1.40 acres) in area (see Appendices A and B). The subject properties are relatively flat and contain older single-family residential dwellings which face onto Lougheed Highway with their accesses being located at the rear of the properties from a lane.

There are large hedges on the properties adjacent to Lougheed Highway consisting of a variety of trees and plants providing a natural buffer to Lougheed Highway. Fronting the properties along Lougheed Highway is a sidewalk.

The subject properties are located 44.5m (146 ft.) from the intersection of Lougheed Highway and the Haney Bypass, that is a major transportation intersection within the City. This section of Lougheed Highway has several movement lanes to bring traffic into, as well as, bypassing the Town Centre.



c) Project Description:

The proposed development is to rezone the seven subject properties from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential) to facilitate a six storey, 224-unit apartment building with two levels of underground parking.

The current revised development proposal proposes the following unit mix:

• Studio Units	6	(2.7%)
• One Bedroom Units	156	(69.6%)
• One Bedroom plus Den Units	9	(4.0%)
• Two Bedroom Units	37	(16.5%)
• Two Bedroom plus Den units	16	(7.1%)

The revised proposed development unit mix has an emphasis on one bedroom units comprising 69.6% of the proposed units with the remaining 30.4% of units a mixture of bedroom types. At this stage, the applicant has not provided details on units that could be allocated for aging in place.

The main pedestrian entrance to the development is proposed from the Lougheed Highway side of the building, while the vehicle access is proposed from the rear lane located on the south side of the building (see Appendix E). The building and landscaping will be reviewed in detail as part of a future Development Permit application. The applicant has been advised that Council would like to see the building stepped back from Lougheed Highway. This review will ensure that the building design elements celebrate and visually enhance this major crossroad by achieving an aesthetically pleasing interface between the public and private realms. To achieve this, there could be additional design elements incorporated into the building, enhancements to the landscaping and the incorporation of public art in accordance with the Developer Public Art Program.

The subject properties are located just to the east of the Lougheed Transit Corridor Study area, and are within the Town Centre Area Plan.

At this time, the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provides a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.

d) Planning Analysis:

Official Community Plan:

The subject properties are designated *Low Rise Apartment* in the Town Centre Area Plan, and are located at the boundary of the Town Centre. The *Low Rise Apartment* designation supports multi-family residential development under the RM-2 (Medium Density Apartment) and CD-1-00 (Comprehensive Development – Assisted Living) zones. The Lougheed Transit Corridor Area Plan is adjacent to the development site to the west. First reading of the Lougheed Transit Corridor Area Plan is being brought forward at the same Council meeting as the subject application.

Commercial Component

At the September 21, 2021 Committee of the Whole meeting, Council expressed a desire to explore ground floor commercial uses, which would require an Official Community Plan amendment to *Town Centre Commercial*. Staff conveyed Council's desire to have ground floor commercial incorporated into the project with the applicant. At this time the applicant has advised that the inclusion of ground floor commercial is not part of their proforma for this proposed development.

Cliff Avenue Land Use Designation

At the September 21, 2021 Committee of the Whole meeting Council identified an interface concern with the lands directly south of the subject properties on Cliff Avenue. These properties are currently designated *Single-Family Residential* in the Town Centre Area Plan. A recommendation is included in the Lougheed Transit Corridor Area Plan First Reading Report to undertake a review of lands designated *Single-Family Residential* in the Town Centre Area Plan that are located on the western boundary of the Lougheed Transit Corridor Area Plan, which includes the lands within this block of Cliff Avenue. This work is currently projected to be undertaken by staff in the second quarter of 2022.

Zoning Bylaw:

The current application proposes to rezone the subject properties from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential) (see Appendix C) to permit the future construction of a six-storey, 224 unit market strata residential apartment building (see Appendix D and E). The seven properties will be consolidated to create one parcel of land.

The RM-2 (Medium Density Apartment Residential) zone incorprates two Density Bonus provisions to permit additional Floor Space Ratio (FSR) from the base FSR of 1.8 times the lot area up to a maximum of 2.5 times the lot area. These two bonuses are based on the following:

- All parking spaces are provided within an underground parking structure in an amount equal to 0.1 FSR; and
- Providing a voluntary cash contrubution at a rate of $161.46 per square metre ($15.00 per square foot) for an added FSR up to 0.6 times the lot area as the subject properties are located within the Town Centre Area.

The applicant proposes to utilize both of these Density Bonuses provisions of the RM-2 (Medium Density Apartment Residential) zone.

An initial review indicates small variances in the setback have been incorporated into the design to create a design that will fit the developing neighbourhood context. Any variations from the requirements of the proposed zone will require a Development Variance Permit application.

Off-Street Parking and Loading Details:

The current revised proposal has the following vehicle parking stalls:

Stall Type	Required	Proposed in Revised Plans
Residential	230	230
Visitor	45	42
Total Stalls	275	272

The chart below shows the bicycle parking details:

Bicycle Parking Type	Required	Proposed in Revised Plans
Long Term	56	70
Short Term	67	68

The Maple Ridge Town Centre Parking Standards apply to this project as the properties are located with the Central Business District (CBD). The required residential parking of 230 parking spaces is proposed to be provided, however, visitor parking is proposed to be reduced by three stalls.

The properties are located within 930m radius from a City Parking Garage so the reduction in visitor parking could also be achieved by payment-in-lieu. On November 9, 2021, Off-Street Parking and Loading Amending Bylaw No. 7795-2021, to increase the payment-in-lieu for reduced parking from the current fee of $8,000 to $20,000, received third reading from Council. Should Zone Amending Bylaw No. 7780-2021, for the subject property to rezone to RM-2 (Medium Density Apartment Residential), receive first reading after the final reading of the Off-Street Parking and Loading Amending Bylaw No. 7795-2021, then the application will be subject to the $20,000 per space payment-in-lieu for reduced parking. The Off-Street Parking and Loading Amending Bylaw No. 7795-2021 is anticipated to be on the December 14, 2021 Council meeting agenda for adoption.

Development Permits:

Pursuant to Section 8.11 of the OCP, a Town Centre South of Lougheed Precinct Development Permit, application is required for all multi-family residential, flexible mixed-use and commercial development located in the Town Centre.

Advisory Design Panel:

A Form and Character Development Permit is required and must be reviewed by the Advisory Design Panel prior to second reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to second reading, the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after first reading, comments and input will be sought from the various internal departments and external agencies listed below:

a) Engineering Department;
b) Operations Department;
c) Fire Department;
d) Building Department;
e) Parks, Recreation and Culture Department;
f) School District;
g) Utility companies;
h) Ministry of Transportation and Infrastructure; and
i) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing and site access requirements have not been undertaken. We anticipate that this evaluation will take place between first and second reading. Any subdivision layout provided is strictly preliminary and could change after servicing details and analysis reports. Any subdivision layout provided is strictly preliminary and must be approved by the Approving Officer.

f) Development Applications:

In order for this application to proceed, the following information must be provided, as required by *Development Procedures Bylaw No. 5879–1999,* as amended:

1. A complete Rezoning Application (Schedule C);
2. A Town Centre Development Permit Application (Schedule D); and
3. A Development Variance Permit (Schedule E).

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

The development proposal is in compliance with the OCP, therefore, it is recommended that Council grant first reading, subject to additional information being provided and assessed prior to second reading.

"Original signed by Wendy Cooper"

Prepared by: **Wendy Cooper, M.Sc., MCIP, RPP**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

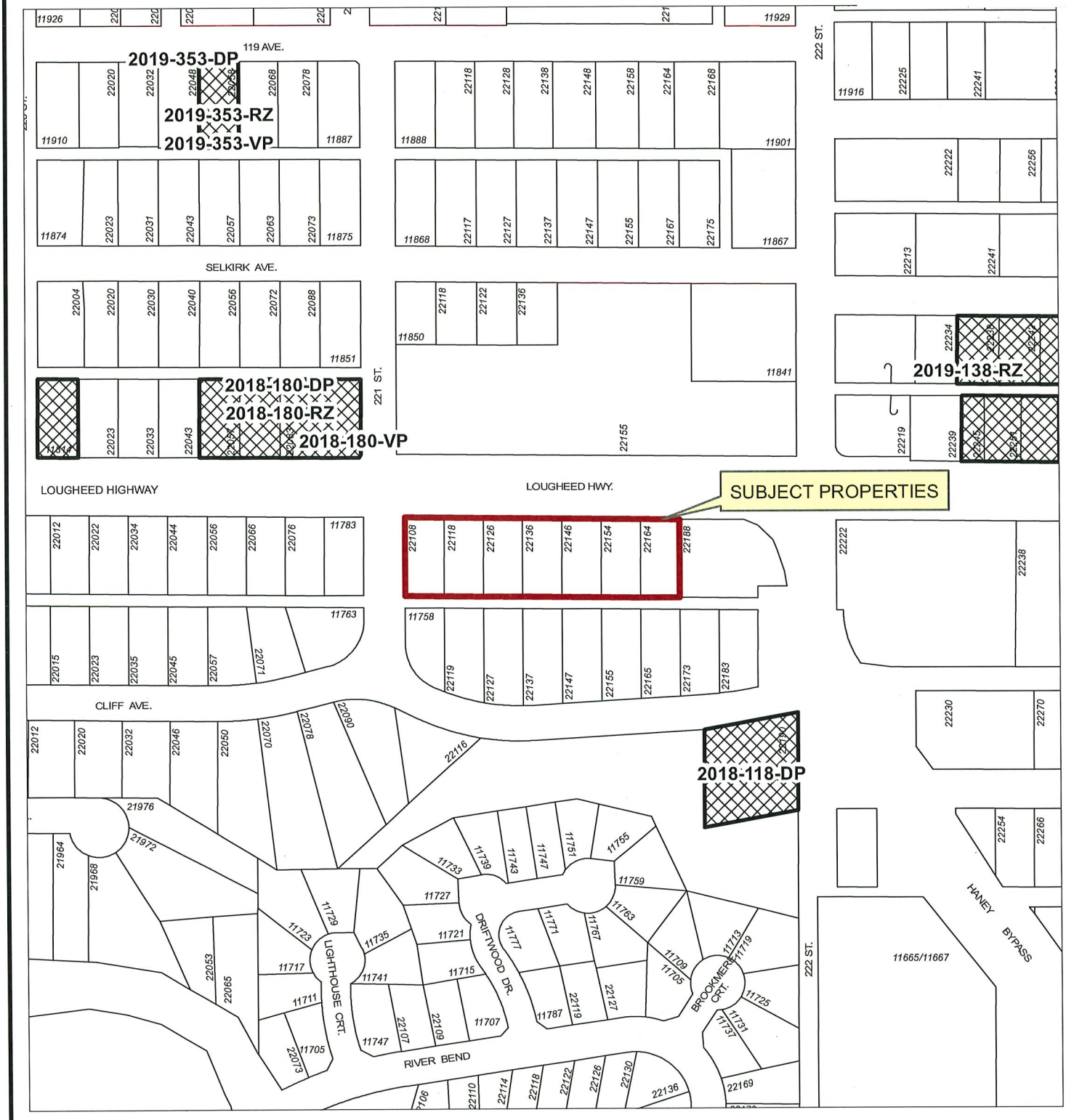
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7780-2021
Appendix D – Proposed Site Plan
Appendix E – Proposed Elevations

APPENDIX A



N

Scale: 1:2,700

Legend

Active Applications (RZ/SD/DP/VP)

22108/18/26/36/46/54/64 Lougheed Hwy

PID #s: 011-374-926, 004-922-522, 011-374-918, 000-989-029, 002-844-711, 011-374-900, 005-683-823

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2021-341

DATE: Jun 24, 2021

BY: BD

APPENDIX B

N

Scale: 1:2,700

Legend

- Stream
- Ditch Centreline
- Indefinite Creek

22108/18/26/36/46/54/64 Lougheed Hwy

PID #s: 011-374-926, 004-922-522, 011-374-918, 000-989-029, 002-844-711, 011-374-900, 005-683-823

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2021-341
DATE: Jun 24, 2021 BY: BD

CITY OF MAPLE RIDGE
BYLAW NO. 7780-2021

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7780-2021."

2. Those parcels or tracts of land and premises known and described as:

   Lot 4 District Lot 397 New Westminster Plan 8614;
   Lot 5 District Lot 397 New Westminster Plan 8614;
   Lot 6 District Lot 397 New Westminster Plan 8614;
   Lot 7 District Lot 397 New Westminster Plan 8614;
   Lot 8 District Lot 397 New Westminster Plan 8614;
   Lot 9 District Lot 397 New Westminster Plan 8614; and
   Lot 10 District Lot 397 New Westminster Plan 8614

   and outlined in heavy black line on Map No. 1901 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

   READ a first time the day of , 20

   READ a second time the day of , 20

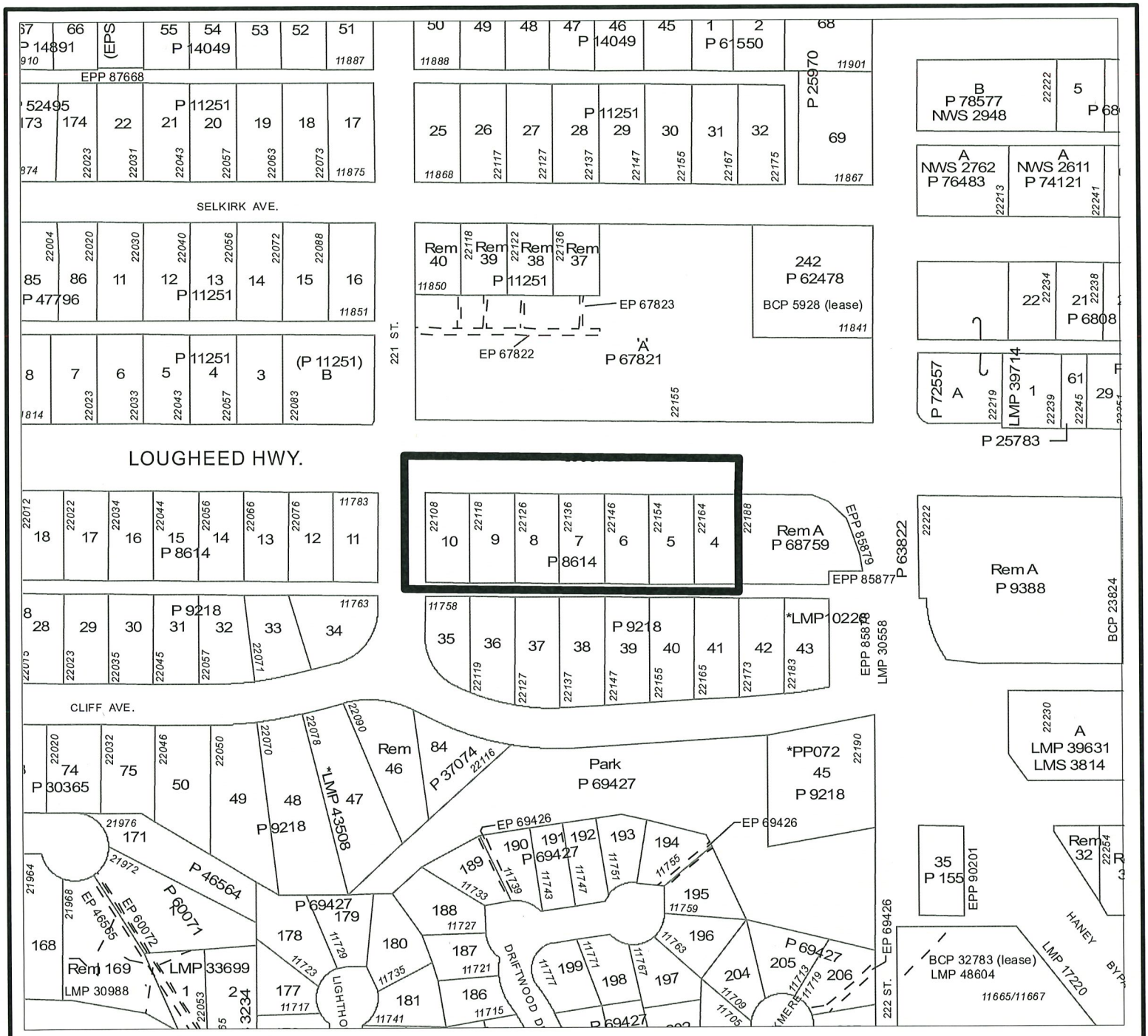
   PUBLIC HEARING held the day of , 20

   READ a third time the day of , 20

   APPROVED by the Ministry of Transportation and Infrastructure this day of , 20

   ADOPTED, the day of , 20

PRESIDING MEMBER **CORPORATE OFFICER**



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7780-2021

Map No. 1901

From: RS-1 (Single Detached Residential)

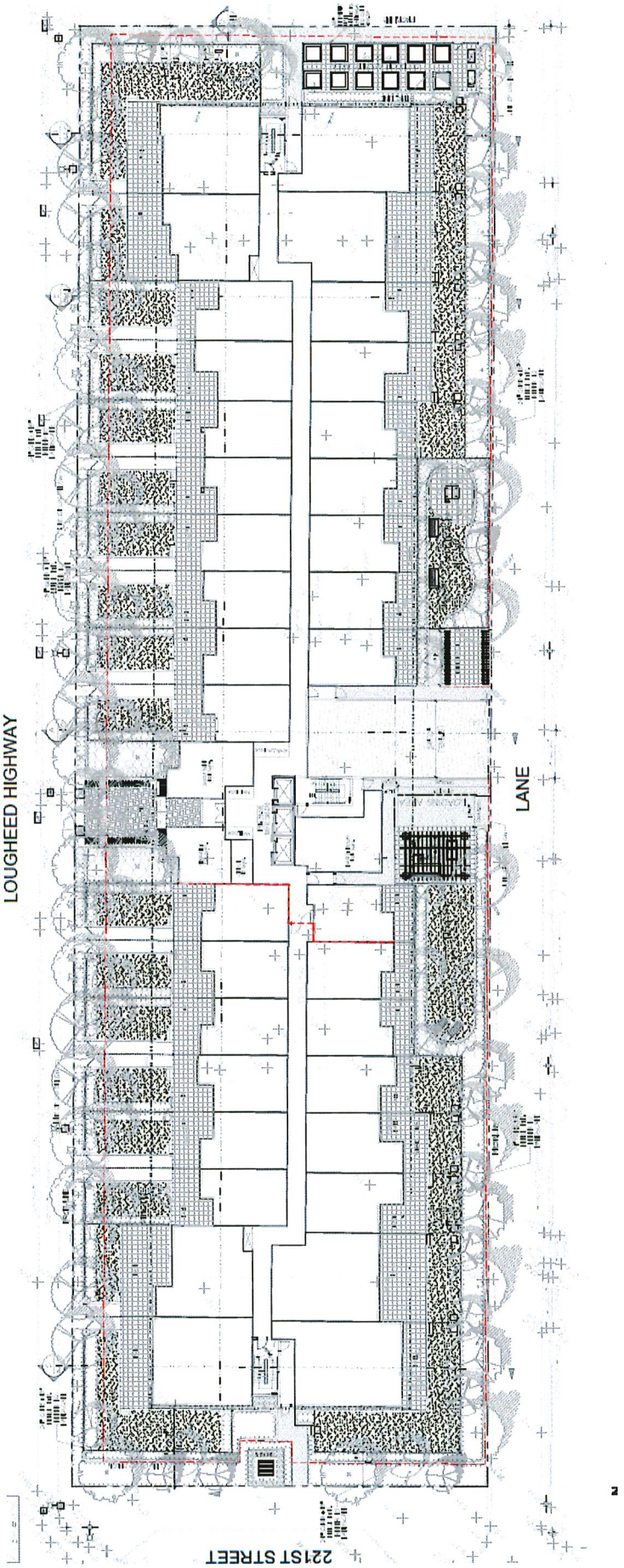
To: RM-2 (Medium Density Apartment Residential)

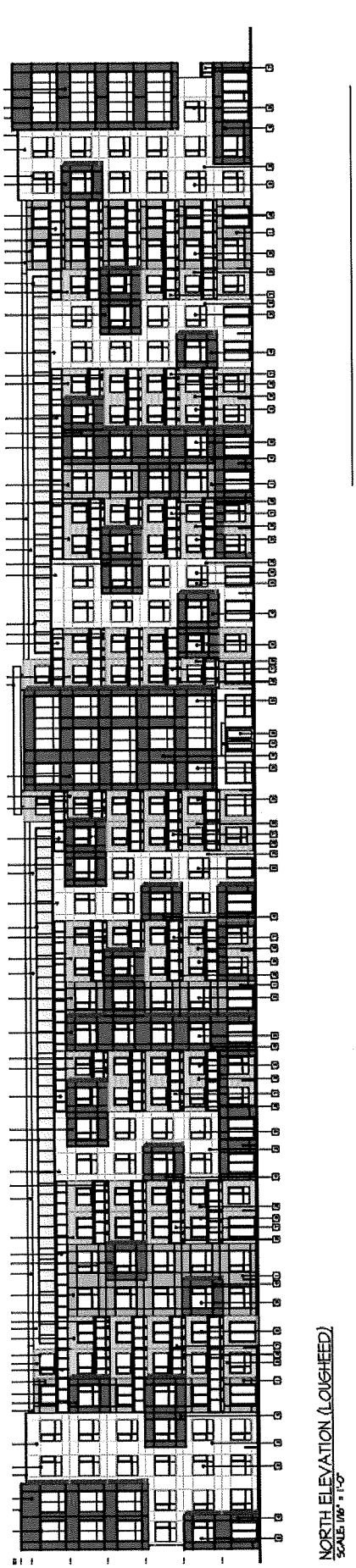
MAPLE RIDGE
British Columbia

N

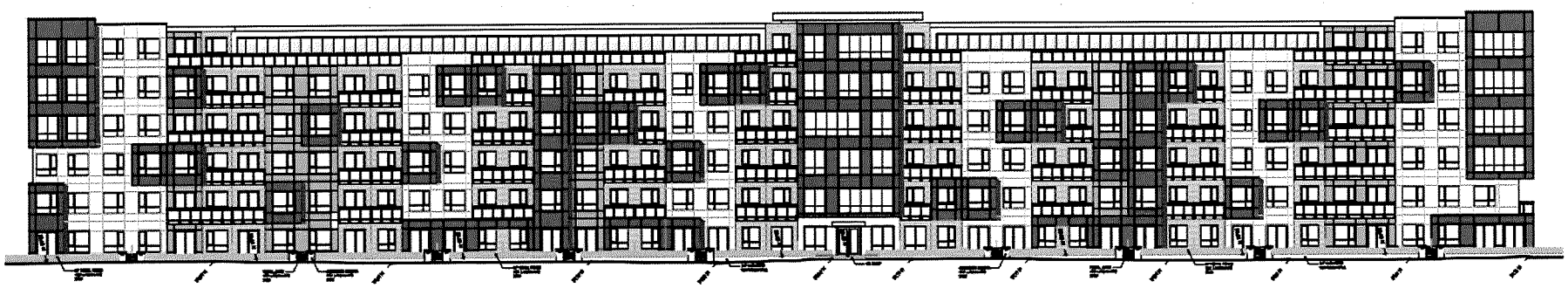
SCALE 1:2,500

APPENDIX D

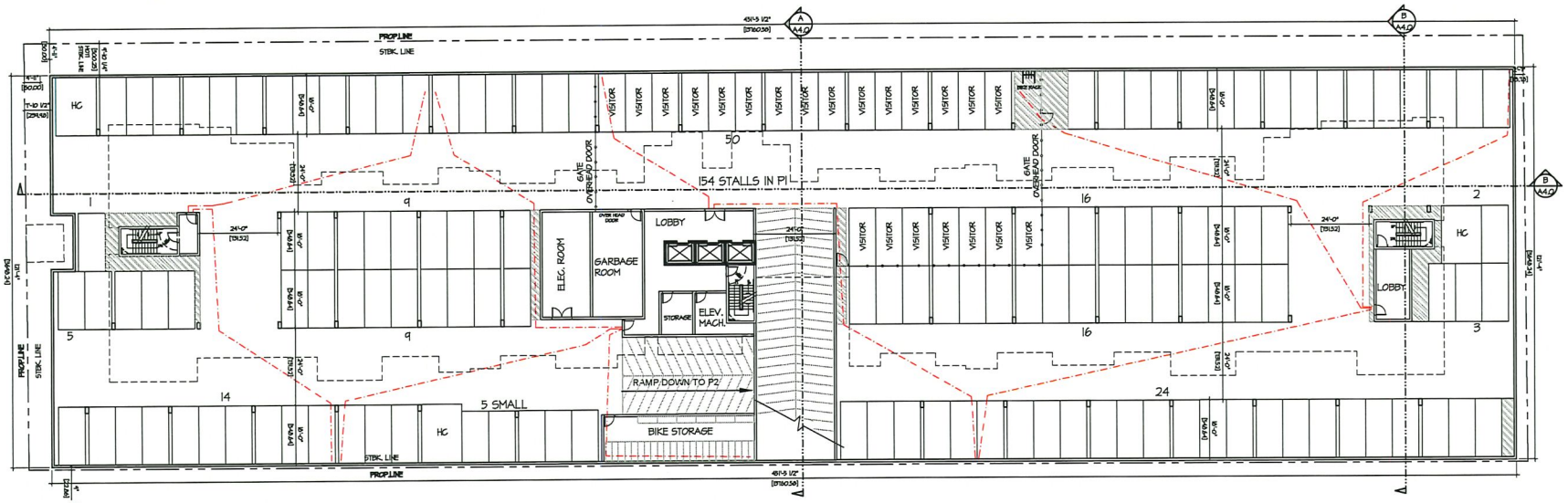




NORTH ELEVATION (LOUGHEED)
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION - STREET VIEW
SCALE: 1/16" = 1'-0"



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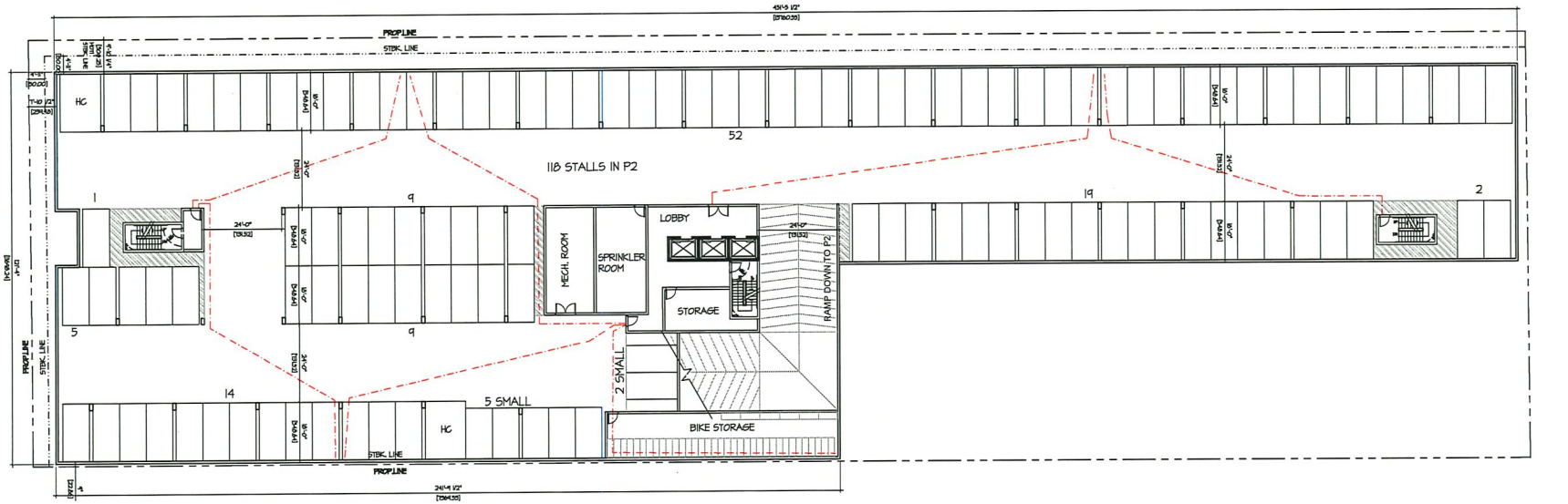
U/G PARKING (P1)
SCALE: 1/16" = 1'-0"



N

U/G PARKING (P2)
SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
06	SEP 27 21	RE-ISSUED FOR REZONING
05	JUN 15 21	ISSUED FOR REZONING
04	APR 22 21	ISSUED FOR REVIEW
03	MAR 25 21	ISSUED FOR REVIEW
02	MAR 12 21	ISSUED FOR REVIEW
01	FEB 11 21	ISSUED FOR REVIEW

CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT

LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
MEMBER OF THE AIBC, AAA, SAA, MAA

ARCHITECTURAL SEAL

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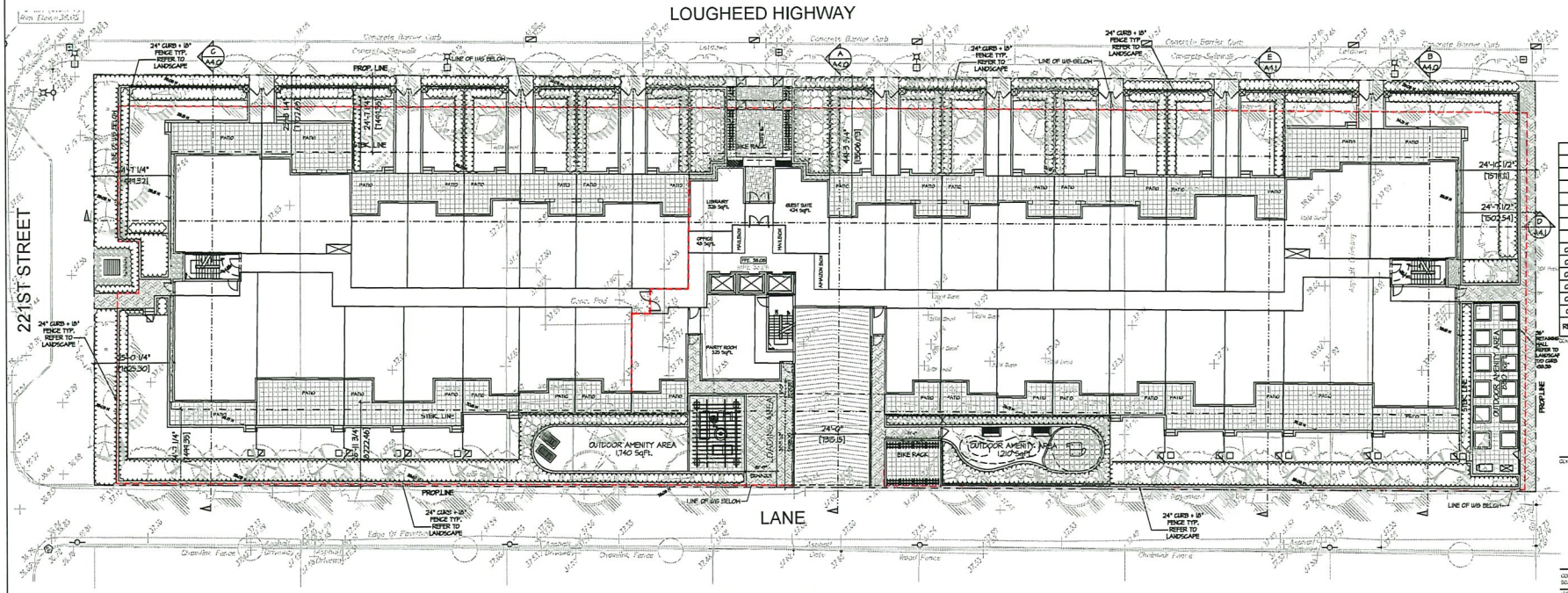
DRAWN BY: AT
APPROVED: LSA

PROJECT
LOUGHEED APARTMENTS
22108 TO 22164 LOUGHEED HWY.,
MAPLE RIDGE, BRITISH COLUMBIA

DRAWING
OVERALL FLOOR PLAN
P1 & P2

PROJECT NUMBER: 20-048
DRAWING NUMBER: A1.0
SCALE: 1/16" = 1'-0"
DATE: NOV. 2020
REVISION: SEP 27 21

LOUGHEED APARTMENTS - 20-048



SITE LAYOUT
SCALE: 1/16" = 1'-0"

SITE STATISTICS

GIVIC ADDRESS
22108 TO 22164 LOUGHEED HIGHWAY, MAPLE RIDGE, BC

OLD ZONING: RS-1
PROPOSED ZONING: RM-2

GROSS SITE AREA 60,947.212 SQ.FT. (5,662.18 SQ.M.)

DENSITY FSR
ALLOWABLE: 2.5 = 152,368.03 SQ.FT. (14,155.45 SQ.M.)
PROPOSED 152,366 SQ.FT. / 60,947.212 = 2.49 FSR

UNIT COUNT:

TYPE	A STUDIO	B 1 BED	C 1 BED + DEN	D 2 BEDS	E 2BEDS + DEN	TOTAL
	6	156	9	37	16	224

ALLOWABLE 6 STOREYS,
PROVIDED 6 STOREYS

-- FIRE WALL : DIVIDED BUILDING TO 2 SEPARATE PARTS. (1423 SQ.M. + 1224.8 SQ.M.)
EACH PART LESS THAN 1500 SQ.M. [3.2.2.50]

HEIGHT
ALLOWABLE 6 STOREYS, PROVIDED 6 STOREYS

PARKING REQUIRED

0.9 SPACE PER STUDIO= (6) X 0.9 = 5.4
1 SPACE 1-BED = (165) X 1 = 165
1.1 SPACE 2-BEDS = (53) X 1.1 = 58.3
0.2 PER UNIT FOR VISITOR = 44.8

TOTAL 274 STALLS REQUIRED

PARKING PROVIDED

154 + 118 = 272 TOTAL PARKING STALLS (VARIANCE REQ. FOR TWO STALLS)
PROVIDED [10 SMALL CAR] & [5 HCAP]

1 LOADING BAY PROVIDED

REQUIRED PARKING STALL SIZE

REGULAR STALLS
= 8'-2 1/2" (2.5 M) x 18'-0" (5.5 M), 24'-0" (7.3 M) AISLE

10% (MAX) SMALL STALLS
= 7'-10 1/2" (2.4 M) x 16'-0" (4.9 M)

H'CAP STALLS = 12'-6" (3.8 M)

BICYCLE PRKING SPACE

LONG TERM: 1 PER 4 UNITS, TOTAL REQUIRED = 56
PROVIDED = 70
SHORT TERM: 6 FOR EVERY 20 UNITS, TOTAL REQUIRED = 67
PROVIDED = 68

SETBACKS	ALLOWED SURFACE	ALLOWED U/G	PROPOSED SURFACE	PROPOSED U/G
FRONT (NORTH)	7.5m	1.5m	7.7m	1.73m
REAR (SOUTH)	7.5m	1.5m	8.22m	1.5m
EXTERIOR (WEST)	7.5m	1.5m	7.62m	2.4m
INTERIOR (EAST)	7.5m	0.0	7.57m	0.78m

	A STUDIO	B 1-BED	C 1-BED + DEN	D 2-BEDS	E 2-BEDS + DEN	TOTAL
6/F	1	26	-	6	2	35
2ND	1	28	1	6	2	38
3RD	1	29	2	6	2	40
4TH	1	29	2	6	2	40
5TH	1	29	2	6	2	40
6TH	1	15	2	7	6	31
	6	156	9	37	16	224

	FLOOR AREA	RESIDNTIAL	COMMON	EFFICIENCY
6/F	25,272 SQ.FT.	19,976 SQ.FT.	5,296 SQ.FT.	79.0 %
2ND	25,518 SQ.FT.	21,106 SQ.FT.	4,460 SQ.FT.	82.5 %
3RD	25,111 SQ.FT.	22,428 SQ.FT.	3,283 SQ.FT.	87.2 %
4TH	25,755 SQ.FT.	22,472 SQ.FT.	3,283 SQ.FT.	87.2 %
5TH	25,180 SQ.FT.	22,497 SQ.FT.	3,283 SQ.FT.	87.2 %
6TH	24,210 SQ.FT.	20,927 SQ.FT.	3,283 SQ.FT.	86.4 %
TOTAL	152,366 SQ.FT.			84.9 % AVERAGE

COMMON OPEN AREA:
REQ. : 30% LOT AREA = 18,284.16 SQ.FT.
PROVIDED: 19,206 SQ.FT

OUTDOOR AMENITY AREA:
REQ. : 1.0 SQ.M. PER APARTMENT = 224 SQ.M.
PROVIDED 3,830 SQ.FT. [355 SQ.M.]

PRIVATE OUTDOOR AMENITY AREA:
REQ. : 5% OF THE UNIT AREA OR 4.6 SQ.M., WHICHEVER IS GREATER.
PROVIDED AS PER PATIO OR BALCONY FOR EACH UNIT.

INDOOR AMENITY AREA:
REQ. : 1 SQ.M. PER UNIT = 224 SQ.M.
PROVIDED: 2,452 SQ.FT. = 227.1 SQ.M.

REV	DATE	DESCRIPTION
06	SEP 27 21	RE-ISSUED FOR REZONING
05	JAN 15 21	ISSUED FOR REZONING
04	APR 22 21	ISSUED FOR REVIEW
03	MAR 25 21	ISSUED FOR REVIEW
02	MAR 12 21	ISSUED FOR REVIEW
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LOVICK SCOTT ARCHITECTS
3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
604 298 3700 WWW.LOVICKSCOTT.COM
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DRAWN BY: AT
APPROVED: LSA

PROJECT
LOUGHEED APARTMENTS
22108 TO 22164 LOUGHEED HWY.,
MAPLE RIDGE , BRITISH COLUMBIA

DRAWING
SITE LAYOUT & STATISTICS

PROJECT NUMBER: 20-048
DRAWING NUMBER: A51
SCALE: 1/16" = 1'-0"
DATE: NOV. 2020
REVISION: SEP 27 21

LOUGHEED APARTMENTS - 20-048

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2021-352-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First Reading**
Zone Amending Bylaw No. 7787-2021
23613 132 Avenue

EXECUTIVE SUMMARY:

An application has been received to rezone the subject property, located at 23613 132 Avenue, from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential), to permit the future construction of 20 townhouse dwelling units in five separate buildings. To proceed further with this application additional information is required as outlined below.

As per Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program, at a rate of $4,100 per dwelling unit. Therefore, an estimated CAC amount of $90,200 would be required.

RECOMMENDATIONS:

1. **That Zone Amending Bylaw No. 7787-2021 be given first reading; and further**

2. **That the applicant provide further information as described on Schedules C, D, E and J of the *Development Procedures Bylaw No. 5879–1999*.**

DISCUSSION:

a) Background Context:

Applicant:	Don Schmidt
Legal Description:	Lot 22 Section 28 Township 12 Plan New Westminster District Plan 47603
OCP:	
Existing:	Medium/High Density Residential
Proposed:	Medium/High Density Residential
Within Urban Area Boundary:	Yes
Area Plan:	Silver Valley Area Plan
OCP Major Corridor:	No
Zoning:	
Existing:	RS-2 (Single Detached Suburban Residential)
Proposed:	RM-1 (Low Density Townhouse Residential)

1103

Surrounding Uses:

North:	Use:	Townhouses
	Zone:	RM-1 (Townhouse Residential)
	Designation:	Medium/High Density Residential
South:	Use:	Bare-land (Being prepped for townhouse construction)
	Zone:	RM-1 (Low Density Townhouse Residential)
	Designation:	Medium/High Density Residential
East:	Use:	Residential Single-Family
	Zone:	RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential) (3rd reading)
	Designation:	Medium/High Density Residential
West:	Use:	Residential Single-Family
	Zone:	RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential) (3rd reading)
	Designation:	Medium/High Density Residential

Existing Use of Property:	Residential Single-Family
Proposed Use of Property:	Residential Multi-Family
Site Area:	0.406 ha (1.0 acre)
Access:	132 Avenue
Servicing requirement:	Urban Standard

b) Site Characteristics:

The subject property is located on the corner of 132 Avenue and 236 Street (see Appendices A and B). There is an existing residential single-family dwelling located on-site which is surrounded by conifer and deciduous vegetation. Mature vegetation along the periphery will be encouraged to be retained subject to an arborist report. The terrain of the site consists of a gradual slope starting from the northeast corner declining towards the southwest corner of the property. The neighbourhood is experiencing redevelopment with the predominate housing form being townhouses. As such, the subject application is consistent with the redevelopment trends in the immediate area.

c) Project Description:

The subject rezoning application proposes to construct 20 dwelling units in the form of a townhouse development with access from 132 Avenue (see Appendix D). Each dwelling unit will have a double car garage with at least one parking space equipped with roughed in electrical infrastructure capable of Level 2 charging for an electric vehicle. There are currently four visitor parking spaces which is the required amount. Half of the visitor parking spaces will require Level 2 charging for electric vehicles. Minor setback variances are being requested that will affect the rear, interior and exterior lot lines by reducing the setbacks from 7.5 metres down to 6.0 metres. A detailed analysis of the variances will occur between first and second reading.

At this time the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.

d) Planning Analysis:

Official Community Plan:

The development site is located adjacent to the River Village within the Silver Valley Area Plan and is currently designated *Medium/High Density Residential*. The *Medium/High Density Residential* land use designation supports a range of single-family zones as well as the RM-1 (Townhouse Residential) zone. The following Area Plan policies provide additional guidance for a multi-family development on the development site:

5.2.9 b) *River Village is pedestrian-oriented and is a walkable scale, with a significant number of residents within a 5-minute walk.*

7.4 j) *Townhouse developments should be integrated with other forms of housing within the same block, and are encouraged to front onto streets rather than onto internal enclaves. The form and character of townhousing developments should be compatible with neighbouring residential scale and should reflect the design variety of its context.*

Zoning Bylaw:

The current application proposes to rezone the property located from RS-2 (Single Detached Suburban Residential) to RM-1 (Low Density Townhouse Residential) (see Appendix C) to permit the construction of 20 townhouse units (see Appendix D). Any variations from the requirements of the proposed zone will require a Development Variance Permit application.

Development Permits:

Pursuant to Section 8.7 of the Official Community Plan, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

Pursuant to Section 8.12 of the Official Community Plan, a Wildfire Development Permit application is required for all development and subdivision activity identified in wildfire risk areas. The purpose of the Wildfire Development Permit is for the protection of life and property in designated areas that could be at risk for wildland fire; and where this risk may be reasonably abated through implementation of appropriate precautionary measures. The subject property is located within the Wildfire Development Permit Area, identified on Map 1 in Section 8.12 of the Official Community Plan. Prior to second reading a Registered Professional Forester's Report will be required to determine wildfire mitigation requirements.

Advisory Design Panel:

A Multi-Family Development Permit is required and the associated plans must be reviewed by the Advisory Design Panel prior to second reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to second reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after first reading, comments and input, will be sought from the various internal departments and external agencies listed below:

a) Engineering Department;
b) Operations Department;
c) Fire Department;
d) Building Department; and
e) Parks, Recreation and Culture Department;

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing and site access requirements have not been undertaken. We anticipate that this evaluation will take place between first and second reading.

Any subdivision layout provided is strictly preliminary and could likely change once the servicing details and analysis reports are provided. Any layout must ultimately be approved by the Approving Officer.

f) Development Applications:

In order for this application to proceed the following information must be provided, as required by *Development Procedures Bylaw No. 5879–1999* as amended:

1. A complete Rezoning Application (Schedule C);
2. A Multi-Family Residential Development Permit Application (Schedule D);
3. A Development Variance Permit (Schedule E); and
4. A Wildfire Development Permit Application (Schedule J);

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

The development proposal is in compliance with the OCP, therefore, it is recommended that Council grant first reading subject to additional information being provided and assessed prior to second reading.

"Original signed by Tyson Baker"

Prepared by: **Tyson Baker, B.Pl.**
Planning Technician

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

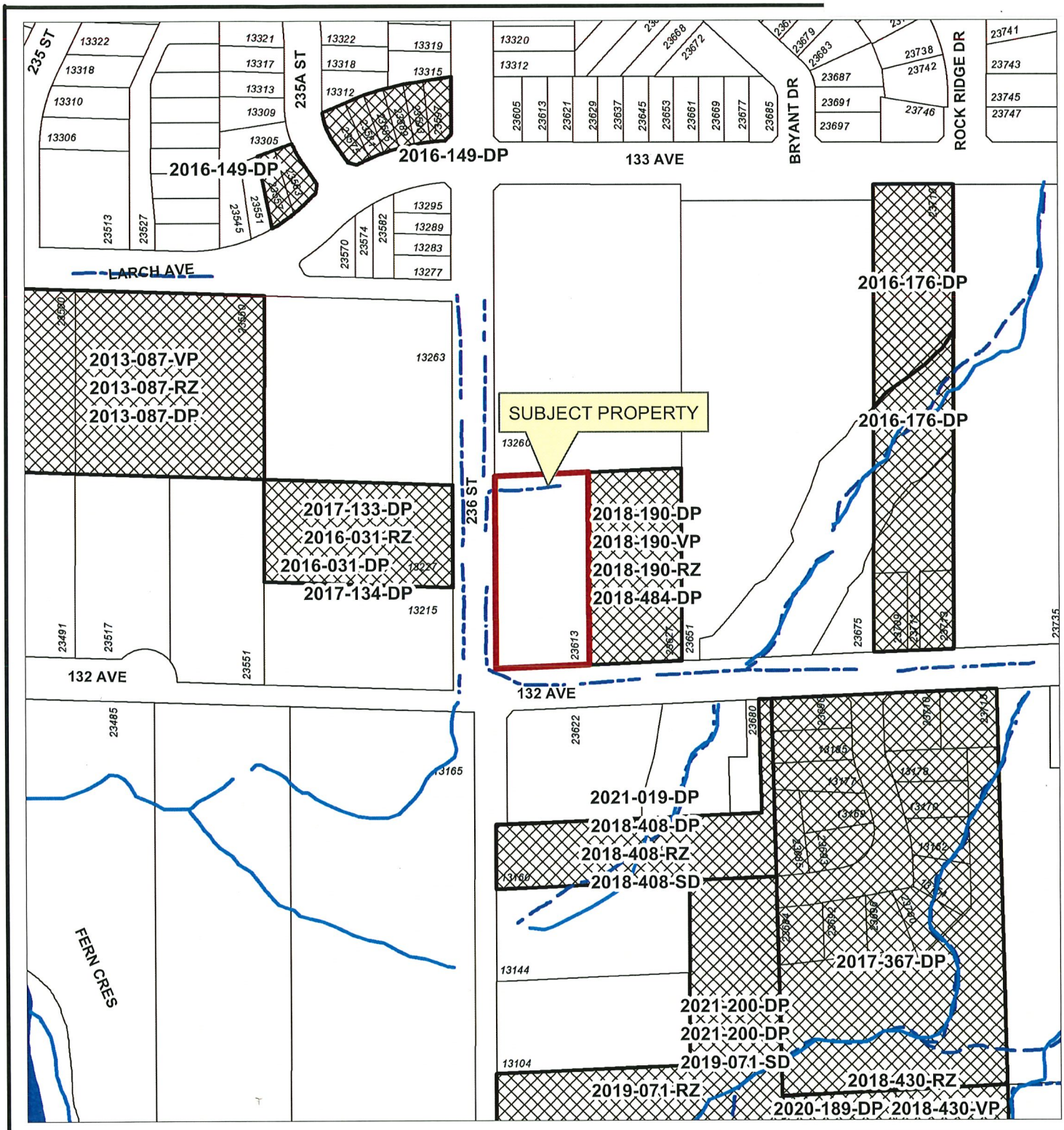
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7787-2021
Appendix D – Proposed Site Plan

APPENDIX A



N

Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Edge of River
- Indefinite Creek
- River
- Street Name Labels
- Active Applications (RZ/SD/DP/VP)

23613 132 AVENUE
PID: 000-484-237

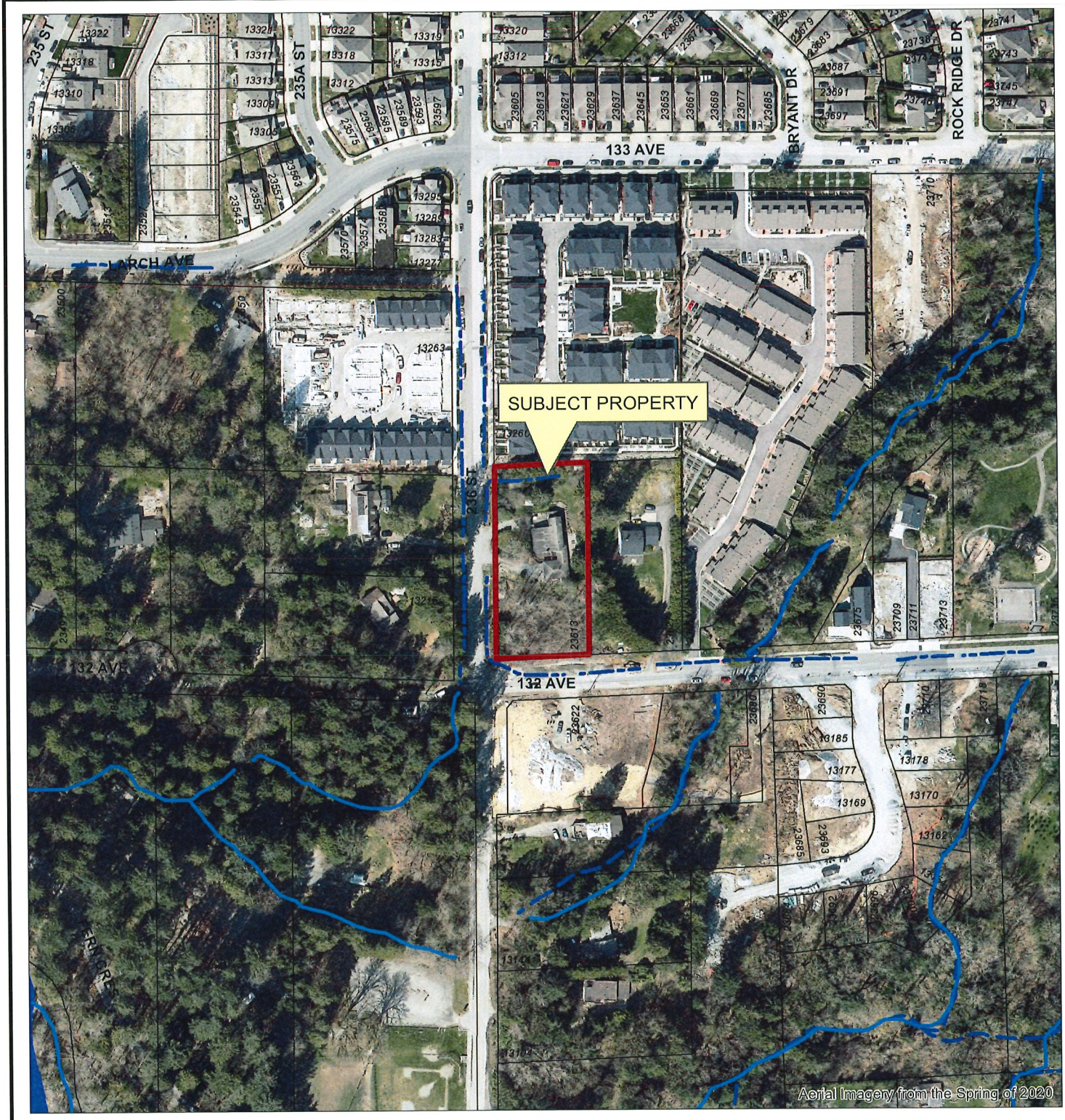
PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2021-352-RZ/DP
DATE: Oct 27, 2021 BY: PC

APPENDIX B



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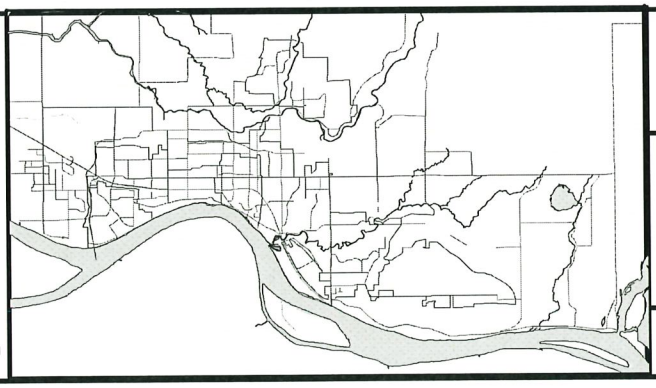


23613 132 AVENUE
PID: 000-484-237

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2021-352-RZ/DP
DATE: Oct 27, 2021 BY: PC

CITY OF MAPLE RIDGE
BYLAW NO. 7787-2021

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7787-2021."

2. That parcel of land and premises known and described as:

   Lot 22 Section 28 Township 12 New Westminster District Plan 47603

   and outlined in heavy black line on Map No. 1906 a copy of which is attached hereto and forms part of this Bylaw, is/are hereby rezoned to RM-1 (Low Density Townhouse Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

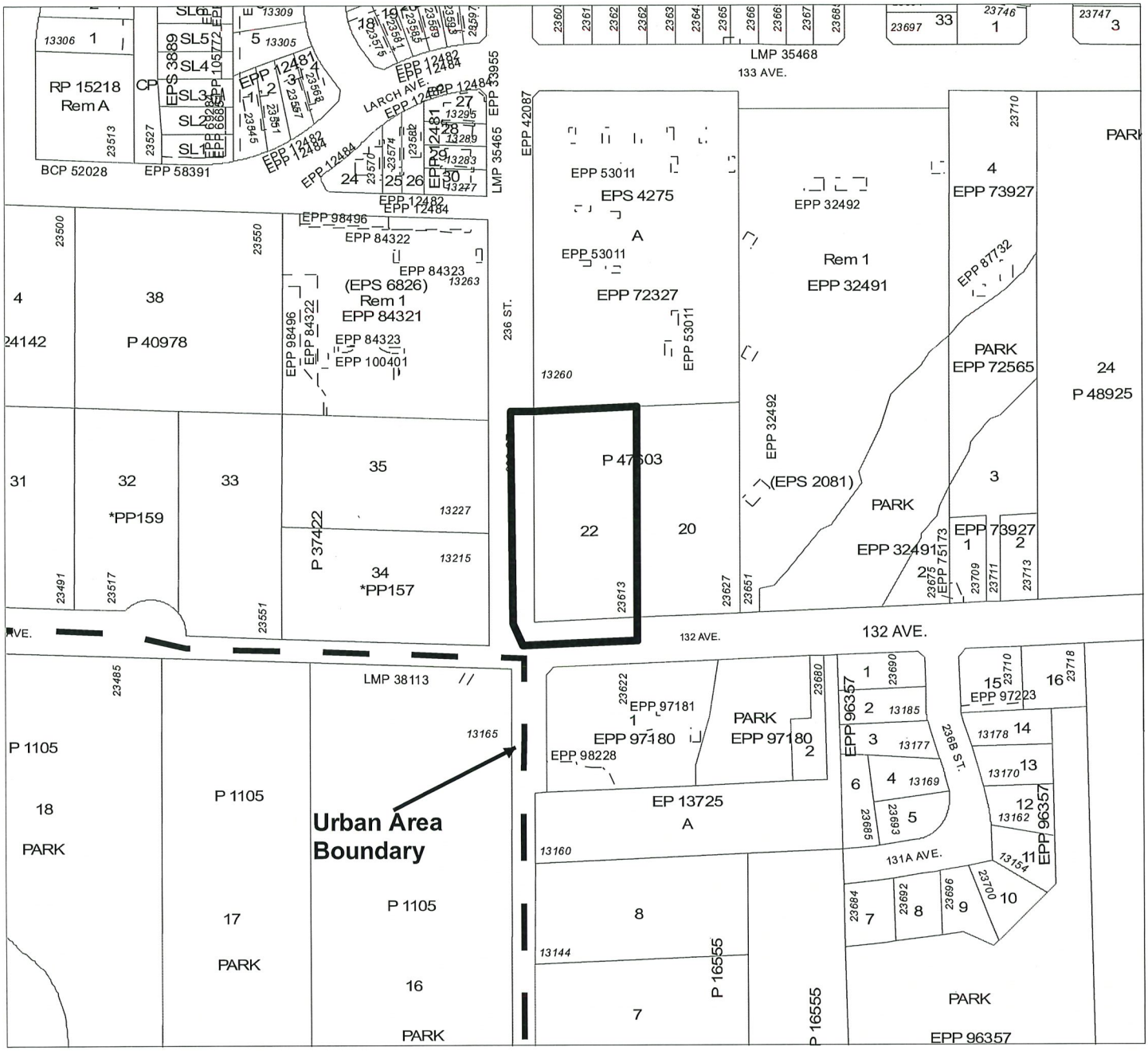
PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7787-2021

Map No. 1906

From: RS-2 (Single Detached Suburban Residential)

To: RM-1 (Low Density Townhouse Residential)

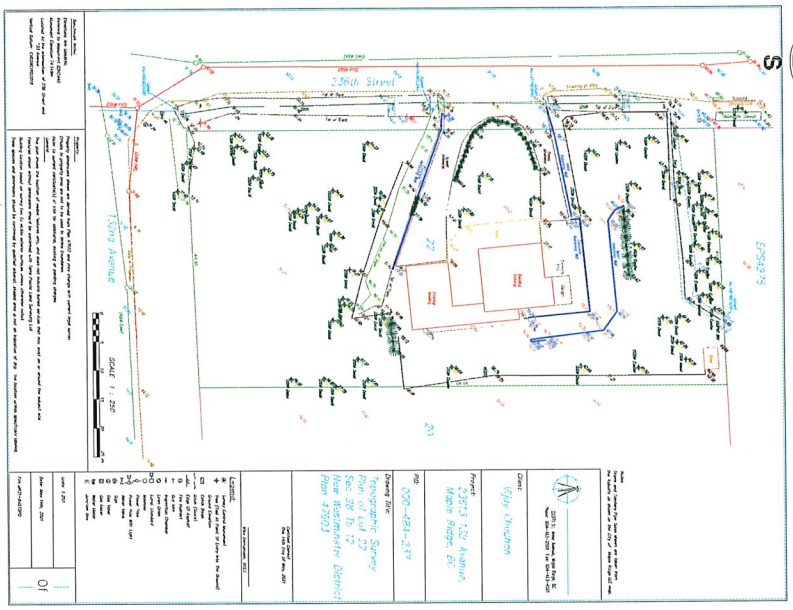
MAPLE RIDGE
British Columbia

— — Urban Area Boundary

N

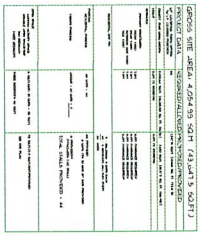
SCALE 1:2,500

SITE CONTEXT MAP



43,643.0 SQ.FT.
4,054.4 SQ.M.

RM-1 ZONING



LIST OF REQUIRED VARIANCES

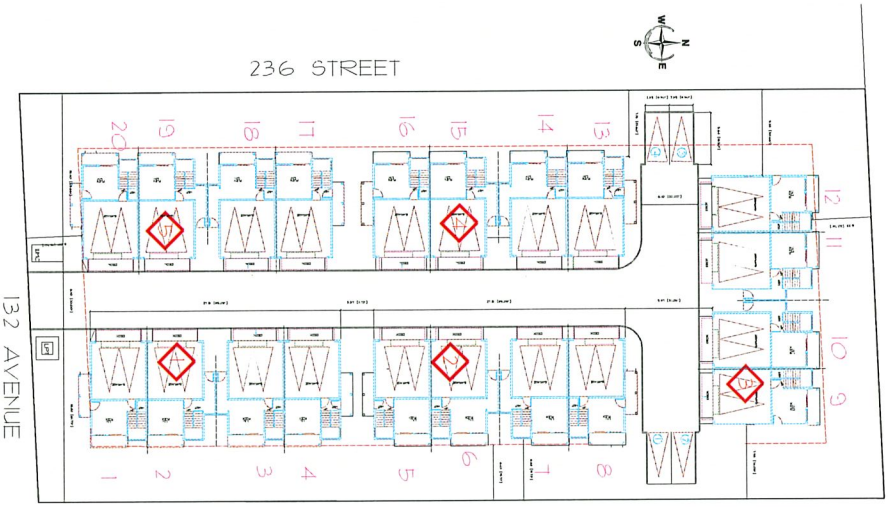
FRONT YARDS SETBACK - BUILDINGS # AND 5
REQUIRED SETBACK : 7.5M
PROVIDED SETBACK : 6.01

REAR YARD SETBACK - BUILDINGS #1 AND 2
REQUIRED SETBACK : 7.5M
PROVIDED SETBACK : 6.00M

REAR YARD SETBACK - BUILDINGS #3
REQUIRED SETBACK : 7.5M
PROVIDED SETBACK : 3.5M

SITE CONCEPT PLAN

SCALE: 1": 20'-0"



DRAWING NO:	REVISIONS	DATE	NO.	DESIGNED BY: KEN HOLLAND	CLIENT: RON SCHMIDT	KEN HOLLAND DESIGNS
1 of 3	SUBMITTED	NOV02/2021		DRAWN BY: KEN HOLLAND	PROJECT TITLE: 23613 132 AVE	CUSTOM HOUSE DESIGNING - DRAFTING - CONSULTATIONS - RENOVATIONS
				SCALE: 1/4"=1'0" U.N.O.	DRAWING TITLE: SITE PLAN	C: 604.817.6656
	E-FILE NAME	VIJAY UNITS-7		DATE: NOV02/2021		

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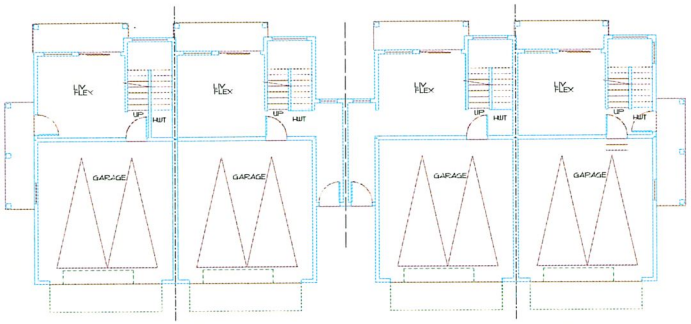
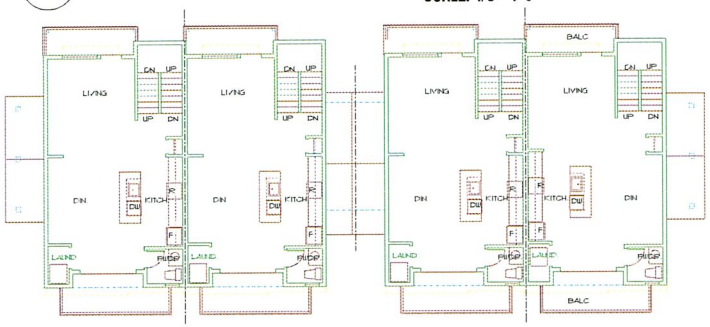


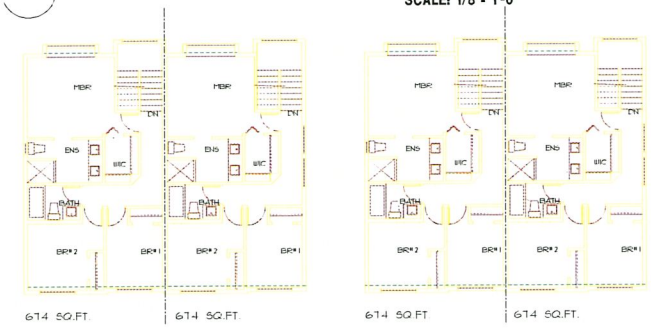
BLDG'S 6 & 7 PLAN - GROUND FLOOR

SCALE: 1/8"= 1'-0"



BLDG'S 6 & 7 PLAN - MAIN FLOOR

SCALE: 1/8"= 1'-0"



BLDG'S 6 & 7 PLAN - UPPER FLOOR

SCALE: 1/8"= 1'-0"

KEN HOLLAND DESIGNS

CUSTOM HOUSE DESIGNING · DRAFTING · CONSULTATIONS · RENOVATIONS

C: 604.817.6696

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CLIENT: DON SCHMIDT

PROJECT TITLE: 23613 132 AVE

DRAWING TITLE: FLOOR PLANS

NO	DATE	DESIGNED BY: KEN HOLLAND
	NOV/21/2021	DRAWN BY: KEN HOLLAND
		SCALE: 1/4"=1'-0" UNO
		DATE: NOV/21/2021
		E FILE NAME: 21JAY LANE-1

DRAWING NO: 2 of 3

REVISIONS: SUBMITTED

DRAWING NO: 3 of 3	REVISIONS	DATE	NO	DESIGNED BY: KEN HOLLAND	CLIENT: DON SCHMIDT	KEN HOLLAND DESIGNS
	SUBMITTED	NOV02/2021		DRAWN BY: KEN HOLLAND	PROJECT TITLE: 23613 132 AVE	CUSTOM HOUSE DESIGNING - DRAFTING - CONSULTATIONS - RENOVATIONS
				SCALE: 1/4"=1'0" U.N.O	DRAWING TITLE: FLOOR PLANS	C: 604.817.6656
	E-FILE NAME	V(AT UNITS-1		DATE: NOV02/2021		

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MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2021-393-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First Reading**
Zone Amending Bylaw No. 7811-2021
10869 and 10911 248 Street

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties, located at 10869 and 10911 248 Street, from RS-3 (Single Detached Rural Residential) to R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential), and R-3 (Single Detached (Intensive) Urban Residential), to permit a future subdivision of approximately 11 R-1 (Single Detached (Low Density) Urban Residential zoned lots, 12 R-2 (Single Detached (Medium Density) Urban Residential) zoned lots and 11 R-3 (Single Detached (Intensive) Urban Residential) zoned lots, for a total of approximately 34 lots.

In order for this application to be consistent with the Official Community Plan an amendment will be required to designate the land use from *Low Density Residential* to *Single Family*, which is already proposed by the North East Albion Area Concept Plan (Concept Plan). The Concept Plan was endorsed by Council and used to amend the Albion Area Plan while receiving first reading on January 20, 2021. In addition, portions of the property will need to be designated as *Conservation*.

In keeping with the new policies contained within the Albion Area Plan an amendment to the Zoning Matrix of the of the Albion Area Plan will be required to include the proposed R-2 zone as a density bonus zone. The proposed R-3 zoned lots are permitted when significant tree stands are preserved and protected under the Albion Area Plan.

This amendment will be utilizing the Density Bonus provisions of the Albion Area Plan for the creation of R-1 zoned lots at a rate of $3,100 per lot. There will also be a need to amend the Zoning Bylaw to incorporate the R-2 zone as a density bonus option within the Density Bonus for Albion Area section at a rate of $3,650 per lot.

Pursuant to Council Policy 6.31 the proposed development is subject to the Community Amenity Contribution at a rate of $5,100 per single family lot. The total estimated CAC cost will be $173,400 based on the preliminary plan showing 34 single-family lots. It is noted that a number of technical reports are required for this project to advance to second reading, and thus lot boundaries and yields may change as a result. Since this first reading report is based on a preliminary plan, the total CAC figure may change.

RECOMMENDATIONS:

1. In respect of Section 475 of the *Local Government Act,* requirement for consultation during the development or amendment of an Official Community Plan, Council must consider whether consultation is required with specifically:

   i. The Board of the Regional District in which the area covered by the plan is located, in the case of a Municipal Official Community Plan;
   ii. The Board of any Regional District that is adjacent to the area covered by the plan;
   iii. The Council of any municipality that is adjacent to the area covered by the plan;
   iv. First Nations;
   v. Boards of Education, Greater Boards and Improvements District Boards; and
   vi. The Provincial and Federal Governments and their agencies.

   and in that regard it is recommended that no additional consultation be required in respect of this matter beyond the early posting of the proposed Official Community Plan amendments on the City's website, together with an invitation to the public to comment, and;

2. That Zone Amending Bylaw No. 7811-2021 be given first reading; and further

3. That the applicant provide further information as described on Schedules A, B, E, F, and G of the Development Procedures Bylaw No. 5879-1999, along with the information required a Subdivision application.

DISCUSSION:

a) Background Context:

Applicant:		Aplin and Martin Consultants Ltd.
Legal Description:		Lot A Section 10 Township 12 New Westminister Plan 21086; and Lot 14 Block E 1/2 Section 10 Township 12 New Westminister Plan 2450
OCP:		
Existing:		Low Density Residential
Proposed:		Single Family and Conservation
Within Urban Area Boundary:		Yes
Area Plan:		North East Albion Land Use Concept Plan
OCP Major Corridor:		Yes
Zoning:		
Existing:		RS-3 (Single Detached Rural Residential)
Proposed:		R-1 (Single Detached (Low Density) Urban Residential); R-2 (Single Detached (Medium Density) Urban Residential); and R-3 (Single Detached (Intensive) Urban Residential)
Surrounding Uses:		
North:	Use:	Vacant
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential

South:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential and Conservation
East:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low/Medium Density Residential and Institutional
West:	Use:	Single-Family Residential
	Zone:	RS-3 (Single Detached Rural Residential)
	Designation:	Low Density Residential and Conservation

Existing Use of Property:	Single-Family Residential
Proposed Use of Property:	Single-Family Residential
Site Area:	1.935 ha (4.78 acres)
Access:	248 Street
Servicing requirement:	Urban Standard

b) Site Characteristics:

The subject properties are located west of 248 Street, south of 110 Avenue and north of 108 Avenue in north east Albion. Currently, located on the each of the subject properties is a single-family home, as well as, an accessory structure. The subject properties are treed and contain tributaries of Kanaka Creek on the western portions of the properties (Appendices A and B). The properties are influenced by steep slopes that slope from the southeast to the northwest (Appendix C).

c) Project Description:

The applicant is proposing to rezone the subject properties to permit a future subdivision of approximately 34 lots. The western portions of the subject properties are influenced by tributaries of Kanaka Creek and will form part of the lands that will be protected as an environmentally sensitive area.

At this time, the application has been assessed to determine its compliance with the Official Community Plan (OCP) as well as, the Concept Plan and revised Albion Area Plan, and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.

This application intends to use the Density Bonus provisions of the revised Albion Area Plan for the creation of R-1 (Single Detached (Low Density) Urban Residential)) zoned lots at a rate of $3,100 per lot. In keeping with the Density Bonus provision of the revised Albion Area Plan and in conjunction with Zoning Bylaw No. 7600-2019, the Density Bonus provisions would thus also be amended to require $3,650 per lot for the R-2 zoned lots. The R-3 (Single Detached (Medium Density) Urban Residential) zoned lots are supported through the application of proposed Policy 10-17 for the protection of significant trees through site design.

d) Planning Analysis:

Official Community Plan:

The North East Albion Area Concept Plan, endorsed by Council on October 1, 2019, has not yet been incorporated into the Official Community Plan, but is used as a guide to review applications on a case by case basis. This has been undertaken for this application. This application is in keeping with the proposed land used designations within the Servicing Concept Plan.

Council granted first reading to Official Community Plan Amending Bylaw No. 7698-2021 on January 26, 2021 to amend the Albion Area Plan and incorporate the Concept Plan. The Albion Area Plan designates the subject properties as *Low Density Residential*; however, the subject properties fall within the Concept Plan which identifies the properties as *Single Family* and *Conservation*. As this application is proceeding in advance of the North East Albion Official Community Plan Amending Bylaw No. 7698-2021, the proposal of single-family residential with the protection of environmentally sensitive areas and significant trees is in keeping with the designations shown in the Concept Plan. An OCP amendment will be required to designate those portions of the subject properties proposed to be zoned for single-family homes as *Single Family*. In addition, those portions of the land identified as environmentally sensitive areas will be designated as *Conservation*.

The Concept Plan breaks up the North East Albion Area into neighbourhood precincts under proposed Policy 10-44. The subject properties are located within the West of 248 Street Precinct. Within this Precinct there are several topics that guide proposed development:

- Tree Protection – Clusters of significant trees have been identified. There may be opportunities for future development to cluster single-family homes along with opportunities for smaller forms or residential development, including duplex, triplex or fourplex homes in this area in exchange for the preservation of high-value tree stands (Appendix D).
- Equestrian Trail – A trail that connects riders from the existing Kanaka Crossing to Grant Hill. This also helps to create a buffer between much of the environmentally sensitive area and future development (Appendix D).
- Wildlife Corridor – Existing wildlife movement corridors will be preserved in support of wildlife conservation and resident safety (Appendix D).
- Single-Family Residential – Locating detached homes in the south respects and reflects the character of the existing homes nearby (Appendix D).

The initial land use concept proposed (Appendix F) with this application appears to be following the above noted guiding topics with the preservation of high-value trees. Through the preservation of high-value significant tree stands the R-3 (Special Amenity Residential District) single-family zone is supportable. If the high-value significant tree stands are not preserved then the R-3 (Special Amenity Residential District) single-family zone would not be supported.

The *Single Family* designation for the North East Albion Area is intended for detached dwellings on rural to smaller urban lots, allowing for a range of homeownership opportunities. The following proposed policies support the proposed application.

- ***Policy 10-48*** *Rear-loaded forms of housing will be encouraged along collector and arterial roads.*

  The proposed concept plan includes rear-loaded R-3 lots along 248 Street which is an Arterial Road.

- ***Policy 10-49*** *A smooth transition between single-family homes and more intensive forms of housing development, along 112th Avenue, 110th Avenue and 248th Street, should be providing through a range of lot sizes.*

  The proposed concept plan has R-3 lots (255m^2 min. size) along 248 Street with R-2 lots (315m^2 min. size) in the centre of the proposed development with more R-1 lots (371m^2 min. size) in the western portion of the site. This mix of zones provides higher density along the arterial road with lower density larger lot sizes moving towards the west providing a smooth transition of density and varied lots sizes. It also provides for the protection of significant tree clusters and the protection of Environmentally Sensitive Areas.

Zoning Bylaw:

The current application proposes to rezone the subject properties from RS-3 (Single Detached Rural Residential) to 11 R-1 (Single Detached (Low Density) Urban Residential zoned lots, 12 R-2 (Single Detached (Medium Density) Urban Residential) zoned lots and 11 R-3 (Single Detached (Intensive) Urban Residential) zoned lots, for a total of approximately 34 lots (see Appendices E and F).

To bring Zoning Bylaw No. 7600-2019 Density Bonus for Albion Area regulations into alignment with the amendments to the Albion Area Plan an amendment is required to the Zoning Bylaw. This amendment will be for the inclusion of the R-2 (Single Detached (Medium Density) Urban Residential) zone into the Density Bonus for Albion Area regulations. This zone will require an Amenity Contribution of $3,650 for each lot in a subdivision as a density bonus contribution which is proportionately higher than the existing density bonus rate of $3,100 for the R-1 zoned lots. The density bonus for the R-3 zoned lots is in exchange for the preservation of high-value tree stands as provided in the Albion Area Plan.

Any variations from the requirements of the proposed zoning will require a Development Variance Permit application.

Development Permits:

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated Conservation on Schedule "B" or all areas within 50 metres of an area designated Conservation on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15%;
- All floodplain areas and forest lands identified on Natural Features Schedule "C";

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions. The detailed review of environmental, geotechnical and arborist reports by staff to meet the City's environment and parks requirements, including confirmation of trails and watercourse setbacks, may necessitate changes to the layout and lot yield prior to second reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to second reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after first reading, comments and input, will be sought from the various internal departments and external agencies listed below:

a) Engineering Department;
b) Operations Department;
c) Fire Department;
d) Building Department;
e) Parks, Recreation and Culture Department;
f) School District;
g) Utility companies; and
h) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for detailed comments at this time; therefore, an evaluation of servicing and site access requirements have not been undertaken. We anticipate that this evaluation will take place between first and second reading. Any subdivision layout provided is strictly preliminary and could change after servicing details and analysis reports are reviewed. Any layout must ultimately be approved by the Approving Officer.

f) Early and Ongoing Consultation:

In respect of Section 475 of the *Local Government Act* for consultation during an OCP amendment, it is recommended that no additional consultation is required beyond the early posting of the proposed OCP amendments on the City's website, together with an invitation to the public to comment.

g) Development Applications:

In order for this application to proceed the following information must be provided, as required by *Development Procedures Bylaw No. 5879–1999* as amended:

1. An OCP Application (Schedule A);
2. A complete Rezoning Application (Schedule B);
3. A Development Variance Permit (Schedule E);
4. A Watercourse Protection Development Permit Application (Schedule F);
5. A Natural Features Development Permit Application (Schedule G); and
6. A Subdivision Application.

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

The development proposal is in general compliance with the Concept Plan that was endorsed by City Council on October 1, 2019. Council granted first reading to Official Community Plan Amending Bylaw No. 7698-2021 on January 26, 2021 to amend the Albion Area Plan to incorporate the Concept Plan; however, land-use designation and boundary adjustments may occur once the full assessment is completed prior to second reading.

Justification has been provided to support the OCP amendments; therefore, it is recommended that Council grant first reading, subject to additional information being provided and assessed prior to second reading.

It is expected that after complete information is received, Zone Amending Bylaw No. 7811-2021 will be amended and an Official Community Plan Amendment to adjust the *Conservation* boundary, may be required.

Any subdivision layout provided is strictly preliminary and could likely change once the servicing details and analysis reports are provided. Any layout must ultimately be approved by the Approving Office.

"Original signed by Mark McMullen" for

Prepared by: **Wendy Cooper, M.Sc., MCIP,RPP**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

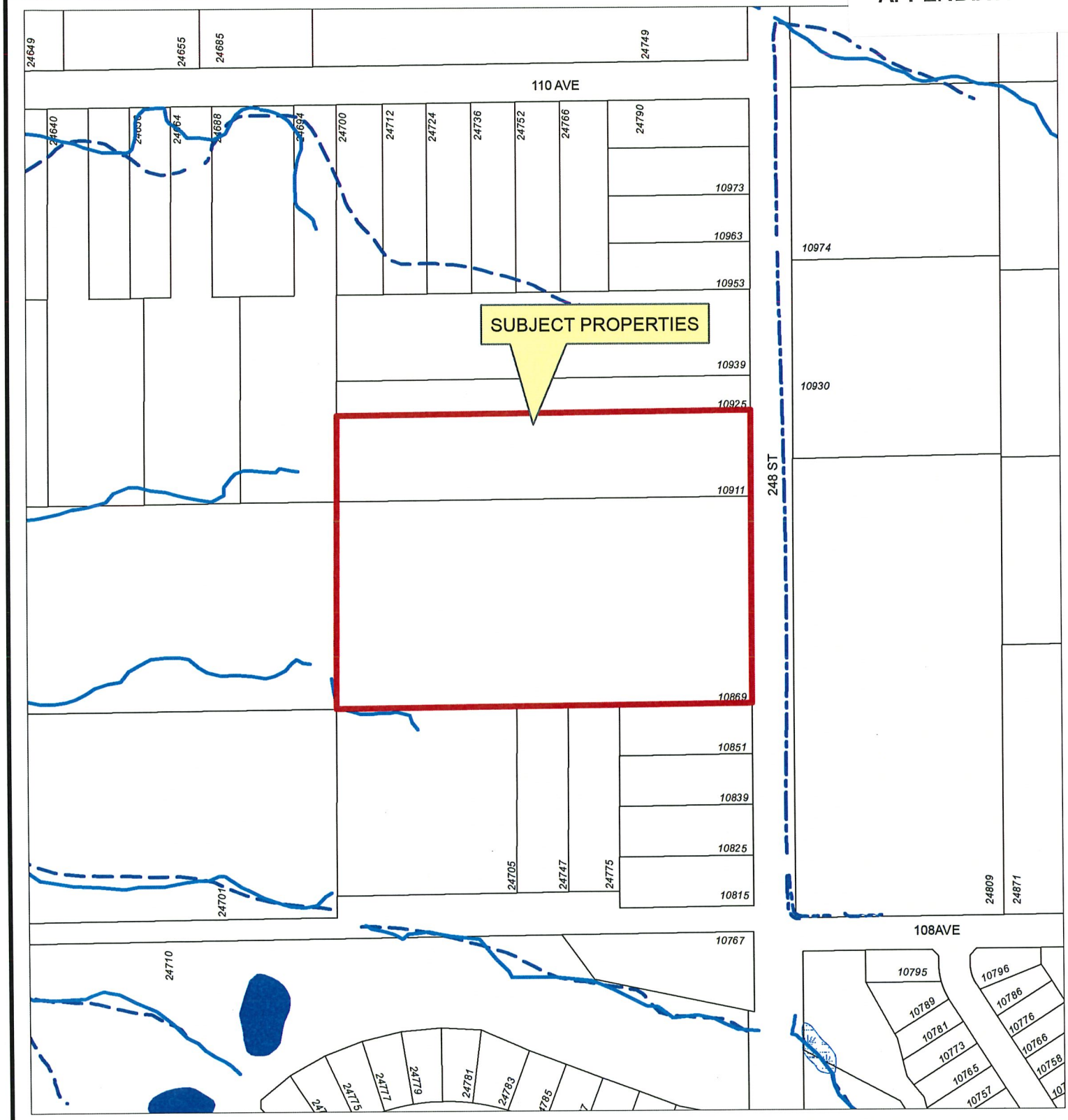
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:
Appendix A– Subject Map
Appendix B– Ortho Map
Appendix C– Environmental Context Map
Appendix D– Draft North East Albion Land Use Plan (within OCP Amending Bylaw 7698-2021)
Appendix E– Zone Amending Bylaw No. 7811-2021
Appendix F– Proposed Site Plan

APPENDIX A



N

Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Edge of Marsh
- Indefinite Creek
- Lake or Reservoir
- Marsh

10869 & 10911 248 STREET
PID'S: 004-369-751 & 004-111-371

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2021-393-RZ
DATE: Jul 27, 2021

BY: PC

APPENDIX B

N

Scale: 1:2,500

10869 & 10911 248 STREET
PID'S: 004-369-751 & 004-111-371

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2021-393-RZ
DATE: Jul 27, 2021 BY: PC

N

Scale: 1:1,200

Preliminary Environmental Context View of 10869 and 10911 248 St.

The City of Maple Ridge makes no guarantee regarding the accuracy or present status of the information shown on this map.

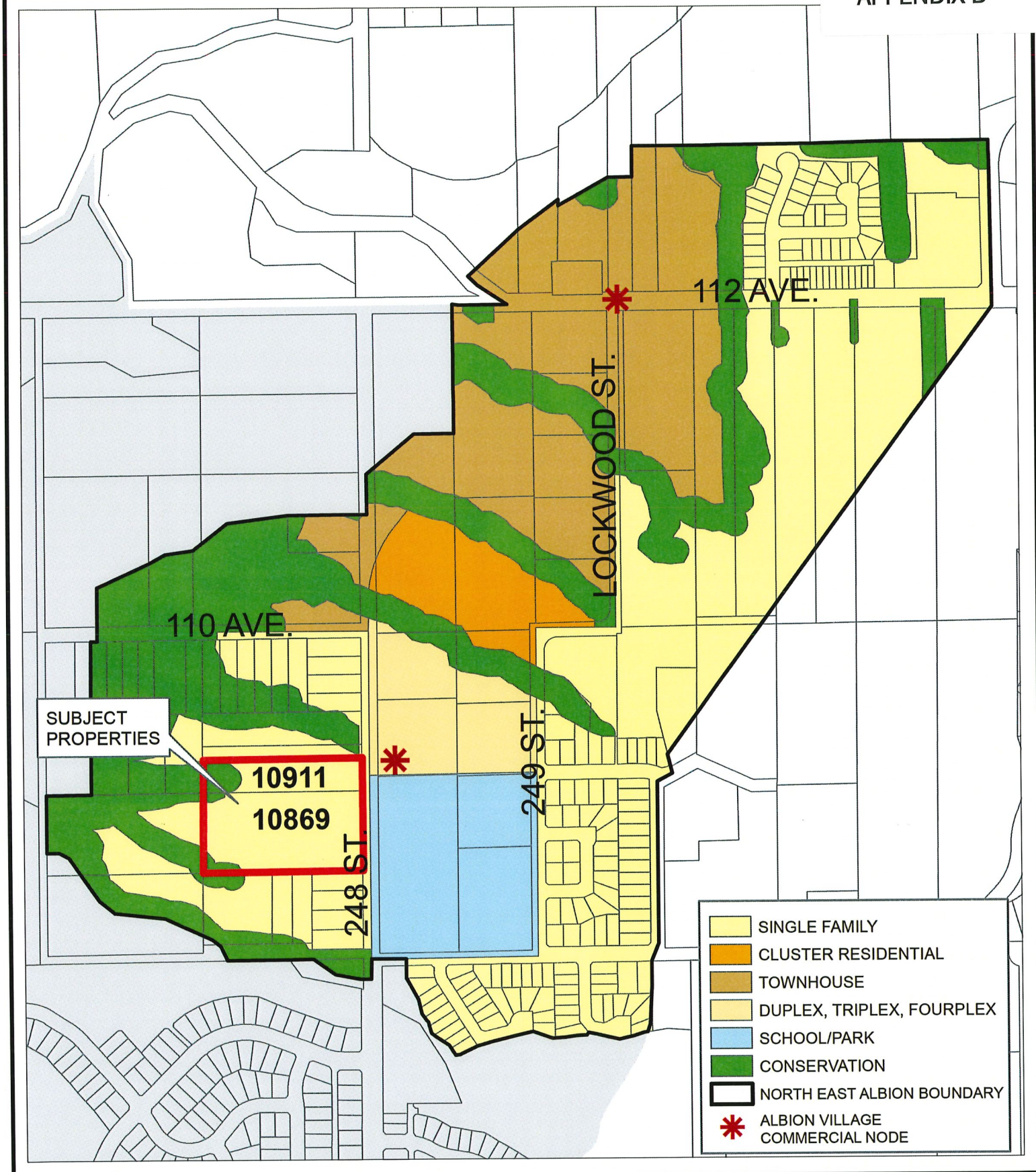
PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: Subject Map 2018b
DATE: Nov 23, 2021
BY: MP

APPENDIX C

APPENDIX D



N

N.T.S.

NORTH EAST ALBION AREA PLAN "SCHEDULE 2"

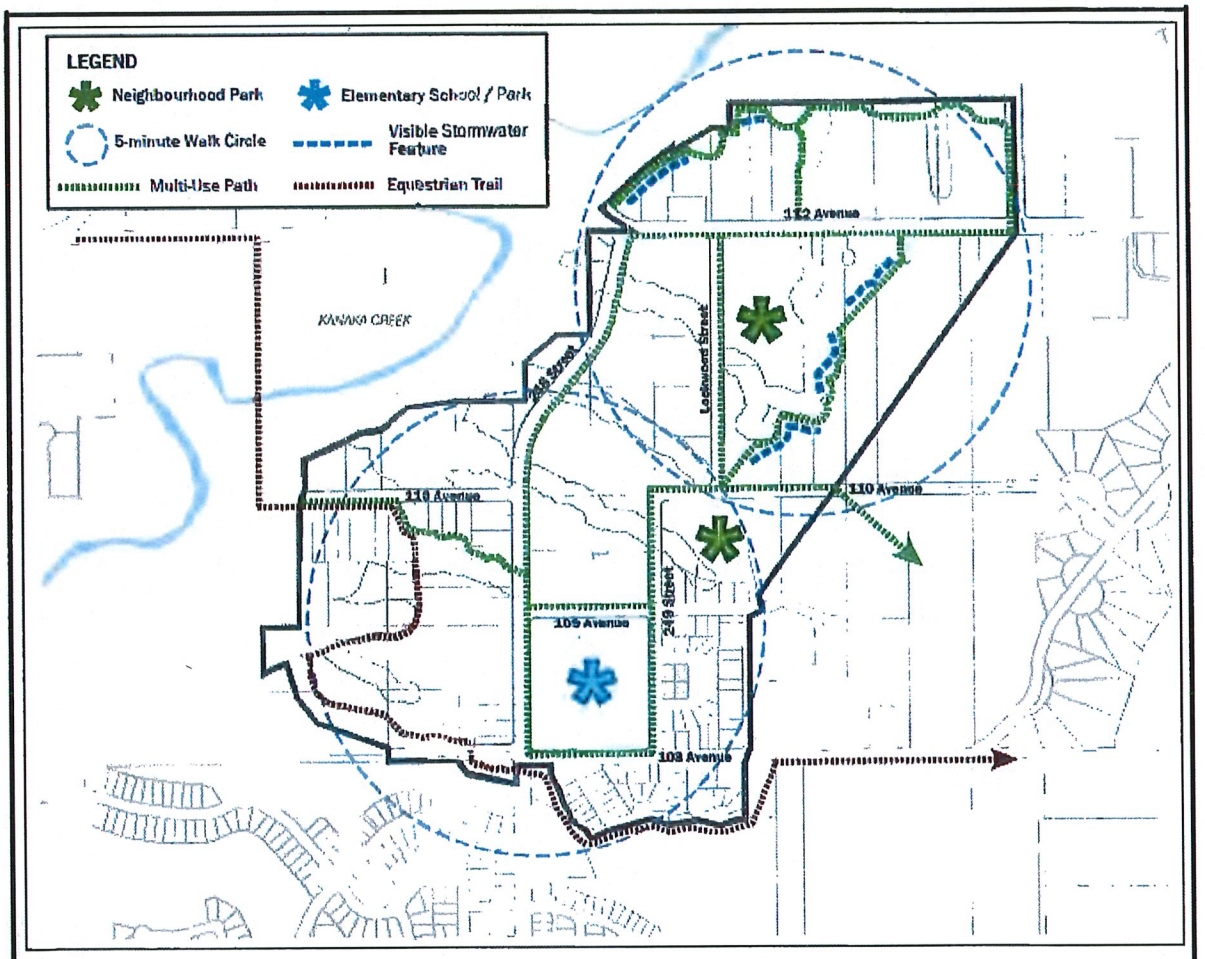
PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

DATE ADOPTED: MMM XX 2021
DATE OF LAST REVISION: MMM XX, 2021

BY: DT



N

N.T.S.

Figure 2

Proposed Neighbourhood Parks and Trails

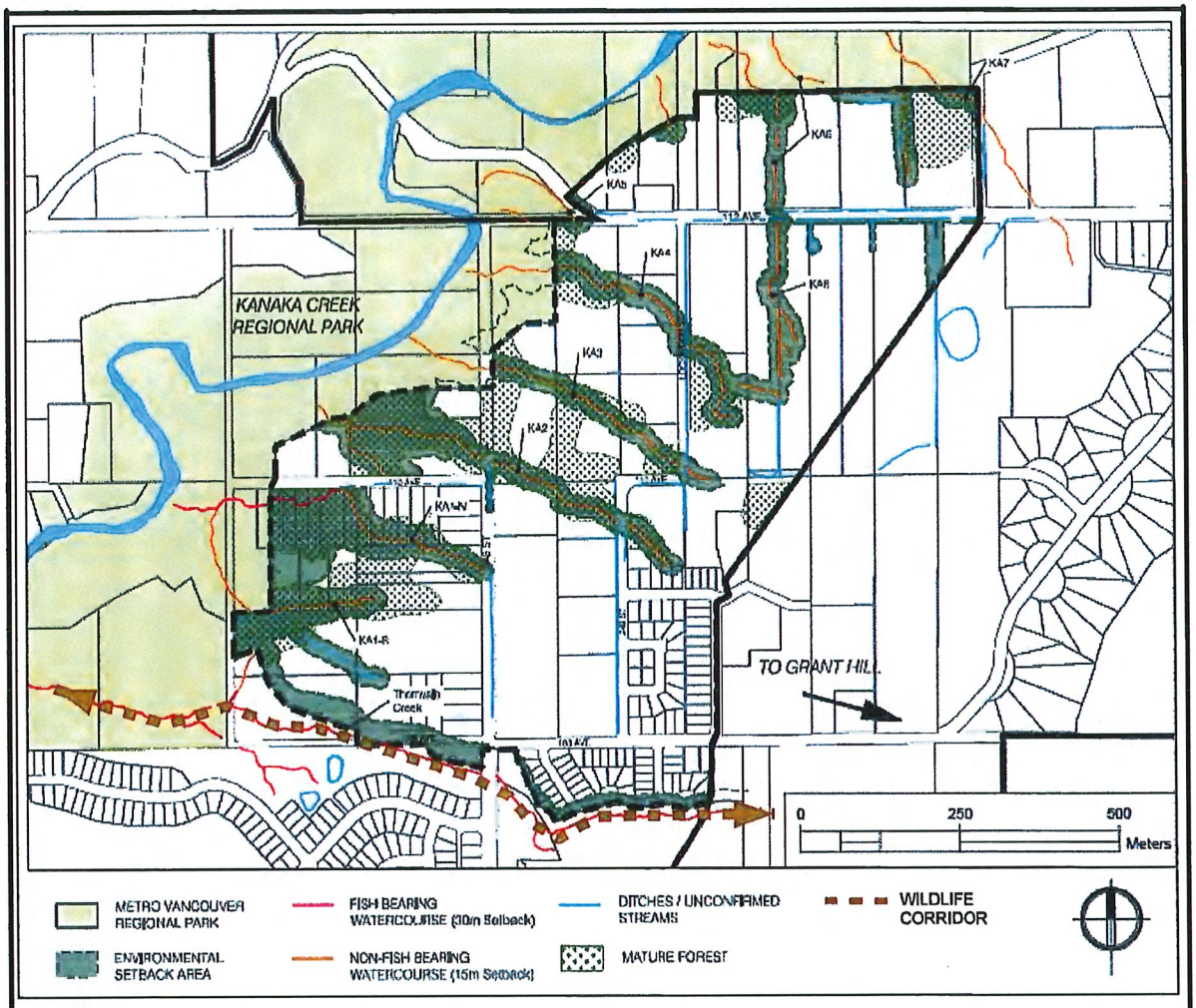
North East Albion Area Plan
Figure 2

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: NEAAP Figure 2.mxd
DATE: Jan 5, 2021 BY: DT



N

N.T.S.

Figure 1

Watercourses and Mature Forests

North East Albion Area Plan
Figure 1

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: NEAAP Figure 1.mxd
DATE: Jan 5, 2021 BY: DT

CITY OF MAPLE RIDGE
BYLAW NO. 7811-2021

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7811-2021".

2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended as follows:

3. THAT PART 4 – GENERAL REGULATIONS, SECTION 402.8 DENSITY BONUS ALBION AREA, SUBSECTION 3 is amended as follows by adding:

   d.) In the R-2 (Single Detached (Medium Density) Urban Residential) zone located within the North East Albion Area:

   i. an Amenity Contribution of $3,650.00 shall be required for each lot in a subdivision as a density bonus contribution in exchange for the preservation of high-value tree stands as provided in the Albion Area Plan.

2. Those parcels or tracts of land and premises known and described as:

   Lot A Section 10 Township 12 New Westminster District Plan 21086; and
   Lot 14 Block E1/2 Section 10 Township 12 New Westminster District Plan 2450

   and outlined in heavy black line on Map No. 1936 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential, R-2 (Single Detached (Medium Density) Urban Residential) and R-3 (Single Detached (Intensive) Urban Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

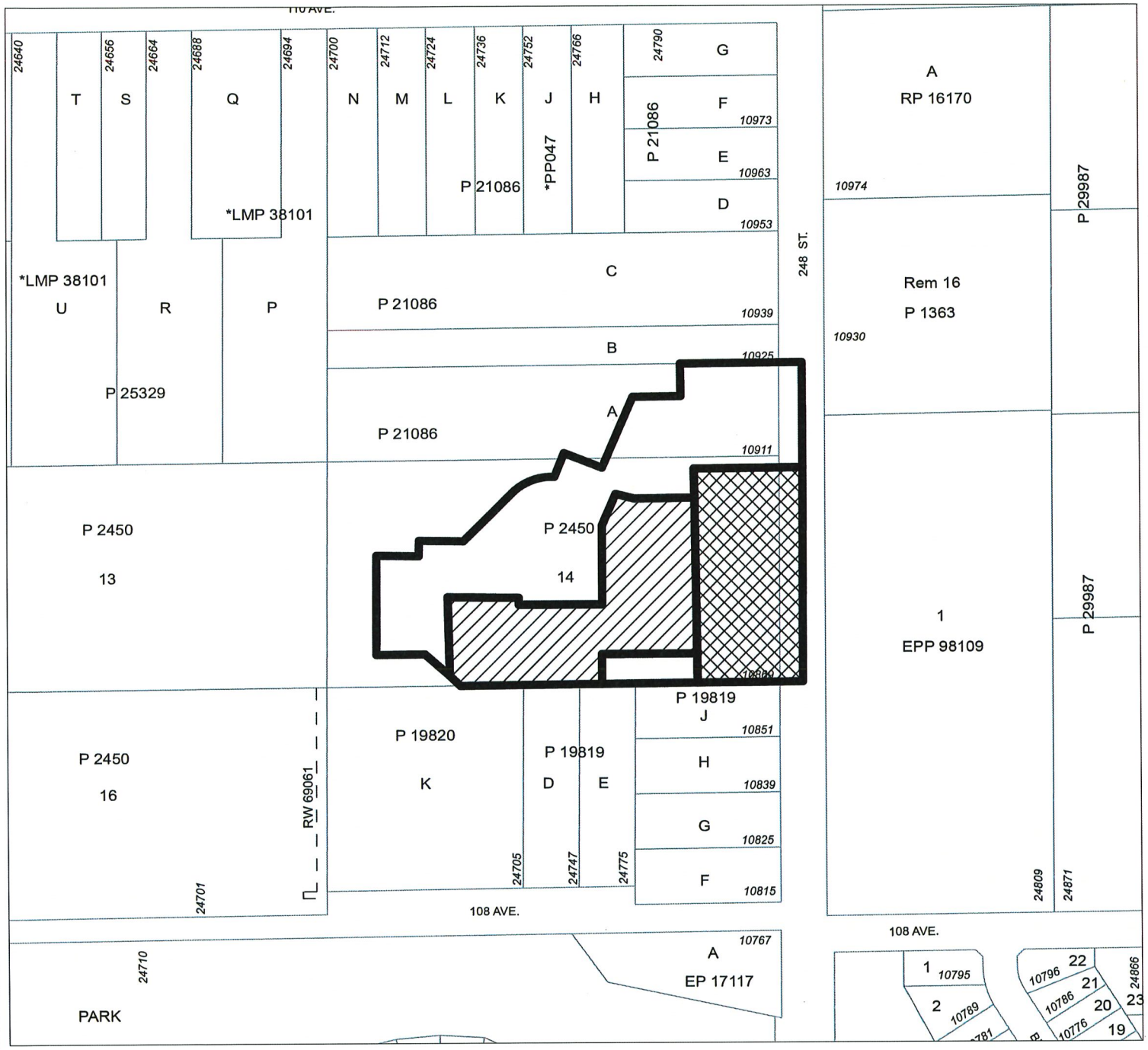
PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7811-2021

Map No. 1936

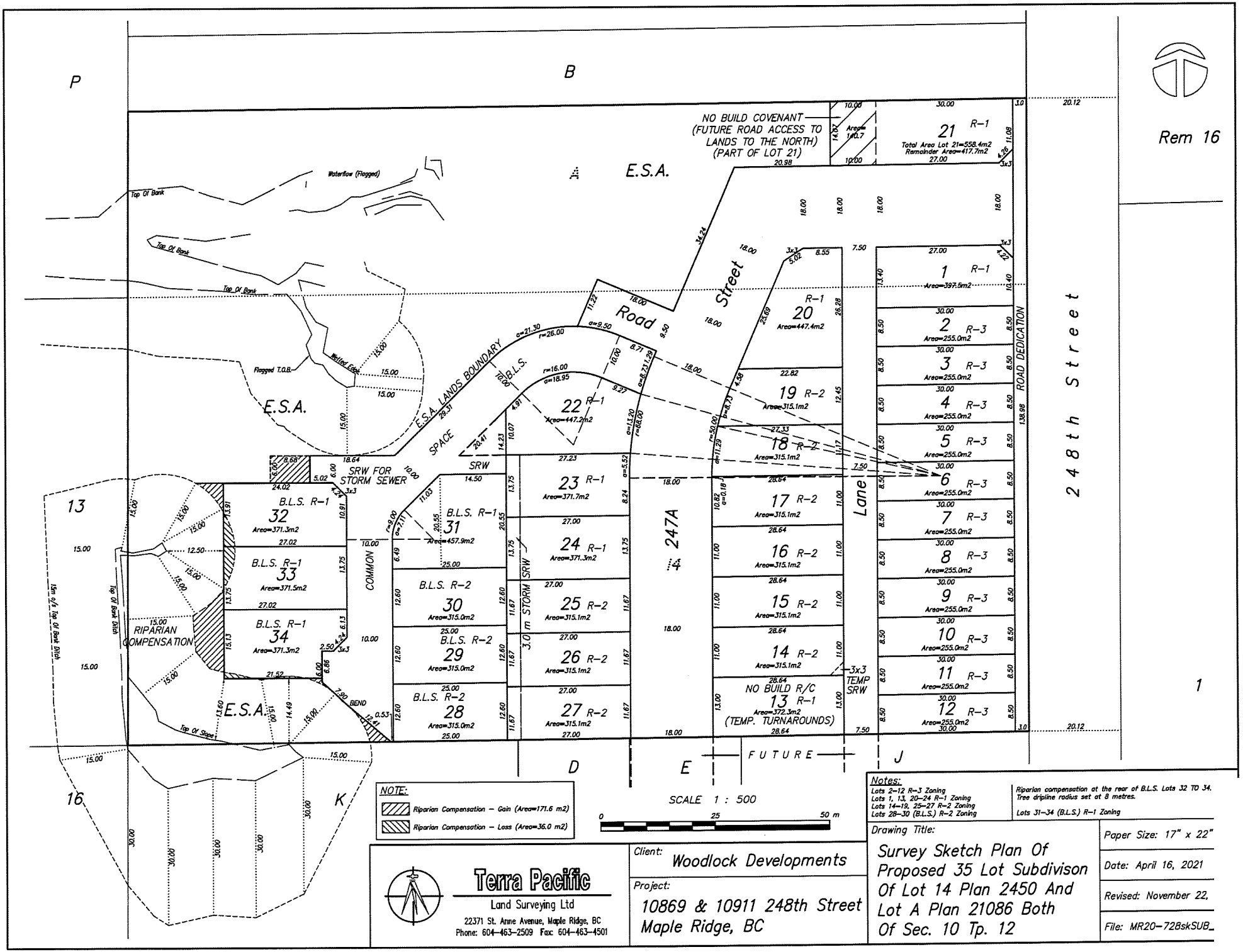
From: RS-3 (Single Detached (Rural) Residential)

To:
- R-1 (Single Detached (Low Density) Urban Residential)
- R-2 (Single Detached (Medium Density) Urban Residential)
- R-3 (Single Detached (Intensive) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



Notes:
Lots 2–12 R–3 Zoning
Lots 1, 13, 20–24 R–1 Zoning
Lots 14–19, 25–27 R–2 Zoning
Lots 28–30 (B.L.S.) R–2 Zoning

Riparian compensation at the rear of B.L.S. Lots 32 TO 34. Tree dripline radius set at 8 metres.

Lots 31–34 (B.L.S.) R–1 Zoning

Terra Pacific
Land Surveying Ltd
22371 St. Anne Avenue, Maple Ridge, BC
Phone: 604–463–2509 Fax: 604–463–4501

Client: Woodlock Developments

Project: 10869 & 10911 248th Street Maple Ridge, BC

Drawing Title: Survey Sketch Plan Of Proposed 35 Lot Subdivison Of Lot 14 Plan 2450 And Lot A Plan 21086 Both Of Sec. 10 Tp. 12

Paper Size: 17" x 22"

Date: April 16, 2021

Revised: November 22,

File: MR20–728skSUB_

APPENDIX F

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2021-471-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First Reading**
Zone Amending Bylaw No. 7810-2021
22582, 22588, 22596, 22606 and 22610 121 Avenue

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties, located at 22582, 22588, 22596, 22606 and 22610 121 Avenue, from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential), to permit the future construction of a five storey apartment building with approximately 87 units.

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program. The applicant will be requested to pay $3,100 per unit, for an estimated amount of $269,700.

To proceed further with this application additional information is required as outlined below.

RECOMMENDATIONS:

1. **That Zone Amending Bylaw No. 7810-2021 be given first reading; and further**

2. **That the applicant provide further information as described on Schedules C, D and E of the *Development Procedures Bylaw No. 5879–1999*.**

DISCUSSION:

a) Background Context:

Applicant:	1232369 BC LTD.
Legal Description:	Lot 2 Section 20 Township 12 Group 1 New Westminster District Plan 8843; Lot 3 Section 20 Township 12 Group 1 New Westminster District Plan 8843; Lot 1 Section 20 Township 12 New Westminster District Plan 9446; Lot 2 Section 20 Township 12 New Westminster District Plan 9446; and Lot 3 Section 20 Township 12 New Westminster District Plan 9446.

1105

OCP:		
Existing:		Medium and High-Rise Apartment
Proposed:		Medium and High-Rise Apartment
Within Urban Area Boundary:		Yes
Area Plan:		Town Centre Area Plan
OCP Major Corridor:		No
Zoning:		
Existing:		RS-1 (Single Detached Residential)
Proposed:		RM-2 (Medium Density Apartment Residential)
Surrounding Uses:		
North:	Use:	Place of Worship, School and Park
	Zone:	P-4 (Place of Worship) and P-2 (Special Institutional)
	Designation:	Institutional and Park
South:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential) and RM-2 (Medium Density Apartment Residential)
	Designation:	Medium and High-Rise Apartment
East:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Medium and High-Rise Apartment
West:	Use:	Apartment Residential
	Zone:	RM-3 (Medium/High Density Apartment Residential)
	Designation:	Medium and High-Rise Apartment
Existing Use of Property:		Single-Family Residential
Proposed Use of Property:		Apartment Residential
Site Area:		0.296 ha (0.73 acres)
Access:		Lane north of Brown Street
Servicing requirement:		Urban Standard

b) Site Characteristics:

The subject site encompasses five properties that total 0.296 ha (0.73 acres) in area and are occupied by single family dwellings (see Appendices A and B). The properties are fronting 121 Avenue and have access from the rear lane. All of the lots are relatively flat and contain some sparse trees and vegetation. The consolidation of the lots and proposed underground parking building will require that the buildings and the associated landscaping be removed.

To the north of the site is St. Patrick's Catholic Church and Private School, while single-family dwellings are found to the south and east of the proposed development. Immediately south-west of the site is a five-storey apartment building that was approved as part of rezoning application No. 2018-004-RZ.

c) Project Description:

The current application seeks to consolidate the five lots and to rezone the properties from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential) to permit the construction of a five-storey apartment building. The building would consist of approximately 87 units of market housing.

The size of the apartment units will range from 41.62 m^2 (448 sq. ft.) to 87.88 m^2 (945.88 sq. ft.). The proposed breakdown of the units is as follows:

- 28 studio units;
- 39 one-bedroom plus den units;
- 10 two-bedroom units; and
- 10 two-bedroom plus den units.

The project is proposing a density of 1.82 Floor Space Ratio (FSR), while the building will be situated over a single level of underground parking with access from the rear lane.

At this time the current application has been assessed to determine its compliance with the Official Community Plan (OCP) and provide a land use assessment only. Detailed review and comments will need to be made once full application packages have been received. A more detailed analysis and further reports will be required prior to second reading. Such assessment may impact proposed lot boundaries and yields, OCP designations and bylaw particulars, and may require application for further development permits.

d) Planning Analysis:

Official Community Plan:

The development site is located within the Town Centre Area Plan and is currently designated Medium and High-Rise Apartment. The current designation will accommodate the proposed RM-2 (Medium Density Apartment Residential) zoning.

The proposed mix in unit sizes ranges from studio to two-bedroom plus den units and is satisfactory to accommodate a range of housing needs, including starter housing, empty nest households, and families with children. Meeting the projected demand for a range of housing types is supported by planning for increased housing density in the Town Centre, particularly in and around the Central Business District. Housing close to commercial amenities and to work can mean less time is spent commuting each day and more time can be devoted to family life, recreation, culture and the arts, education, and other personal interests. The proposed development supports the OCP and Town Centre Area Plan by supporting infill and densification policies that enhance the Town Centre and minimizes the urban footprint.

Town Centre Area Plan Policies:

The following Area Plan policies apply to this project:

3-1 *An increase in residential and commercial density is encouraged in the Town Centre, particularly within the Central Business District (see Figure 2 for boundaries of CBD). Land-use should include a mix of housing types catering to various demographics, including affordable and special needs housing, within walking distance to a broad mixture of uses, including shops, services, cultural facilities, and recreation.*

This project will increase the mixture of studio, one and two bedroom units in the Town Centre and will lead to increased density in the Central Business District.

3-15 *Concealed parking structures are encouraged in all commercial, mixed-use, multi-family uses... in the Town Centre. Below grade parking structures are particularly encouraged for Low-Rise, Medium, and High-Rise Apartment...buildings.*

This project includes an underground parking structure and no surface parking is proposed.

3-23 *All Medium & High-Rise Apartment developments should be a minimum of five (5) storeys and may reach over twenty (20) storeys.*

The proposed building adheres to the respecting building height requirement in this policy.

Housing Action Plan:

Maple Ridge's vision and commitment to towards housing is encompassed in this statement contained in the Maple Ridge Housing Action Plan (MRHAP):

> *"Access to safe, affordable, and appropriate housing that meets the diverse and changing needs of the community is a priority."*

The current application will provide approximately 87 new apartment units in the core of the Town Centre, and as mentioned above, the applicant offers a mix of studio, one- and two-bedroom units, in a building form and height that will integrate well with the new and existing nature of the neighbourhood.

Zoning Bylaw:

The current application seeks to rezone the subject properties from RS-1 (Single Detached Residential) to RM-2 (Medium Density Apartment Residential) (see Appendix C), to permit the future construction of a five-storey apartment building with approximately 87 units (see Appendix D). The minimum lot size for the current RM-2 (Medium Density Apartment Residential) zone is 1,300.00 m^2, which the proposal exceeds with a total proposed lot size of 2,960.00 m^2. The applicant is proposing a variance to the front yard setback and to the interior side yard setback. Any variations from the requirements of the proposed zone will require a Development Variance Permit application, which will be subject of a future report to Council.

Off-Street Parking and Loading Bylaw:

The following is observed about the parking being provided:

- The Off-Street Parking and Loading Bylaw requires 95 spaces, with 9 visitor and 86 resident spaces. However, 73 parking spaces are being provided; and
- The proposed building is seeking a reduction of 22 parking spaces.

On November 9, 2021, Off-Street Parking and Loading Amending Bylaw No. 7795-2021, to increase the payment-in-lieu for reduced parking from the current fee of $8,000 to $20,000, received third reading from Council. Should Zone Amending Bylaw No. 7810-2021, for the subject property to rezone to RM-2 (Medium Density Apartment Residential), receive first reading after the final reading of the Off-Street Parking and Loading Amending Bylaw No. 7795-2021, then the application will be subject to the $20,000 per space or a projected $440,000.00 payment-in-lieu for reduced parking of 22 spaces.

The applicants intent is to provide a reduced number of parking spaces allocated to the studio units (one parking space for every six units). With a reduction in parking, these units will be more affordable and will create lower cost housing for both younger buyers entering the market and for seniors. The location is ideal for residents to walk to nearby amenities and transit, without the need to own a car.

The project will also comply with the electric vehicle charging requirements by having roughed-in infrastructure capable of providing Level 2 charging outlets for each residential parking space, and one roughed-in Level 2 outlet each for every two (2) of the visitor parking spaces (i.e. at least 50%).

Development Permits:

Pursuant to Section 8.11 of the Official Community Plan (OCP), a Town Centre Development Permit (North View District) application is required for all multifamily residential, flexible mixed use and commercial development located in the Town Centre.

Advisory Design Panel:

A Town Centre Development Permit is required and the associated plans must be reviewed by the Advisory Design Panel prior to Second Reading.

Development Information Meeting:

A Development Information Meeting is required for this application. Prior to second reading the applicant is required to host a Development Information Meeting in accordance with Council Policy 6.20.

e) Interdepartmental Implications:

In order to advance the current application, after first reading, comments and input, will be sought from the various internal departments and external agencies listed below:

a) Engineering Department;
b) Operations Department;
c) Fire Department;
d) Building Department;
e) School District;
f) Utility companies; and
g) Canada Post.

The above list is intended to be indicative only and it may become necessary, as the application progresses, to liaise with agencies and/or departments not listed above.

This application has not been forwarded to the Engineering Department for comments at this time; therefore, an evaluation of servicing and site access requirements have not been undertaken. We anticipate that this evaluation will take place between first and second reading.

f) Development Applications:

In order for this application to proceed the following information must be provided, as required by *Development Procedures Bylaw No. 5879–1999* as amended:

1. A complete Rezoning Application (Schedule C);
2. A Town Centre Development Permit Application (Schedule D);
3. A Development Variance Permit (Schedule E);

The above list is intended to be indicative only, other applications may be necessary as the assessment of the proposal progresses.

CONCLUSION:

The development proposal is in compliance with the Official Community Plan, therefore, it is recommended that Council grant first reading subject to additional information being provided and assessed prior to second reading.

"Original signed by Rene Tardif"

Prepared by: **Rene Tardif, BA, M.PL**
Planner 1

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

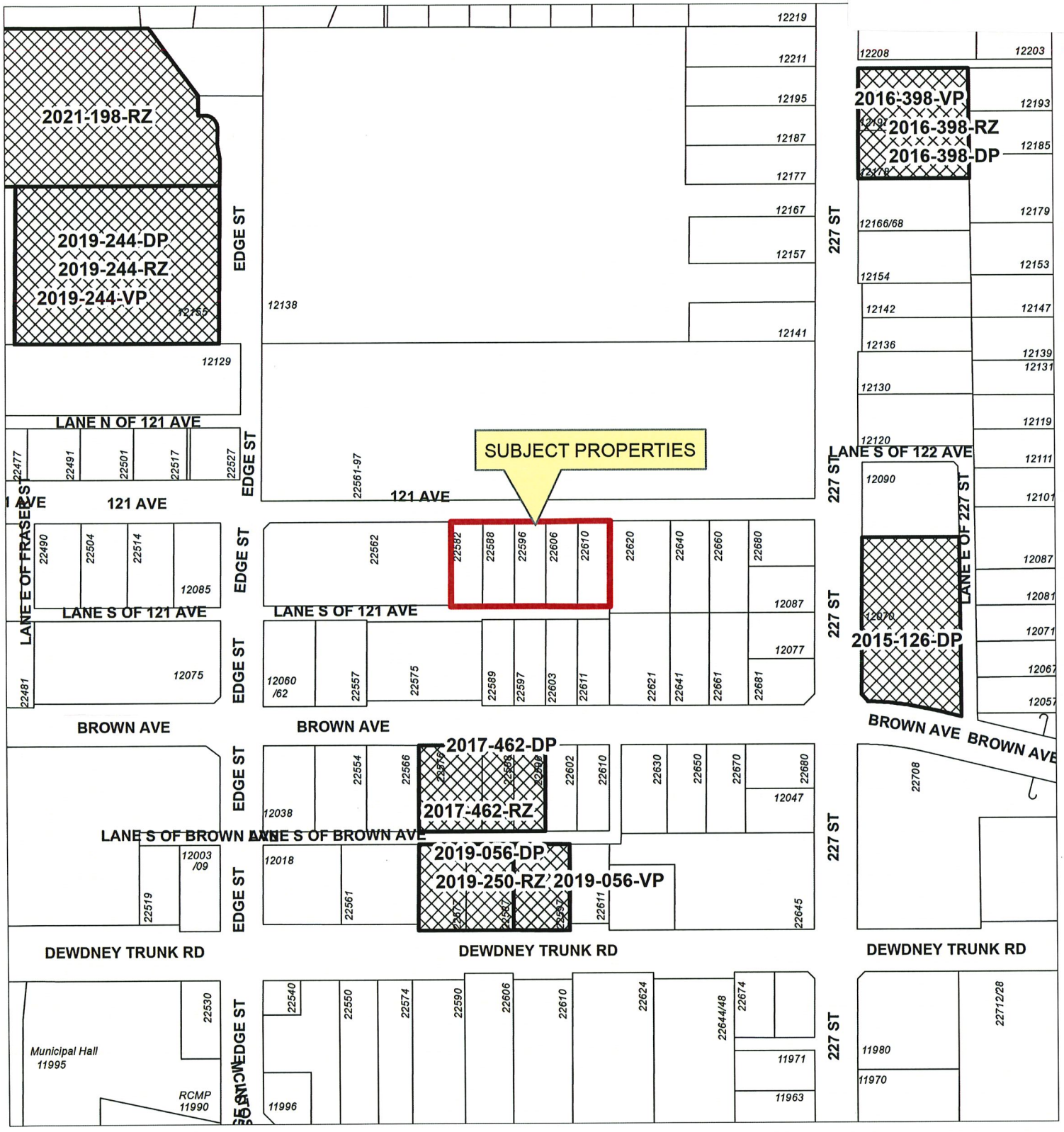
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Zone Amending Bylaw No. 7810-2021
Appendix D – Proposed Site Plan

APPENDIX A



Legend

Active Applications (RZ/SD/DP/VP)

N

Scale: 1:2,500

22582/88/96 & 22606/10 121 AVE
PID'S: 011-376-368, 004-325-711, 011-396-113, 001-988-140 & 006-577-121

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

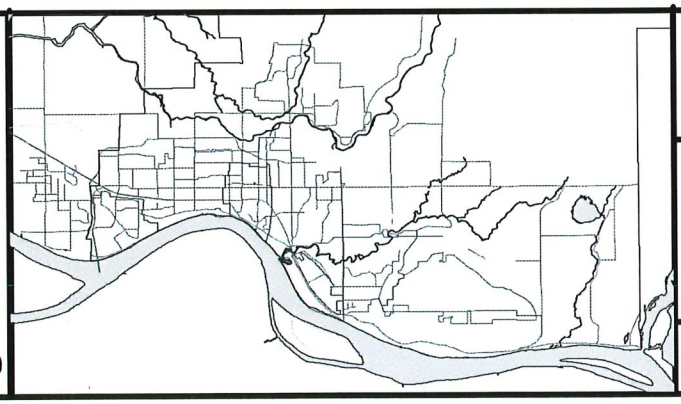
mapleridge.ca

FILE: 2021-471-RZ/DP
DATE: Nov 18, 2021 BY: PC

APPENDIX B

N

Scale: 1:2,500



22582/88/96 & 22606/10 121 AVE
PID'S: 011-376-368, 004-325-711, 011-396-113, 001-988-140 & 006-577-121

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2021-471-RZ/DP
DATE: Nov 18, 2021 BY: PC

CITY OF MAPLE RIDGE
BYLAW NO. 7810-2021

A Bylaw to amend Schedule "A" Zoning Bylaw Map forming part of Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7810-2021."

2. Those parcels or tracts of land and premises known and described as:

   Lot 2 Section 20 Township 12 New Westminster District Plan 8843;
   Lot 3 Section 20 Township 12 New Westminster District Plan 8843;
   Lot 1 Section 20 Township 12 New Westminster District Plan 9446;
   Lot 2 Section 20 Township 12 New Westminster District Plan 9446; and
   Lot 3 Section 20 Township 12 New Westminster District Plan 9446

   and outlined in heavy black line on Map No. 1935 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

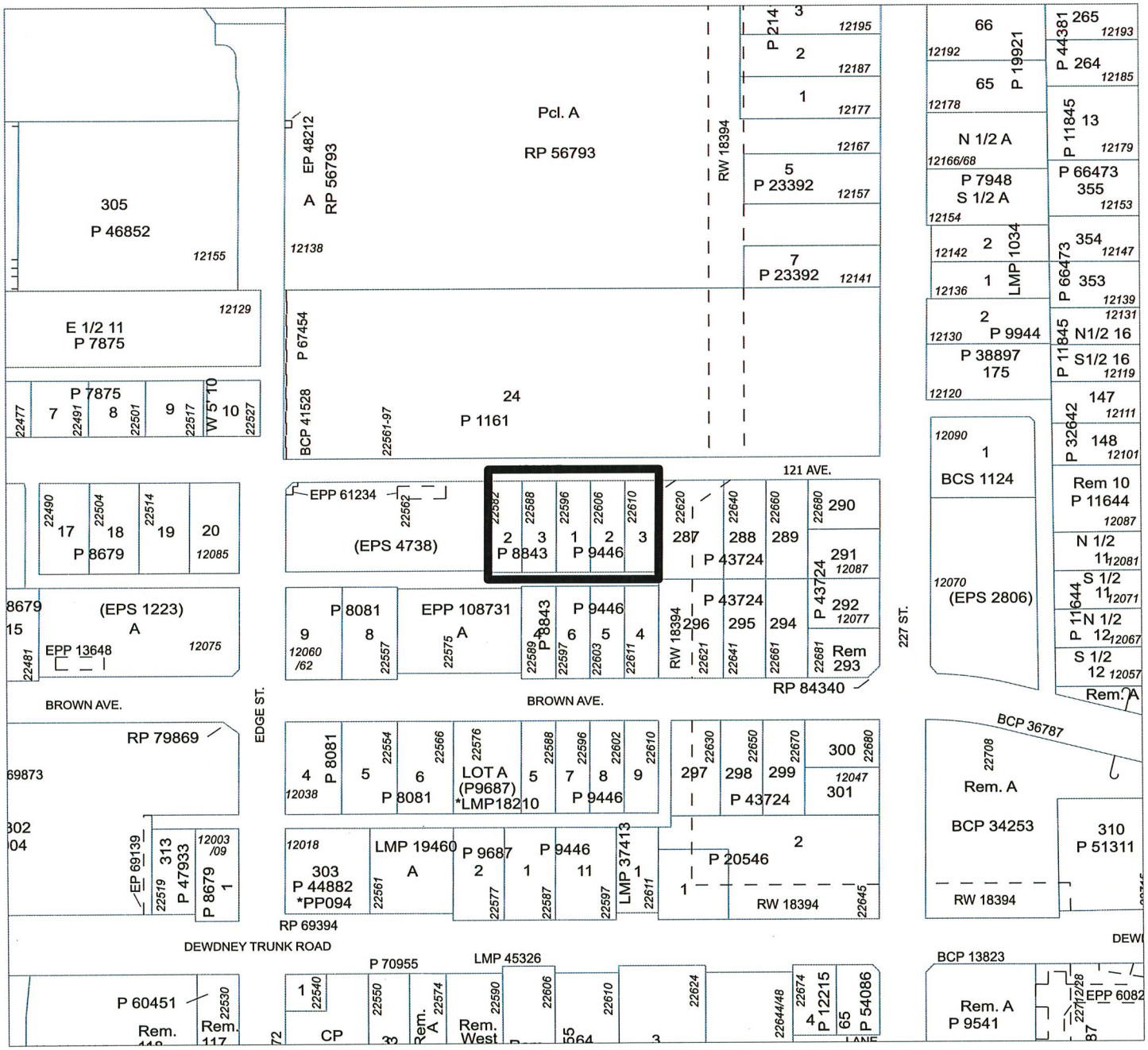
PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7810-2021

Map No. 1935

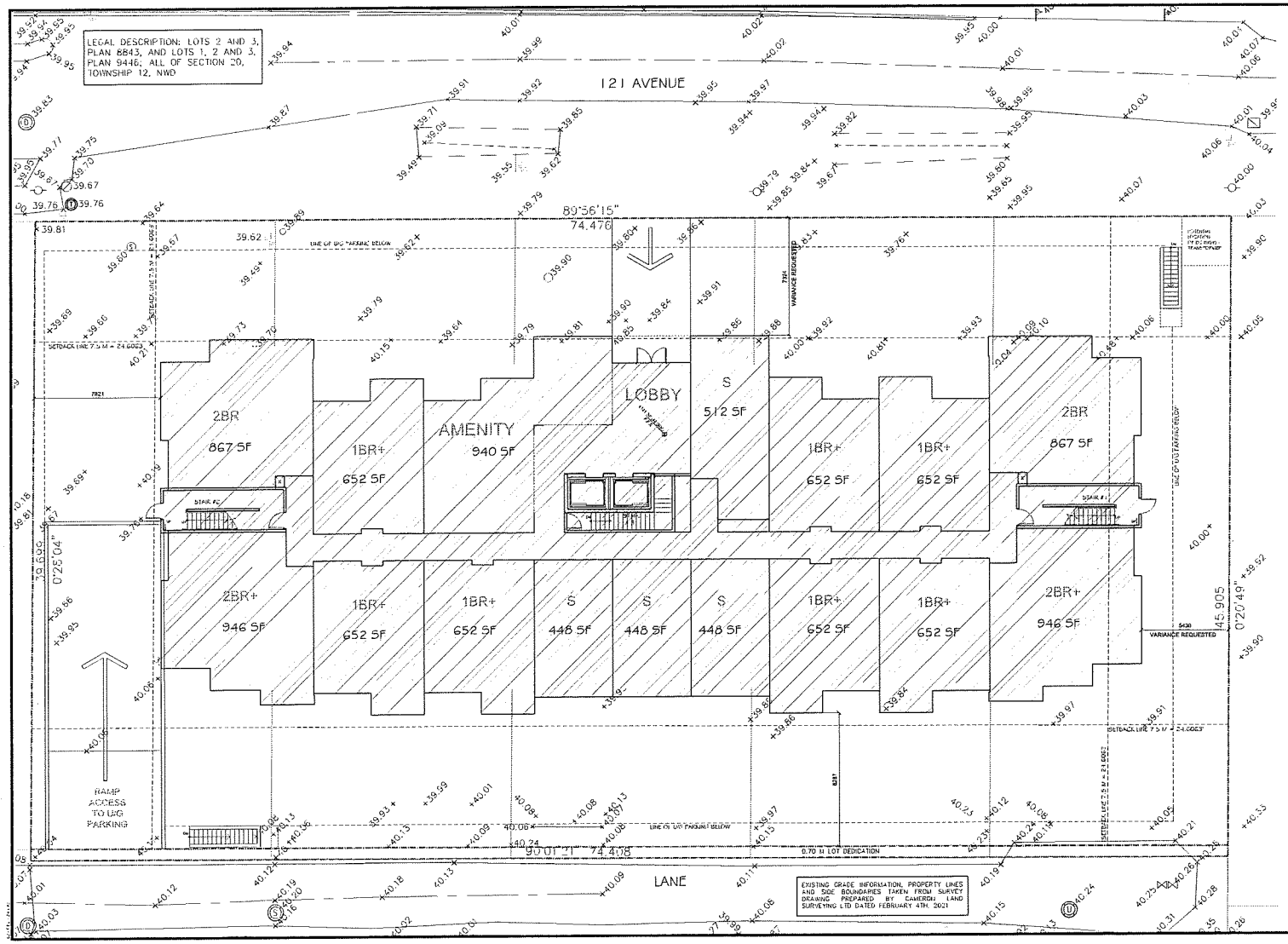
From: RS-1 (Single Detached Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



EDGE 4 CONDOMINIUMS

DWELLING UNITS		AUTOMOBILE PARKING REQUIRED	PROPOSED
2 BR+den	16 UNITS	X 1.1 = 11 PARKING SPACES	10 PARKING SPACES
2 BR	18 UNITS	X 1.1 = 11 PARKING SPACES	10 PARKING SPACES
1 BR+den	39 UNITS	X 1 = 39 PARKING SPACES	39 PARKING SPACES
STUDIO	28 UNITS	X .9 = 25 PARKING SPACES	5 PARKING SPACES
		86 PARKING SPACES	64 PARKING SPACES
		VISITOR PARKING X .1 = 9.0 PARKING SPACES	VISITOR PARKING 6 PARKING SPACES
TOTAL # OF UNITS (5 STOREYS):		TOTAL: 95 PARKING STALLS	TOTAL: 70 PARKING STALLS (VARIANCE REQUESTED)

EDGE 4 - FSR CALCULATIONS JUN 30 - 2021	SF	M2
1ST FLOOR OUTLINE	13449.81	1245.88
2ND FLOOR OUTLINE	13528.14	1258.81
3RD FLOOR OUTLINE	13528.14	1258.81
4TH FLOOR OUTLINE	13528.14	1258.81
5TH FLOOR OUTLINE	13528.14	1258.81
TOTAL FLOOR AREA	67563.39	6275.92
1ST FLOOR CORRIDORS LOBBY + AMENITY	3377.68	313.79
2ND FLOOR CORRIDORS	1763.15	165.66
3RD FLOOR CORRIDORS	1763.15	165.66
4TH FLOOR CORRIDORS	1763.15	165.66
5TH FLOOR CORRIDORS	1763.15	165.66
TOTAL COMMON AREAS	10510.24	976.43
PROJECT AREA FOR FSR:		
Total Floor Area	67563.39	6275.92
minus Total Common Areas	10510.24	976.43
	57043.15	5299.48
PROPOSED FSR:		
"Project Area for FSR" divided by "Lot Area"		
LOT AREA	31263.26	2904.36
	1.82	1.82

EDGE 4 - MAPLE RIDGE - UNIT TYPES JUN 30 - 2021				
Unit Count		Suite Area		
1st Floor	14	SF	M2	
A Unit - 1 Br + Den	4	651.92	60.57	
A1 Unit - 1 Br + Den	3	651.92	60.57	
B Unit - 2 Br	2	866.31	80.48	
C Unit - 2 Br + Den	2	949.88	87.88	
S	3	448.00	41.62	
S1	1	512.00	47.57	
2nd Floor	18			
A Unit - 1 Br + Den	4	651.92	60.57	
A1 Unit - 1 Br + Den	4	651.92	60.57	
B Unit - 2 Br	2	866.31	80.48	
C Unit - 2 Br + Den	2	949.88	87.88	
S	5	448.00	41.62	
S1	1	512.00	47.57	
3rd Floor	18			
A Unit - 1 Br + Den	4	651.92	60.57	
A1 Unit - 1 Br + Den	4	651.92	60.57	
B Unit - 2 Br	2	866.31	80.48	
C Unit - 2 Br + Den	2	949.88	87.88	
S	5	448.00	41.62	
S1	1	512.00	47.57	
4th Floor	18			
A Unit - 1 Br + Den	4	651.92	60.57	
A1 Unit - 1 Br + Den	4	651.92	60.57	
B Unit - 2 Br	2	866.31	80.48	
C Unit - 2 Br + Den	2	949.88	87.88	
S	5	448.00	41.62	
S1	1	512.00	47.57	
5th Floor	18			
A Unit - 1 Br + Den	4	651.92	60.57	
A1 Unit - 1 Br + Den	4	651.92	60.57	
B Unit - 2 Br	2	866.31	80.48	
C Unit - 2 Br + Den	2	949.88	87.88	
S	5	448.00	41.62	
S1	1	512.00	47.57	
Total Unit Types	87			
A Unit - 1 Br + Den	20			
A1 Unit - 1 Br + Den	19			
B Unit - 2 Br	10			
C Unit - 2 Br	10			
S	25			
S1	5			

ISSUE	DESCRIPTION	DATE
1	REZONING APPLICATION	JUN 02 - 2021

GARCIA ZUNINO ARCHITECTS INC.
662 EAST WINDSOR RD.
NORTH VANCOUVER B.C.
CANADA V7N 1K7
PHONE: 604 987 8304
FAX: 604 987 8371
E-MAIL: gzarchitects@telus.net

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SEAL:

CLIENT:
MacLean Homes

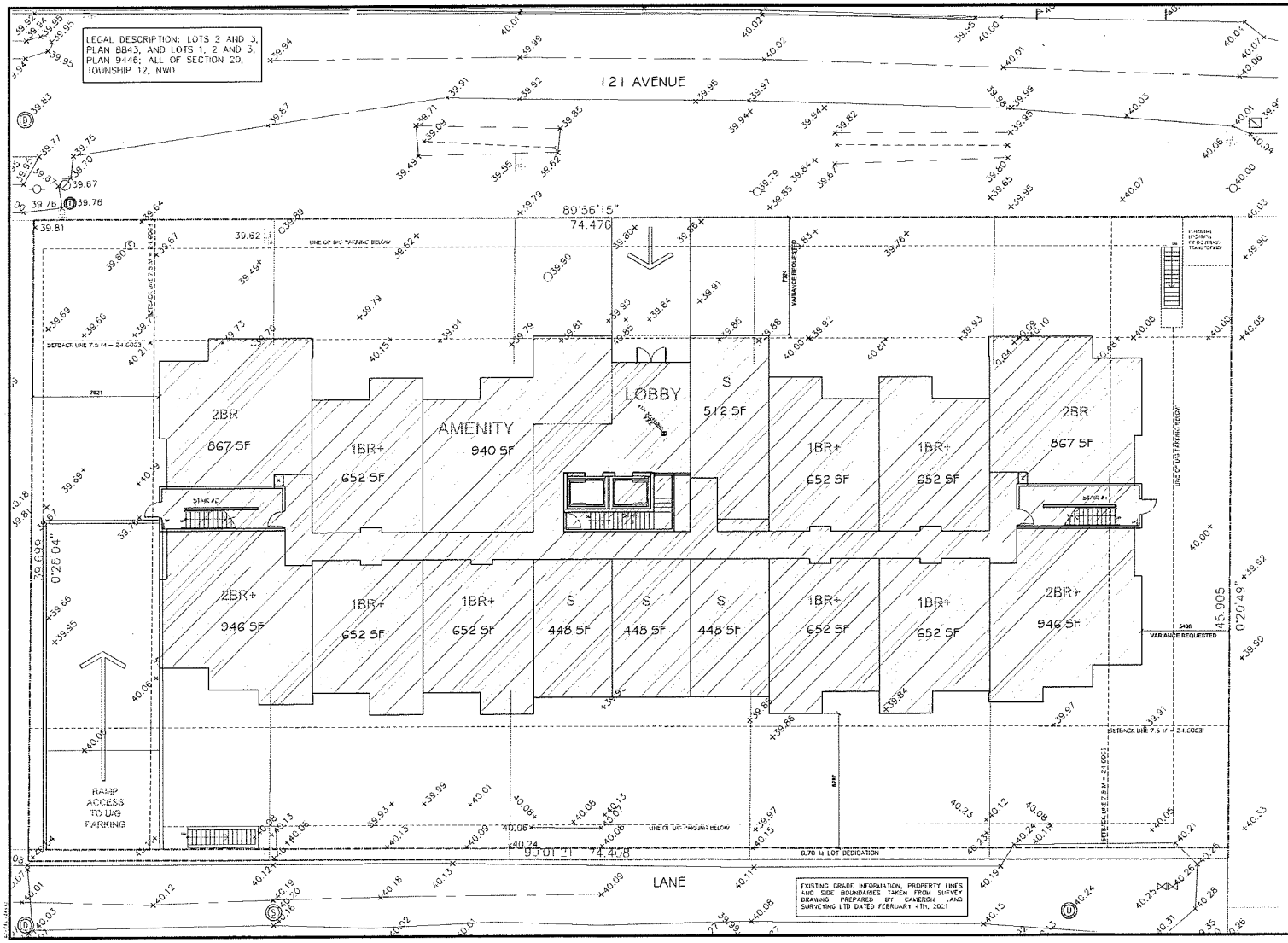
PROJECT:
22582, 22588, 22596, 22606 & 22610
121st AVENUE
MAPLE RIDGE, B.C.

SHEET TITLE:
SITE PLAN
PROJECT STATISTICS

DRAWING NO.: A-0.01

PROJECT NO.: 2101.0
DRAWN: SF SCALE: 1:1
CHECKED: MGZ DATE: JUN

APPENDIX D



DWELLING UNITS		AUTOMOBILE PARKING REQUIRED	PROPOSED
2 BR+den	16 UNITS	X 1.1 = 11 PARKING SPACES	16 PARKING SPACES
2 BR	16 UNITS	X 1.1 = 11 PARKING SPACES	16 PARKING SPACES
1 BR+den	39 UNITS	X 1 = 39 PARKING SPACES	39 PARKING SPACES
STUDIO	28 UNITS	X 0.25 PARKING SPACES	5 PARKING SPACES
		88 PARKING SPACES	84 PARKING SPACES
		VISITOR PARKING X .1 = 9.0 PARKING SPACES	VISITOR PARKING 9 PARKING SPACES
TOTAL 97 UNITS (5 STOREYS)		TOTAL: 85 PARKING STALLS	TOTAL: 73 PARKING STALLS (VARIANCE REQUESTED)

ISSUE	DESCRIPTION	DATE
1	REZONING APPLICATION	AS PER JACKET

GARCIA ZUNINO ARCHITECTS INC.

PHONE: 604 987 8304
FAX: 604 987 8371
E-MAIL: gzarchitects@telus.net

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SEAL:

CLIENT:

PROJECT:

SHEET TITLE:
SITE PLAN
PROJECT STATISTICS

DRAWING NO.:
A-0.01

PROJECT NO.:

DRAWN	SF	SCALE	1:100
CHECKED	MGZ	DATE	JUN 30 2021

MAPLE RIDGE
British Columbia

mapleridge.ca City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2019-255-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First and Second Reading**
Official Community Plan Amending Bylaw No. 7803-2021;
First and Second Reading
Zone Amending Bylaw No. 7812-2021
12297 222 Street and 22175 and 22185 123 Avenue

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties located at 12297 222 Street and 22175 and 22185 123 Avenue from RS-1 (Single Detached Residential) to CD-6-21 (Medium Density Mixed Use Rental and Market Apartment Residential), to accommodate a seven-storey rental apartment building intended to be utilized by seniors and persons with various disabilities. A 36 space neighbourhood child care centre on the ground floor is also proposed. Of the 104 units, 49 units are to be considered affordable units with the remainder market rental units. The building proposes to accommodate these uses with 114 parking stalls located on grade and in a two-level underground parking structure.

The subject properties are designated as *Urban Residential* and *Conservation* in the Official Community Plan (OCP). To accommodate this proposal an amendment to the *Urban Residential* and *Conservation* designations are required. A total of approximately 5,665.60 m^2 (1.4 acres) of ravine area will be dedicated to the City with this application.

Pursuant to Council Policy 6.31, this project is exempt from a Community Amenity Contribution (CAC) as the project is a mixture of affordable and housing for persons with disabilities as well as, market rental units. To qualify for the CAC exemption, a Restrictive Covenant and a Housing Agreement are required as a condition of final reading.

Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1993, regulates the parking for this site, which is located west of the Town Centre Boundary. The applicant is seeking approval to utilize the lower Central Business District (CBD) parking stall ratio of 1.1 per unit as opposed to the standard 1.7 ratio for properties outside of the CBD, a reduction of 77 stalls. The applicant claims this relaxation is critical for the financial viability of the project and the applicant's desire to deliver affordable rental units to the community for seniors and persons with disabilities. Justification to support lower parking ratio is the affordable rental component of the project, and that rental units typically utilize lower parking needs than market units. Should Council support the requested parking relaxation, a Housing Agreement will need to be drafted to ensure the units remain rentals throughout the life of the building. This has been done in the past for other new rental buildings in the Town Centre. Should Council not support the reduced parking at this location, the applicant has the option of the payment in-lieu provisions of the Parking Bylaw. However, the cost of this option would likely make the project uneconomical.

RECOMMENDATIONS:

1. That, in accordance with Section 475 of the *Local Government Act,* opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7803-2021 on the municipal website, and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

2. That Official Community Plan Amending Bylaw No. 7803-2021 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;

3. That it be confirmed that Official Community Plan Amending Bylaw No. 7803-2021 is consistent with the Capital Expenditure Plan and Waste Management Plan;

4. That Official Community Plan Amending Bylaw No. 7803-2021 be given first and second reading and forwarded to Public Hearing;

5. That Zone Amending Bylaw No. 7571-2019 be repealed;

6. That Zone Amending Bylaw No. 7812-2021 be given first and second reading and forwarded to Public Hearing;

7. That the following terms and conditions be met prior to final reading:

    i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;

    ii) Amendment to Official Community Plan Schedules "B" and "C";

    iii) Road dedication as required;

    iv) Consolidation of the three subject properties;

    v) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject property for the proposed development;

    vi) Registration of a Restrictive Covenant for the protection of the Environmentally Sensitive areas on the subject property;

    vii) Registration of a Statutory Right-of-Way plan and agreement for a public trail;

    viii) Registration of a Restrictive Covenant for Stormwater Management, including maintenance information;

    ix) Registration of a Restrictive Covenant for Tree Protection;

    x) Registration of a Restrictive Covenant for Visitor Parking;

    xi) Registration of a Restrictive Covenant and Housing Agreement to ensure the rental units proposed are retained in perpetuity;

    xii) Removal of existing buildings;

xiii) **Approval from Fortis Gas for the proposed land alterations on the Fortis Gas Right-of-way; and**

xiv) **In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.**

DISCUSSION:

1. Background Context:

Applicant:		JM Architecture (Joseph M Minton)
Legal Description:		Parcel "A" (Reference Plan 12909) Lot 5 Except: Firstly: Parcel "B" (Reference Plan 13374); Secondly: Parcel "D" (Explanatory Plan 13727); District Lot 396 Group 1 New Westminsiter District Plan 830; Lot 9 District Lot 396 Group 1 New Westminster District Plan 15728; and Lot 10 District Lot 396 Group 1 New Westminister District Plan 15728.
OCP:		
Existing:		Conservation and Urban Residential
Proposed:		Conservation and Urban Residential
Zoning:		
Existing:		RS-1 (Single Detached Residential)
Proposed:		CD-6-21 (Medium Density Mixed Use Rental and Market Apartment Residential)
Surrounding Uses:		
North:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential and Conservation
South:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential
East:	Use:	Apartments
	Zone:	RM-2 (Medium Density Apartment Residential)
	Designation:	Low-Rise Apartment
West:	Use:	Single-Family Residential
	Zone:	RS-1 (Single Detached Residential)
	Designation:	Urban Residential and Conservation
Existing Use of Properties:		Single-Family Residential
Proposed Use of Properties:		Apartments
Site Area:		0.90 ha (2.23 acres)
Access:		123 Avenue
Servicing requirement:		Urban Standard
Accompanying Applications:		2020-309-DP

2. Background:

The original application was comprised of 12297 222 Street and 22175 123 Avenue. The current application has been expanded since first reading to include an additional property at 22185 123 Avenue (see Appendix A). The parcel of land added to the application at 22185 123 Avenue contains an older single-family dwelling, and the original parcels 12297 222 Street and 22175 123 Avenue currently contain only one older single-family dwelling. The development site is relatively flat at the south portion while the north characterized as forested steep ravines with two tributaries of the South Alouette River. The result is a plateau of land that constitutes the developable portion of the site. The building envelope is challenging for a structure of this scale and some finessing of the building, relative to watercourse and building setbacks, is required. Variances are not required in this instance due to the use of the CD Bylaw that has been drafted to accommodate the exact proposal.

There are 4 to 5-storey multi-family apartment buildings to the east and single-family dwellings to the south, north and west. It is likely that with time the existing single-family homes in the area will also redevelop with multi-family type development. The site will be accessed from the west via 222 Avenue. The current proposed building has evolved from the original proposed with an increase in unit numbers, more unit mixes and increased building height.

3. Project Description:

The current proposed building is for a 7-storey apartment building that will contain a mixture of market and affordable rental units. The land owner, Simplex Meadows Development Corporation, in association with Milieu Family Services (see Appendix J), intends to own and operate this building. Also proposed is a neighbourhood daycare accommodating approximately 36 children in a ground floor 269.4 m^2 (2,900 sq.ft) space. As shown in the table below, 49 rental units are proposed to be reserved out of the total 104 units for affordable rentals. What constitutes affordable rentals has not yet been clearly articulated by the applicant. However, these units are targeted towards persons with disabilities, seniors and individuals with refugee status. These details will need to be detailed in the Housing Agreement. The remainder of the units proposed will be 55 market rental units consisting of 4 short term studio suites; 18 one-bedroom; 30 two-bedroom; and 4 three-bedroom units located on floors 4 through 7. The table below illustrates the unit's distribution on each floor.

Building Floor	Number of 1 bedroom units	Number of 2 bedroom units	Number of 3 bedroom units	Short Term Studio Rental Suite	Number of Affordable rental units (out of total units in column to right)	Total Units including Short Term Studio Suite
1st	7	0	1	0	8	8
2nd	17	2	1	0	20	20
3rd	17	2	1	1	21	21
4th	6	11	3	0	None	20
5th	6	2	1	1	None	10
6th	6	11	3	1	None	21
7th	0	2	1	1	None	4
Total Units	**59**	**30**	**11**	**4**	**49**	**104**

A total of 114 off-street parking spaces are provided on the site - 93 spaces located in the two levels of underground parking and 21 surface parking spaces.
Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, Electric Vehicle Charging Infrastructure requirements apply to the proposed development. Each residential parking space, excluding visitor parking spaces, has roughed-in-infrastructure capable of providing Level 2 charging.

4. Planning Analysis:

i) Official Community Plan:

The subject properties are located west of the Town Centre Area Plan. The Official Community Plan (OCP) designates the subject properties *Urban Residential* and *Conservation*. Adjustments of the *Urban Residential* and *Conservation* OCP boundary are based on ground truthing conducted by environmental and geotechnical consultants in consultation with the Planning Department Staff.

The OCP Zoning Matrix supports Comprehensive Development zones (CD) within OCP Land Use Designations and Categories based on compliance with the OCP. The proposed CD-6-21 zone is supportable due to the physical constraints of the property as well as the proposed inclusion of affordable rental housing for vulnerable groups of people in the community and market rental units. In addition, the project will include a neighbourhood child care centre.

The following policies apply to this proposal:

Official Community Plan Policies:

- ***Policy 3 - 31*** *Maple Ridge supports the provision of rental accommodation and encourages the construction of rental units that vary in size and number of bedrooms.*

- ***Policy 3 - 32*** *Maple Ridge supports the provision of affordable, rental and special needs housing throughout the District.*

  These two policies support the provision of the affordable rental accommodation for vulnerable groups of people in the community with varying dwelling unit size and number of bedrooms. A Restrictive Covenant and Housing Agreement will include the language necessary to secure portions of the building as market rental as well as, affordable rental housing for vulnerable people in the community and prevent rental restrictions in the event the building is strata titled.

- ***Policy 4 - 22*** *Maple Ridge encourages the development of accessible quality child care facilities throughout the community, and will encourage the provision of space for child care in all assisted rental housing projects developed under senior government programs.*

  This policy supports the inclusion of the group child care centre into this market and non-market development.

- ***Policy 4 - 23*** *Maple Ridge encourages the development of seniors' care facilities throughout the community that are conveniently located near transit and other service.*

  Seniors have been proposed as one of the target groups to house in the market rental component of the development but these units will also be open for rental to the general

public. The development is conveniently located near services and transit on Dewdney Trunk Road.

- *4 - 36 Maple Ridge supports the establishment of child-care facilities in Residential, Institution, Commercial and Industrial land use designations subject to compliance with District bylaws and regulations.*

  This policy supports the inclusion of the proposed neighbourhood child care centre into this apartment residential development, as the subject properties are located with the *Residential* land use designations of the OCP.

Housing Action Plan:

On September 15, 2014 Council endorsed the Housing Action Plan (HAP) which identifies rental housing as a priority. The Housing Action Plan has several strategies contained within the documents.

Strategy 4 – To Create New Rental Housing Opportunities

Strategy 4 of the HAP provides guidance on how the City can support the development of new rental housing through incentives. One of these incentives is a reduction in parking requirements for the securing of rental units. The securing of the rental units would be through the use of a housing agreement secured through a restrictive covenant on the title of development land. Reducing the number of parking stalls required per dwelling unit improves affordability, lowers the construction cost per unit, and could potentially enable more dwellings per hectare. Reduced parking lowers the amount of costly underground parking and thus promotes the Housing Action Plan's desire to facilitate the development of non-market and market rental housing. This strategy has already been applied in a number of other recent applications in the Town Centre. For example, Amacon's new 300 unit rental apartment building (Ridgewood Place) on 122 Avenue and 223 Street (2016-052-RZ) has a large parking variance in support of the application and was secured through a Housing Agreement and restrictive covenant.

The application as presented could, with the parking reduction, increase the number of non-market and market units in the City which will aid in fulfilling the objectives of the Housing Action Plan. The CD zone has been drafted with the reduced parking in mind.

ii) Zoning Bylaw:

The proposal is to rezone the subject properties from RS-1 (One Family Urban Residential) to CD-6-21 (Medium Density Mixed Use Rental and Market Apartment Residential) (Appendix D), to permit a 7-storey multi-family building with non-market and market rental dwelling units and neighourhood child care centre. Appendix C of this report contains the CD Bylaw that has been drafted for this project and reflects the: uses, density, lot coverage, setbacks and parking requirements for this proposed building.

iii) Off-Street Parking and Loading Bylaw:

The table below details parking for the proposed CD-6-21 (Medium Density Mixed Use Rental and Market Apartment Residential) zone as the parking requirements are embedded in the CD zone.

Type of Parking	Proposed	RM-2 Requirements	RM-2	Difference
Residential Market Units (1.2 stall per unit)	70 stalls	1.5 stalls per unit	156 stalls	-70
Residential Non-Market Units (1 stall per 3 units)	16 stalls			
Visitor (0.2 stalls per unit)	21 stalls	0.2 spaces per dwelling unit	21	0
Group Child Care Centre	7 stalls	1 per 20m^2 gross floor area	14	-7
TOTAL	114		191	-77

The rational for the proposed parking requirements has been provided in the preceding sections of this report. In addition, the report Sunrise Re-Development Parking Variances Study, Bunt & Associates, November 2016, provides justification for a parking reduction for rental housing as detailed below.

> *"A key finding in the MVAPS (Metro Vancouver Apartment Parking Study) was that residents of rental apartment units (both market and non-market units combined) had average auto ownership levels of 0.82 vehicles per household, approximately 65% of that of strata units ..."*

Council considered application 2021-320-RZ to rezone the subject properties, located at 12209, 12219, 12231, 12241 and 12251 222 Street, and 22190 1230 Avenue, from RS-1 (Single-Family Residential) to RM-2 (Medium Density Apartment Residential) that are located south of this application at the Committee of the Whole meeting on July 6, 2021. This application, as presented at the Committee of the Whole meeting, would require a 62 parking stall variance. Council deferred the application back to staff to work with the applicant with respect to the parking variance.

iv) **Proposed Variances:**

The proposed CD-6-21 zone has been drafted to minimize the need of any variances associated with this application. Should building variances be required they will be the subject of a future Council Report prior to final reading. The chart below illustrates the difference between the proposed CD-6-21 zone and the RM-2 (Medium Density Apartment Residential) zone height and Floor Space Ratio requirements.

Zone	CD-6-21	RM-2	Difference
Height	30 metres 7 storeys	15 metres 4 storeys	15 metres increase 3 storeys increase
Floor Space Ratio	2.75 FSR	- 1.8 FSR maximum - Bonus up to 2.5 FSR • 0.1 for providing parking in underground structure • 0.6 FSR cash in contribution $161.46 m^2 ($15.00 per square foot)	.95 FSR increase (proposed parking is not all contained in an underground structure and a cash contribution for additional density is not included)

v) **Development Permits:**

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit application is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

Pursuant to Section 8.9 of the OCP, a Watercourse Protection Development Permit application is required for all developments and building permits within 50 metres of the top of bank of all watercourses and wetlands. The purpose of the Watercourse Protection Development Permit is to ensure the preservation, protection, restoration and enhancement of watercourse and riparian areas.

Pursuant to Section 8.10 of the OCP, a Natural Features Development Permit application is required for all development and subdivision activity or building permits for:

- All areas designated *Conservation* on Schedule "B" or all areas within 50 metres of an area designated *Conservation* on Schedule "B", or on Figures 2, 3 and 4 in the Silver Valley Area Plan;
- All lands with an average natural slope of greater than 15 percent; and
- All floodplain areas and forest lands identified on Schedule "C"

to ensure the preservation, protection, restoration and enhancement of the natural environment and for development that is protected from hazardous conditions.

vi) **Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel at two meetings. The first presentation by the applicant's team to the Advisory Design Panel was on June 16, 2021 and the following comments and resolution was carried.

"That the Advisory Design Panel has reviewed application No. 2020-309-DP and recommends the proposal be re-submitted and presented at a future Advisory Design Panel meeting with the following concerns addressed:

Architectural Comments:

- *Height of the building is out of scale given the context:*
  - *reconsider 7 storey volume to a height more in keeping within the neighbourhood;*
  - *Gable roof is exacerbating the height of the roof;*
  - *Please provide shadow studies, extended street elevations and larger reaching sections to show the impact of the building on the surrounding context;*
- *Consider the Human scale of the building and introduce elements to lower the overall massing;*
- *Provide more celebration/distinction of entry and more articulation/visual interests on the street fronting facades;*
- *Consider softening material pallet to add warmth to the façade;*
- *Consider opportunities for the indoor/outdoor relationship at the ground plane.*

Landscape Comments:

- *Provide more clarification on perimeter grades and relationship to neighbouring property;*
- *Provide terraced landscape retaining walls to soften the edges of the exposed parkade;*
- *Provide removable bollards at the 123rd street let down in front of the garbage collection– evaluate if this let down is needed as garbage truck could use podium access as the firetruck;*
- *Consider to blend and expand the amenity area into the environmental setback;*
- *Maintenance path of the Westside of the building is hidden – provide a looping path or additional connections to the building to reduce CPTED concerns;*
- *Consider more variety in the play structures."*

The applicant submitted a revision to the project from the comments received at the June 16, 2021 Advisory Design Panel. With the revision submission the Architect and Landscape Architect provided a written brief addressing the comments from the ADP (Appendices H and I). The Architect and Landscape Architect presented the revision to the Advisory Design Panel on September 15, 2021 at which time the following resolution was made:

"That the Advisory Design Panel has reviewed application 2020-309-DP and recommends that the proposal be re-submitted and presented at a future Advisory Design Panel meeting with the following concerns be addressed:

Architectural Comments:

- *Consider more stepping back of the building from the street scape interface with the neighboring properties. Height of the building is out of scale given the context;*
- *Prove the shadow studies that fully extends to the surrounding properties to show the impact of the building on the surrounding context;*
- *In order to reduce the appearance of the overall massing consider adding additional colours, material and architectural elements similar to the neighbouring buildings for better integration;*
- *Consider further softening material pallet to add warmth to the façade;*
- *Additional building detailing required;*
- *Updated rendering to reflect proposed landscaping that incorporate the retained trees.*

Landscape Comments:

- *Consider adding seating for parents in the play area;*
- *Consider expansion the play area to include more play opportunities;*
- *Incorporate play features that address the needs of all residents (accessible);*
- *Consider opening the daycare play space for all residents outside of operating hours."*

The applicant has not addressed these items nor has the application been presented back to Advisory Design Panel. A detailed description of the projects' final form and character will be included in a future development permit report to Council.

vii) **Development Information Meeting:**

A Development Information Meeting (DIM) has not been scheduled by the applicant to date for rezoning application 2019-255-RZ. In the first reading report that was presented to Council on September 17, 2019 it states that a DIM is required on page 6 of the report. A copy of this report was provided to the applicant as an enclosure with the standard City letter dated October 16, 2019, which advised the applicant that Council granted first reading to Zone Amending Bylaw No. 7571-2019. The DIM is not held until the project has been reviewed and been supported by the Advisory Design Panel to be forwarded to Council. In an email dated June 4, 2021 to the applicant, staff advised that a DIM was required. The applicant responded to this email on July 14, 2021 requesting further information required for the DIM process. Staff responded to this request on July 14, 2021. To date staff have not been requested to approve dates or to provide the labels for the mail out required for a DIM.

5. Interdepartmental Implications:

i) Engineering Department:

- The road on both 123 Avenue and 222 Street will require upgrading to a collector standard. A Traffic Impact Assessment (TIA) study is required for this project and the results of the TIA may impact the required off-site improvements required to be done to support the application.
- There is an existing sanitary sewer fronting this development however, the sizing of that main and the system was predicted on low density residential developing occurring along 122 Avenue. The applicant will be required to have the City sanitary sewer system modelled to confirm sizing and downstream capacity. This is to be done at the applicants cost using one of the City's accepted modelers.
- The two streets that abut the subject properties contain City storm sewers. The applicant is required to provide a storm catchment analysis to confirm sizing and it the existing storm sewer has capacity for the development. If there are any downstream upgrades required to support the proposed development it will be the sole responsibility of the developer. There is currently a storm outfall at the end of 222 Street, that discharges into a tributary of the Alouette River. This outfall may be required to be relocated or upgraded.
- The subject properties along 123 Avenue contain a Fortis natural gas statutory-right-of-way (SRW) that needs to be considered within the proposed development. Fortis, may need to approve any development that is proposed in the SRW. The applicant has been advised to coordinate with Fortis early in the process.

ii) Parks, Recreation and Culture Department:

The Park Department has reviewed the proposal and is seeking the creation of a trail linkage. Details of the precise location and extent has not yet been finalized and will need to be achieved prior to final reading. This information has been requested by the applicant and to date this information has not been received in re-submissions.

iii) Environment:

A combined Watercourse Protection Development Permit and Natural Features DP (WPDP and NFDP) is required for this site due to the steep ravine banks and the unnamed creeks located on site. Planning staff and the Qualified Environmental Professional (QEP) associated with the development are in ongoing discussions related to the final environmental setbacks and compensation areas and will have to resolve the issues at the Development Permit Stage prior to final reading. Detailed explanation on how the proposed compensation areas will improve the habitat for aquatic species, wildlife, and native planting and trees are necessary to justify the reduced environmental setbacks and avoid a formal referral to senior government environmental agencies. The applicant is proposing some encroachment into the 15 metre setback for the Steamside Protection and Enhancement Area so formal notification to the senior agencies is required. This notification should occur as soon as possible to avoid delays and be submitted by the applicant's QEP. A clear net habitat gain in terms of both qualitative and quantitative measures must be demonstrated to offset the proposed losses. A standard Habitat Protection and Enhancement Covenant will be required. A tree permit will also be required for this application but cannot be issued until the environmental issues are resolved.

iv) Building Department:

The Building Department reviewed the geotechnical report submitted in support of the application. From this review the Building Department requested a peer review be conducted on the submitted geotechnical report. This is a standard requirement to have geotechnical reports peer reviewed. The applicant submitted the peer reviewed geotechnical report on October 26, 2021 and the report is currently being reviewed by staff.

6. School District No. 42 Comments:

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral has been sent to School District No. 42 for their consideration and the City is waiting for comments back.

7. Intergovernmental Issues:

i) Local Government Act:

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act.* The amendment required for this application, adjusting the *Conservation* and *Residential* designation boundaries, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

CONCLUSION:

The proposed CD-6-21(Medium Density Mixed Use Rental and Market Apartment Residential) zone is a departure from the RM-2(Medium Density Apartment Residential) zone which is the zone used on the development to the east of the subject properties. If the RM-2 zone requirements are applied to this application there would be a 77 parking stall deficiency. It is recommended that first and second reading by given to OCP Amending Bylaw No. 7803-2021 and Zone Amending Bylaw No. 7812-2021 and that application 2019-255-RZ be forwarded to Public Hearing.

"Original signed by Wendy Cooper"

Prepared by: **Wendy Cooper**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

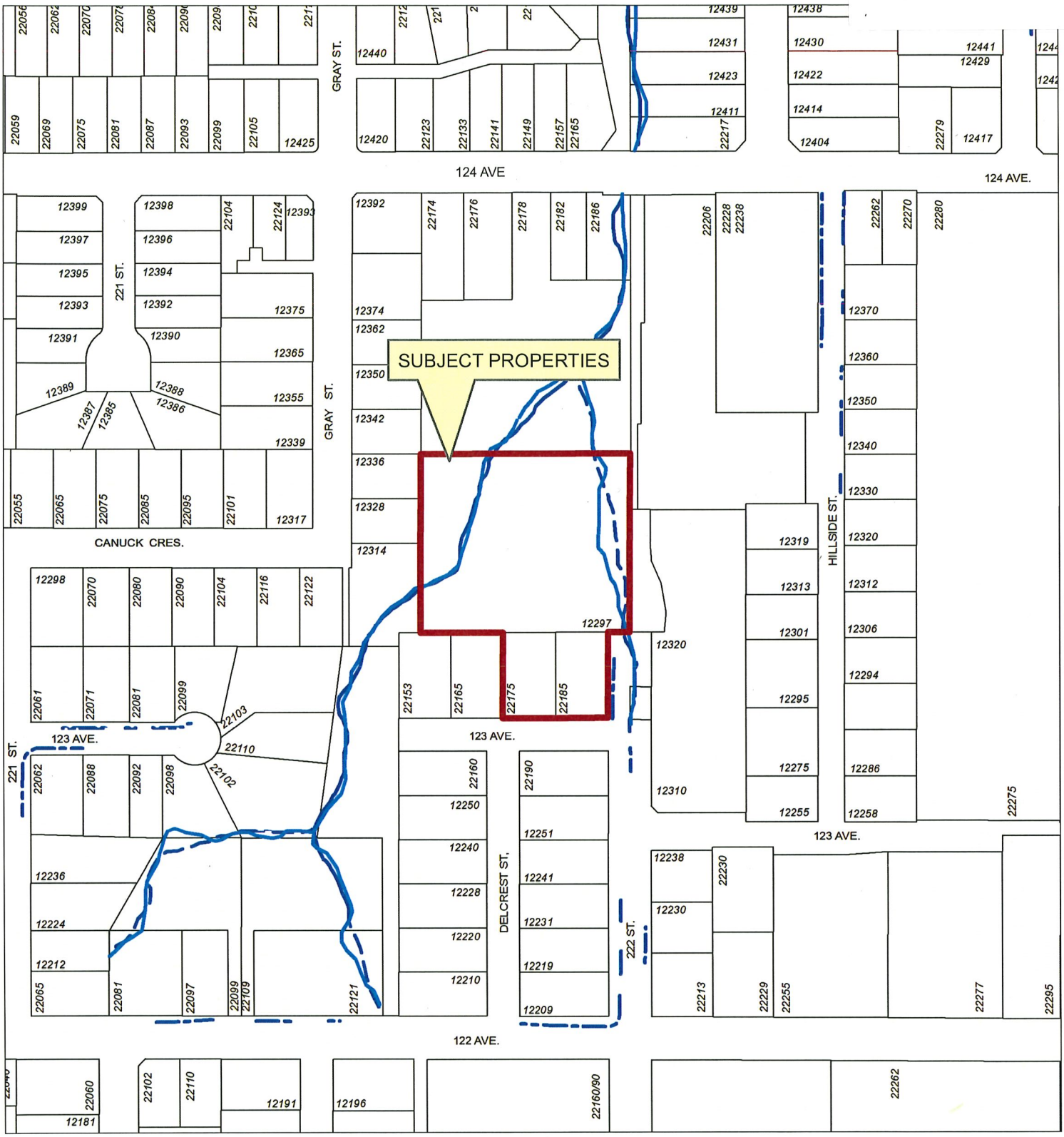
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:
Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – OCP Amending Bylaw No. 7803-2021
Appendix D – Zone Amending Bylaw No. 7812-2021
Appendix E – Site Plan
Appendix F – Building Elevation Plans
Appendix G– Landscape Plans
Appendix H– Architect's Response to Advisory Design Panel
Appendix I – Landscape Architect's Response to Advisory Design Panel
Appendix J – Developer Letter – January, 2021

APPENDIX A



N

Scale: 1:2,500

Legend

- Stream
- Ditch Centreline
- Indefinite Creek
- River Centreline

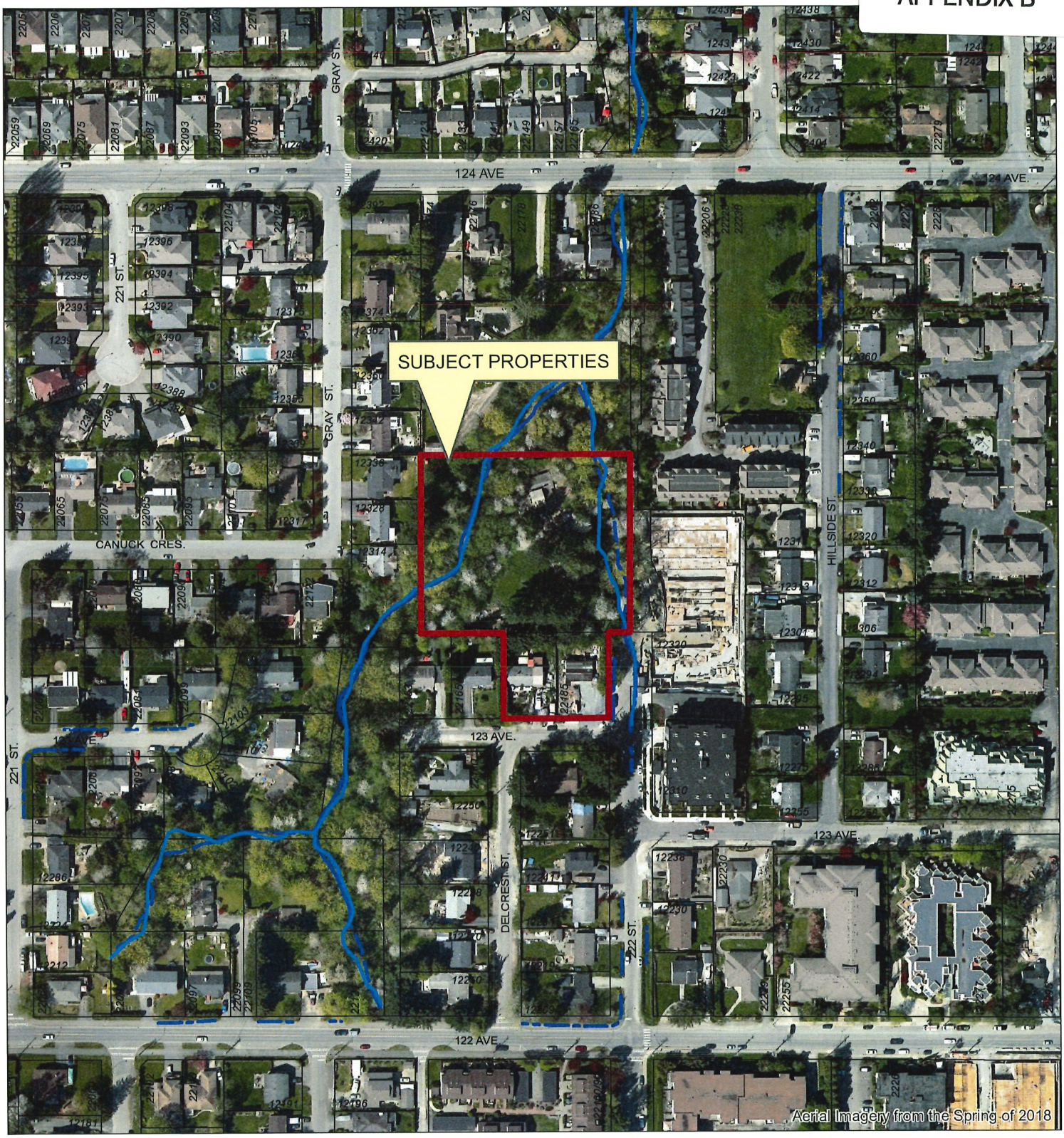
12297 222 STREET, 22175/85 123 AVENUE
PID'S; 011-921-935, 010-122-818 & 010-122-885

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2019-255-RZ
DATE: Sep 21, 2020 BY: PC

APPENDIX B



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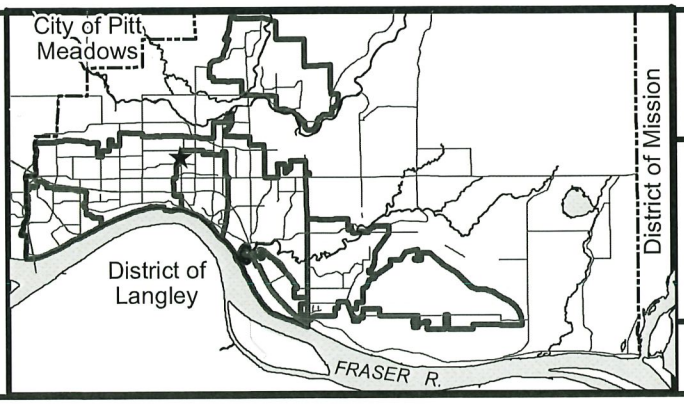


12297 222 STREET, 22175/85 123 AVENUE
PID'S; 011-921-935, 010-122-818 & 010-122-885

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2019-255-RZ
DATE: Sep 21, 2020 BY: PC

CITY OF MAPLE RIDGE
BYLAW NO. 7803-2021

A Bylaw to amend the Official Community Plan Bylaw No. 7060-2014

WHEREAS Section 477 of the Local Government Act provides that the Council may revise the Official Community Plan;

AND WHEREAS it is deemed expedient to amend Schedules "B" & "C" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7803-2021

2. Schedule "B" is hereby amended for that parcel or tract of land and premises known and described as:

   Parcel "A" (Reference Plan 12909) Lot 5 Except: Firstly: Parcel "B" (Reference Plan 13374); Secondly: Parcel "D" (Explanatory Plan 13727); District Lot 396 Group 1 New Westminster District Plan 830;
   Lot 9 District Lot 396 Group 1 New Westminster District Plan 15728; and
   Lot 10 District Lot 396 Group 1 New Westminister District Plan 15728;

   and outlined in heavy black line on Map No. 1049, a copy of which is attached hereto and forms part of this Bylaw, is hereby amended as shown.

3. Schedule "C" is hereby amended for that parcel or tract of land and premises known and described as:

   Parcel "A" (Reference Plan 12909) Lot 5 Except: Firstly: Parcel "B" (Reference Plan 13374); Secondly: Parcel "D" (Explanatory Plan 13727); District Lot 396 Group 1 New Westminsiter District Plan 830;
   Lot 9 District Lot 396 Group 1 New Westminster District Plan 15728; and
   Lot 10 District Lot 396 Group 1 New Westminister District Plan 15728;

   and outlined in heavy black line on Map No. 1050, a copy of which is attached hereto and forms part of this Bylaw, is hereby amended by adding and removing Conservation.

4. Maple Ridge Official Community Plan Bylaw No. 7060-2014 is hereby amended accordingly.

READ a first time the day of , 20

READ a second time the day of , 20

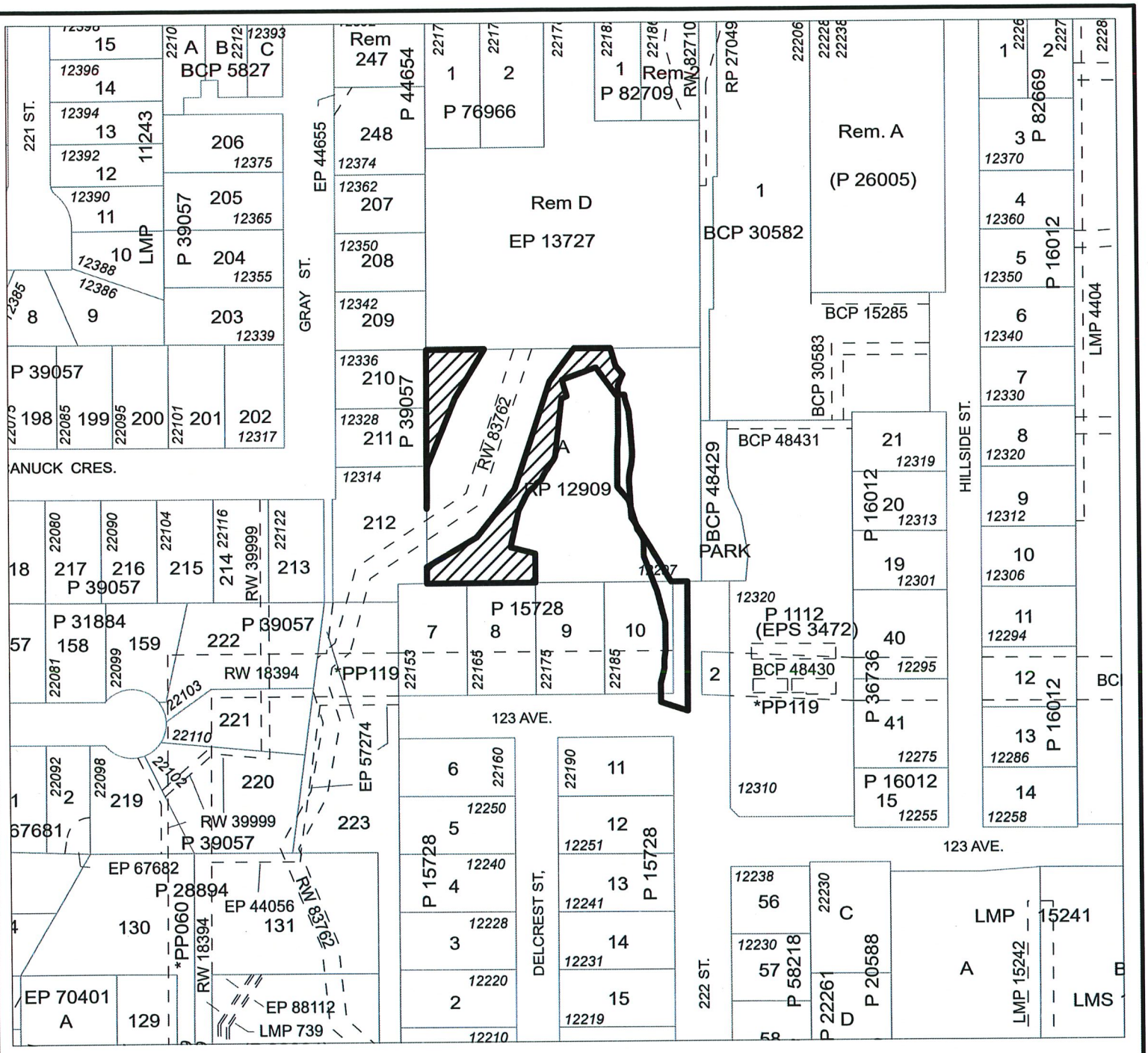
PUBLIC HEARING held the day of , 20

READ a third time the day of , 20

ADOPTED, the day of ,20 .

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE OFFICIAL COMMUNITY AMENDING

Bylaw No. 7803-2021

Map No. 1049

From: Conservation and Urban Residential

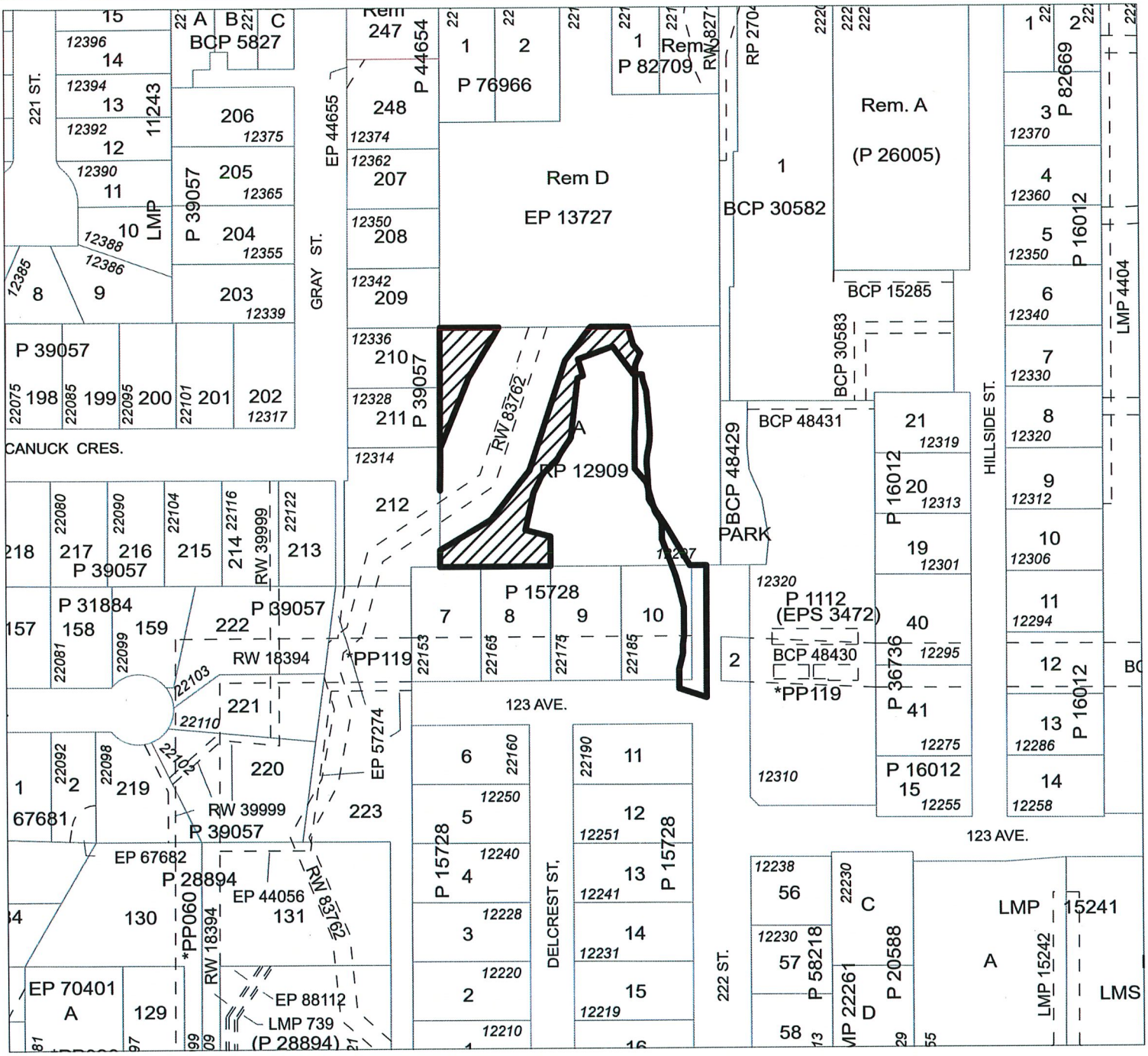
To: Urban Residential

Conservation

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



MAPLE RIDGE OFFICIAL COMMUNITY AMENDING

Bylaw No. 7803-2021

Map No. 1050

Purpose: To Amend Schedule C as shown

To Add To Conservation

To Remove from Conservation

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000

CITY OF MAPLE RIDGE

BYLAW NO. 7812-2021

A Bylaw to amend the text of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

---

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7812-2021".

2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended by inserting the following CD Zone immediately following the last section in Part 10 and numbering it in sequential order accordingly:

10XX Zone CD-6-21 MEDIUM DENSITY MIXED USE RENTAL AND MARKET APARTMENT RESIDENTIAL

10XX.1 PURPOSE

1. This zone provides for a Medium Density Mixed Use Rental and Market Rental Apartment Residential use with a maximum Building Height of seven (7) Storeys.

10XX.2 PRINCIPAL USES

1. The following Principal Uses Shall be permitted in this Zone;
   a. Affordable Rental Apartment Residential secured with a Housing Agreement and 219 covenant; and
   b. Rental Apartment use only when the structure contains 49 Affordable Rental Apartments units.

10XX.3 ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone;
   a. Boarding;
   b. Home Occupation; and
   c. Group Child Care Centre to a maximum of 270 m2 of indoor space that shall be located on the first floor of the building with 93 m2 of uncovered outdoor play area and 120.77m2 of covered outdoor play area.

2. Refer to Sections 401 and 402 of this Bylaw for additional information.

10XX.4 LOT AREA AND DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than;

a.	in Lot Area	1,300.0 square metres
b.	in Lot Width	30.0 metres
c.	in Lot Depth	not applicable

2. Refer to Section 407 Building Envelope of the Bylaw for required minimum Building Envelope dimensions

10XX.5 DENSITY

1. Floor Space Ratio shall not exceed a base Density of 2.75 times the Lot Area.

10XX.6 LOT COVERAGE

1. Not applicable

10XX.7 SETBACKS

1. Minimum Setbacks for all Principal Building and Principal Structures shall be not less than:

a. from a Front Lot Line (222 Street)	5.6 metres
b. from a Rear Lot Line (West)	6.0 metres
c. from an Interior Side Lot Line (North)	6.0 metres
d. from an Exterior Side Lot Line (123 Avenue)	5.6 metres

2. An Underground Structure, for Off-Street Parking, will not extend more than 0.8 metres above the Average Finished Grade and the above grade area is to be landscaped to become a useable part of the yard area. Minimum setbacks for the Underground Structure shall be not less than:

a. from a Front Lot Line	0.0 metres
b. from a Rear Lot Line	0.0 metres
c. from an Interior Side Lot Line	0.0 metres
d. from an Exterior Side Lot Line	0.0 metres

3. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

10XX.8 HEIGHT

1. Building Height for Principal Buildings and Principal Structures shall not exceed 30.0 metres nor 7 Storeys.

2. Building Height for Accessory Buildings and Accessory Structures shall not exceed 4.5 metres.

3. Refer to Section 403 (Building Height) of this Bylaw.

10XX.9 LANDSCAPING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.

10XX.10 PARKING AND LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990 except where it conflicts with item 2 below.

2. The location of Off-Street Parking shall be provided as per the Development Permit drawings approved by Council and consists of 114 stalls with 21 located at grade and remainder concealed in an underground parking structure.

10XX.11 OTHER REQUIREMENTS

1. Common Open Area(s) shall be provided on the Lot for Apartment Residential Use as a minimum of 30% of the Lot Area.

2. Outdoor Amenity Area(s) shall be provided on the Lot based on the following ratio, and this area may form part of the Common Open Area requirement:
   a. 1.0 square metre per apartment Dwelling Unit.

3. Private Outdoor Area(s) shall be provided for each Dwelling Unit at a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater. This area may form part of the Common Open Area requirement.

4. Indoor Amenity Area(s) shall be provided on the Lot based on the following ratio:
   a. 1.0 square metre per apartment Dwelling Unit.

5. Those parcels or tracts of land and premises known and described as:

   Secondly: Parcel "D" (Explanatory Plan 13727); District Lot 396 Group 1 New Westminster District Plan 830;
   Lot 9 District Lot 396 Group 1 New Westminster District Plan 15728; and
   Lot 10 District Lot 396 Group 1 New Westminister District Plan 15728;

   and outlined in heavy black line on Map No. 1937 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to CD-6-21 Medium Density Mixed Use Rental and Market Apartment Residential.

6. Maple Ridge Zoning Bylaw No. 7600-2019 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the day of , 20

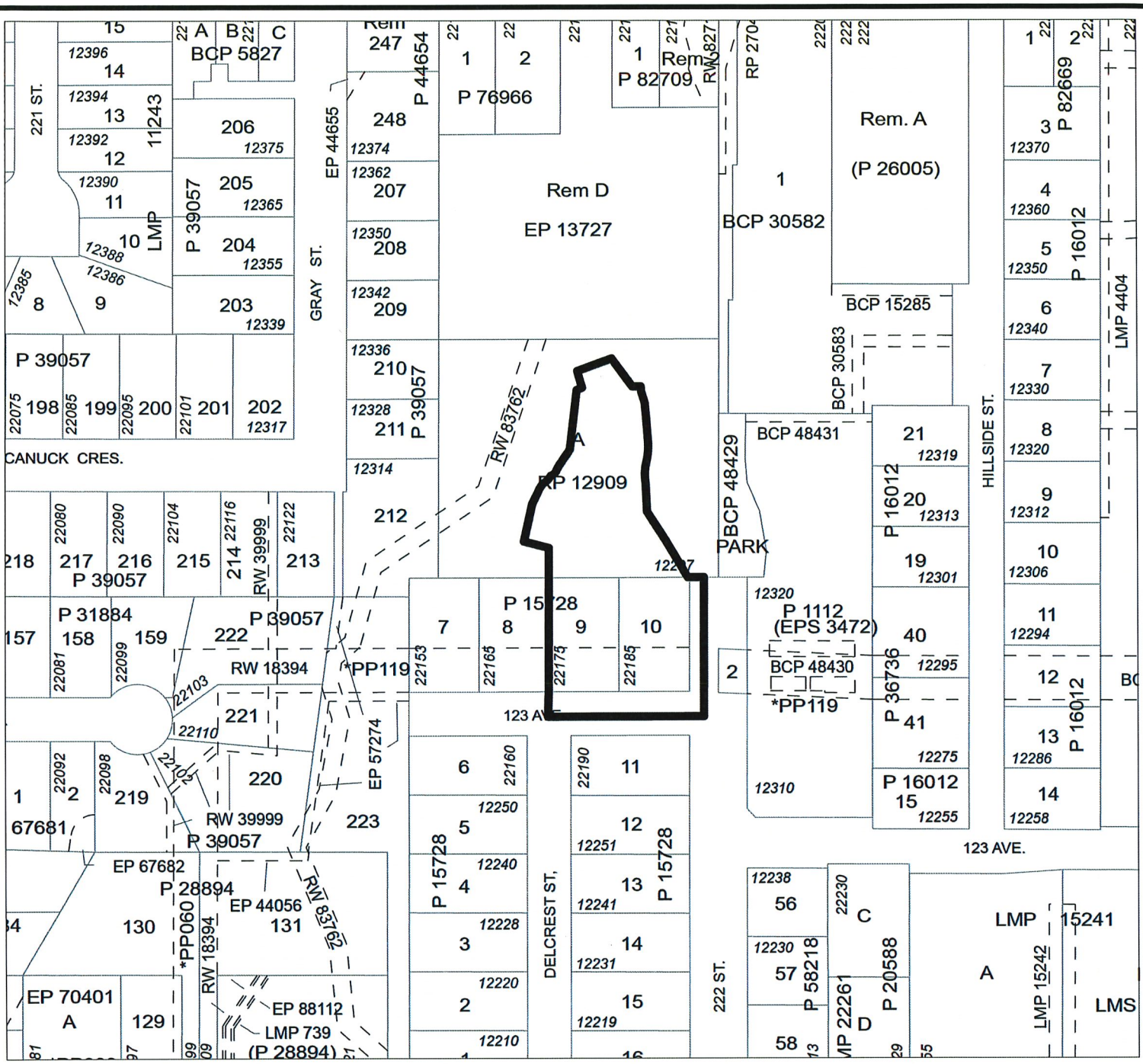
READ a second time the day of , 20

READ a third time the day of , 20

ADOPTED the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7812-2021

Map No. 1937

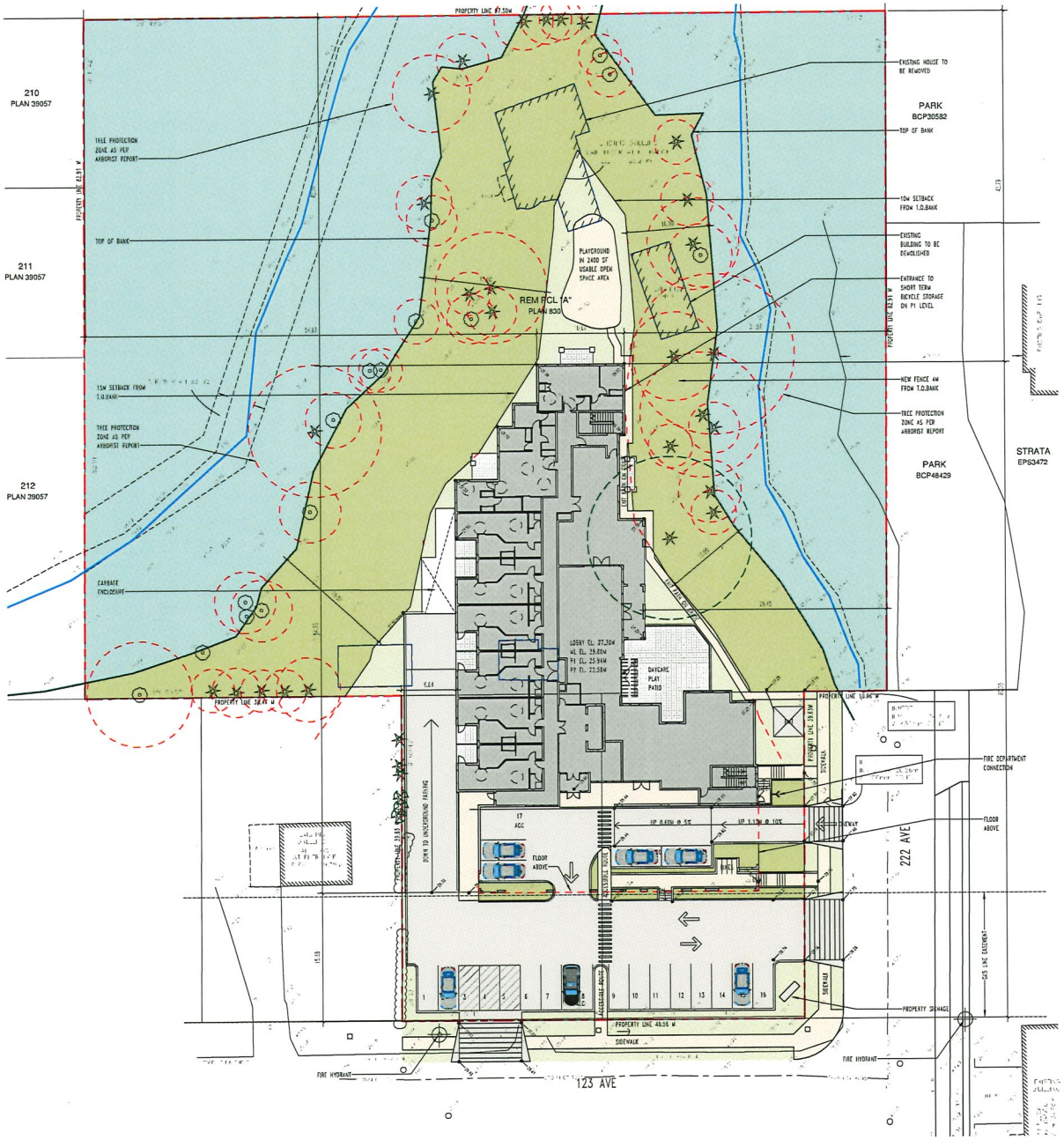
From: RS-1 (Single Detached Residential)

To: CD-6-21 (Medium Density Mixed Use Rental Apartment Residential)

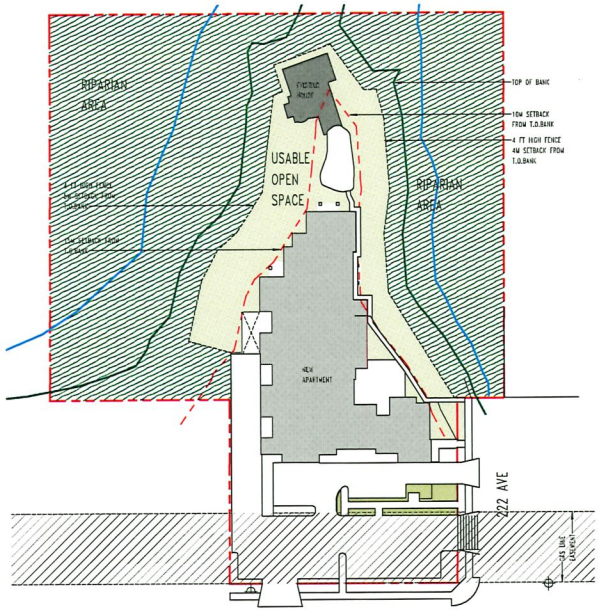
MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



1 SITE PLAN
1" = 20'-0"



2 SITE PLAN
1" = 40'-0"

ZONING RECONCILIATION

ZONING DATA	REQUIRED / ALLOWED	PROPOSED
CURRENT ZONE	RS1	CD
GROSS LOT SIZE	10,034.83 m²	
RIPARIAN AREA	(5565.91 m²) BOUNDARY @ NEW FENCING & ROAD CURB	
CAS LINE R.O.W.	(746.56 m²)	
NET LOT SIZE	3,722.26 m² / 0.9198 Ac. /0.3722 Ha	
PRIMARY USES	APARTMENT	APARTMENT + DAYCARE
GROSS FLOOR AREA		10,250.00 m²
DEMOLISHED FLOOR AREA		4 BUILDINGS IN TOTAL: 330 m²
DENSITY-FAR	BASED ON NET LOT AREA	10,250.00 m² / 3722.26 = 2.75
SITE COVERAGE	BASED ON GROSS LOT AREA	1630 / 10,034.83 = 16.2%
SETBACKS	SOUTH: 7.5M (123 AVE) EAST : 7.5M (222 STREET) WEST: 7.5M NORTH: 7.5M	15.63 M 5.63 M 5.64 M 42.2 M
HEIGHT OF BUILDINGS	BASED ON AVERAGE GRADE TO ROOF RIDGE	7 STOREYS / 22 M
OFF-STREET PARKING	NON-MARKET APARTMENT IN TOWN CENTER AREA 1 BEDROOM: 0.9 PER UNIT X 65 = 58.5 2 BEDROOM: 1.0 PER UNIT X 34 = 34.0 3 BEDROOM: 1.1 PER UNIT X 7 = 7.7 VISITOR: 0.05 PER UNIT X 106 = 5.3 SUB 105.5 (105 CARS) DAYCARE 2900 SF 36 CHILDREN / 10 = 3.6 6 STAFF / 2 = 3 SUB 6.6 (7 CARS) TOTAL PARKING REQUIRED 112.1 (113 CARS)	GROUND PARKING: 21 P1 PARKING: 43 P2 PARKING: 50 TOTAL 114 CARS
H/C PARKING	2 (INCLUDED IN VALUES ABOVE)	2 (GROUND PARKING & P1 FLOOR)

UNIT COUNT

	TYP. A 1BR	TYP. B 1BR	TYP. C 2BR 2LV	TYP. D 2BR 2LV	TYP. E 2BR	TYP. F 2BR	TYP. G 3BR	TOTAL
MAIN FLOOR	6	1	0	0	0	0	1	8
2ND FLOOR	15	2	0	0	1	1	1	20
3RD FLOOR	15	2	0	0	1	1	1	20
4TH FLOOR	6	0	9	2	1	1	1	20
5TH FLOOR	6	0	0	0	1	1	1	9
6TH FLOOR	6	0	9	2	1	1	1	20
7TH FLOOR	6	0	0	0	1	1	1	9
TOTAL:	60	5	18	4	6	6	7	106

NOTE:

TREES REMOVED

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JMArchitecture Inc.

Principal: Joe M. Merten
architect aibc, mraic
Building 4 - Main Floor
10242 - 81st Avenue
Surrey, B.C. V3V 8P8
604 - 560 2010 - T
joe@jmarchitecture.ca - E

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SIMPLEX MEADOWS Corp.

REV	DATE	DESCRIPTION	BY
7	15-03-2021	REISSUED FOR DP	TJ
6	09-03-2021	ISSUED FOR CLIENT	TJ
5	03-03-2021	ISSUED FOR CLIENT/CONSULTANT	TJ
4	22-02-2021	ISSUED FOR CONSULTANT	TJ
3	08-01-2021	ADDED ONE STOREY	SP
2	28-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE

PROJECT No 2018-15

DR. SP

CH. JMM

SCALE As indicated

Architects Seal

2021-03-15

Project Name
222 MEADOWS WALK
MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPM
shahin@simplexmeadows.com

SITE PLAN

REV: 7 | Project No. 2018-15 | DP

APPENDIX E

1 ENTRY - STUCCO

CAMERA LOCATION

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Principal, Jun M. Minton
architectural adv. advc. retired
Building A - Main Floor
13245 - 97st Avenue
Surrey, B.C. V3R 8P8
604 - 560 2303 - T
jun@jmarchitecture.ca - E

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SIMPLEX MEADOWS Development Corp.

REV	DATE	DESCRIPTION	BY

START DATE

PROJECT No 2018-15

DR. Author

CH. Checker

SCALE

Architects Seal

2021-08-23

Project Name

222 MEADOWS WALK

MAPLE RIDGE, BC

Client:

SIMPLEX MEADOWS DEVELOPME

3D VIEW – STUC

OPTION

REV No | Project No. 2018-15 | DP-S

APPENDIX F

2 SOUTH @ 123 AVE - STUCCO OPTION

CAMERA LOCATION

1 CORNER 123 AVE @ 222 ST - STUCCO OPTION

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architect aibc, aaa, mraic
Building 4 – Main Floor
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joe@jmarchitecture.ca - E

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REV	DATE	DESCRIPTION	BY

START DATE

PROJECT No 2018-15

DR. Author

CH. Checker

SCALE

Architects Seal

2021-08-23

Project Name

222 MEADOWS WALK

MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.

3D VIEW – STUCCO OPTION

REV No. | Project No. 2018-15 | DP–900a

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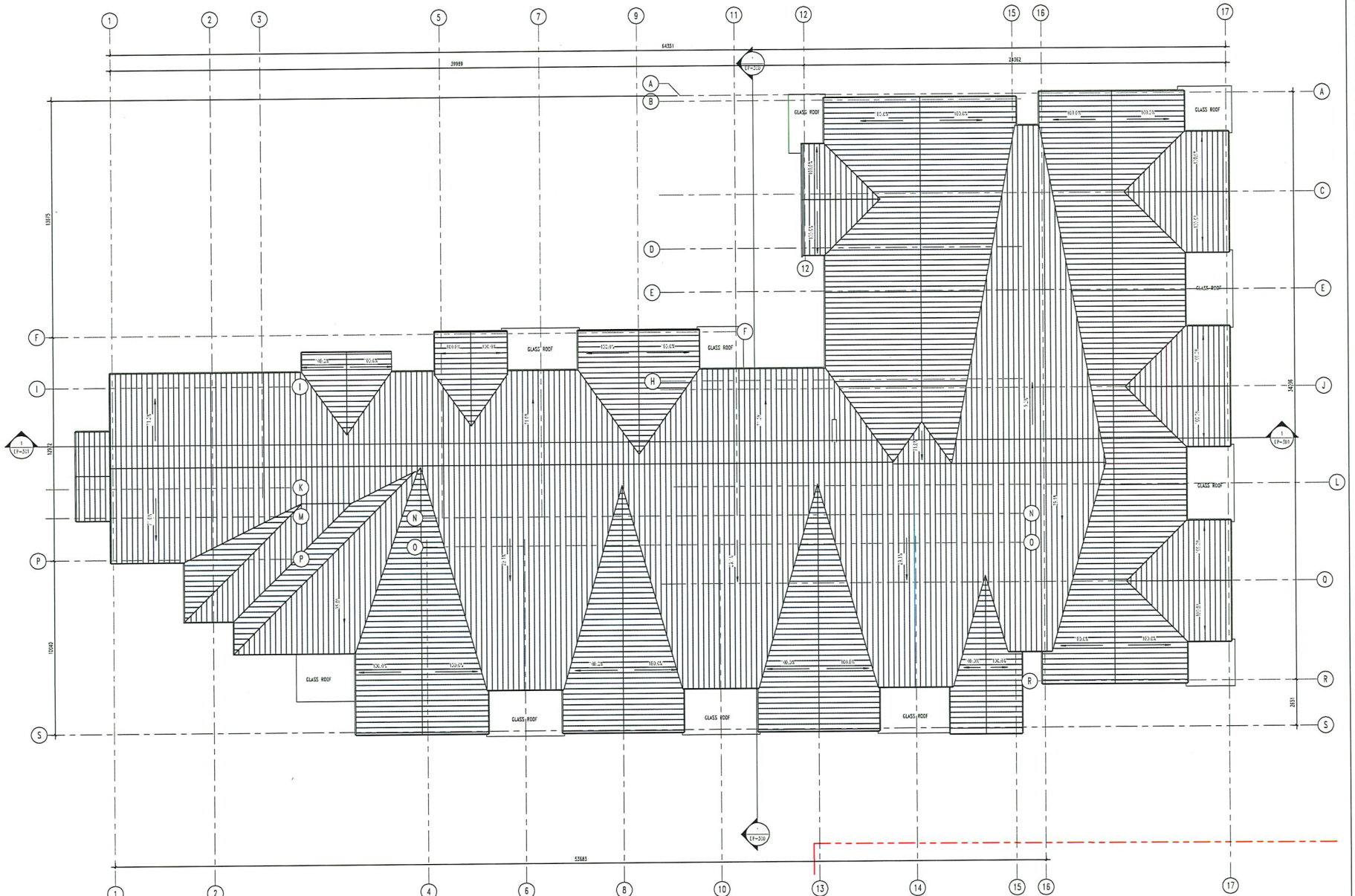

DP-FP-ROOF PLAN
1/8" = 1'-0"

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architect aaa, aibc, maic
Building 4 - Main Floor
15043 - 31st Avenue
Surrey, B.C. V3R 8P9
604 - 583 2033 - T
joe@jmarchitecture.ca - E

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SIMPLEX MEADOWS DEVELOPMENT CORP.

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2	20-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE	
PROJECT No	2018-15
DR.	SP
CH.	Checker
SCALE	1/8" = 1'-0"

Architects Seal

2021-03-16

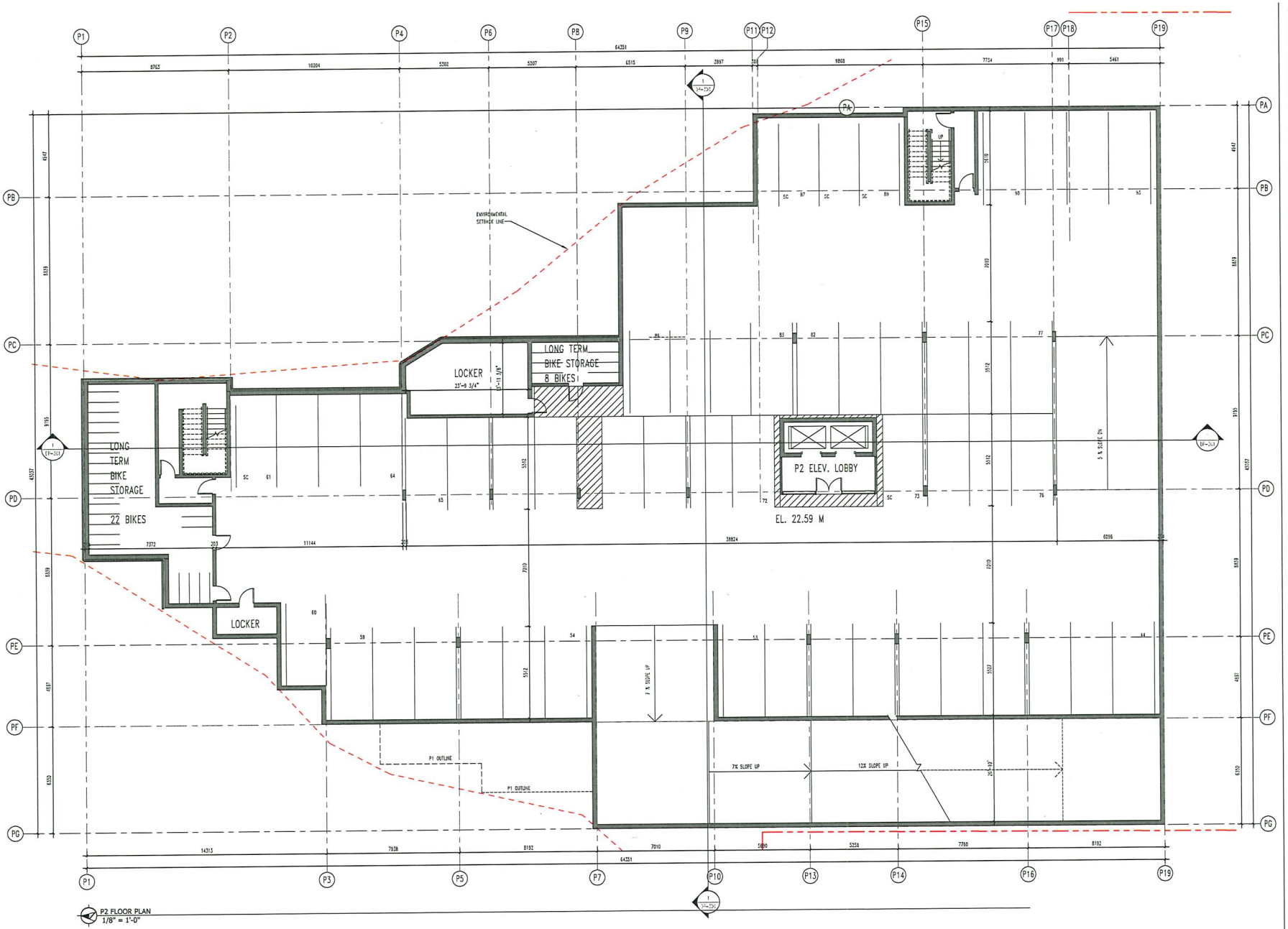
Project Name
222 MEADOWS WALK
MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.
shahin@simplexmeadows.com

ROOF PLAN

REV No. | Project No. 2018-15 | DP-112

3/16/2021 10:29:52 AM



P2 FLOOR PLAN
1/8" = 1'-0"

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Principal: Joe M. Minten
architect aibc, mraic
Building 4 - Main Floor
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4	09-03-2021	ISSUED FOR CLIENT	TJ
3	08-01-2021	ADDED ONE STOREY	SP
2	28-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE

PROJECT No 2018-15

DR. SP

CH. JMM

SCALE 1/8" = 1'-0"

Architects Seal

2021-03-16

Project Name
222 MEADOWS WALK
MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.
shahin@simplexmeadows.com

P2 FLOOR PLAN

REV No. | Project No. 2018-15 | DP-104

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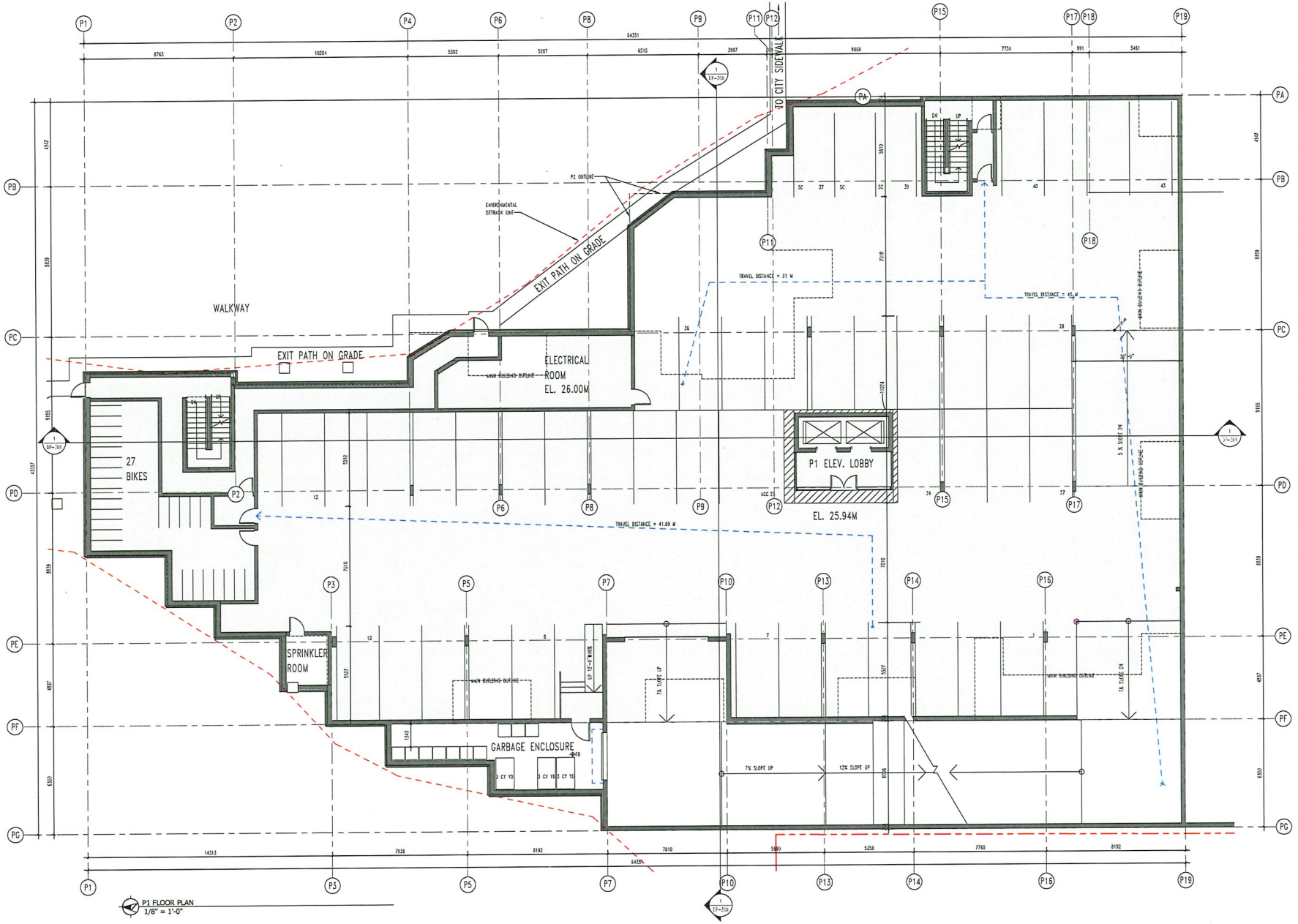

P1 FLOOR PLAN
1/8" = 1'-0"

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JMArchitecture Inc.

Principal: Joe M. Minten
architect aaa, aibc, mraic
Building 4 - Main Floor
15245 - 21st Avenue
Surrey, B.C. V4A 6P8
604 - 560 2053 - T
joe@jmarchitecture.ca - E

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SIMPLEX MEADOWS DEVELOPMENT CORP.

REV	DATE	DESCRIPTION	BY
5	15-03-2021	REISSUED FOR DP	TJ
4	09-03-2021	ISSUED FOR CLIENT	TJ
3	08-01-2021	ADDED ONE STOREY	SP
2	28-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE	
PROJECT No	2018-15
DR.	SP
CH.	JMM
SCALE	1/8" = 1'-0"

Architects Seal

2021-03-16

Project Name
222 MEADOWS WALK
MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.
shahin@simplexmeadows.com

P1 FLOOR PLAN

REV No.	Project No.	
1	2018-15	DP-105

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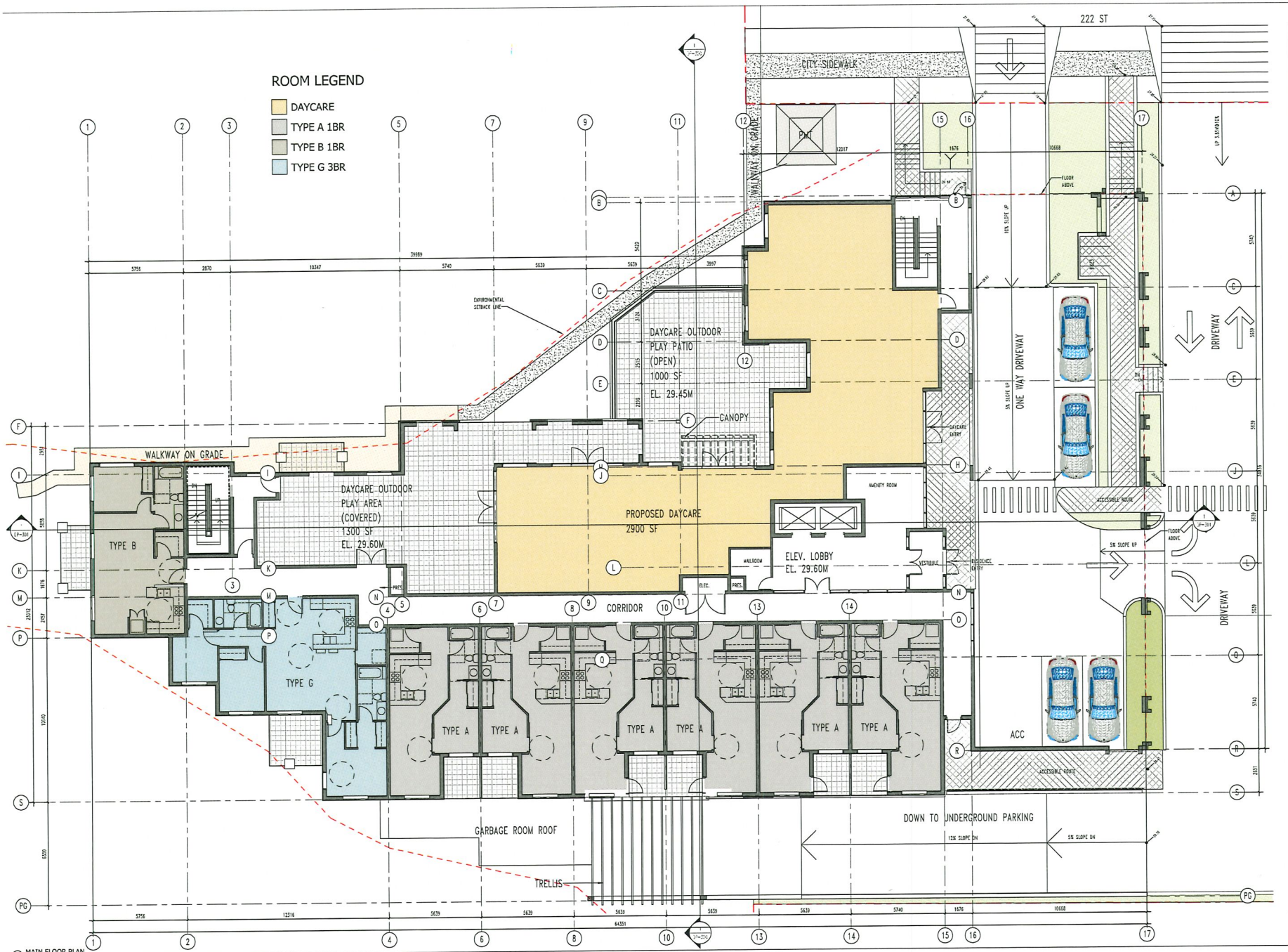

1 MAIN FLOOR PLAN
1/8" = 1'-0"

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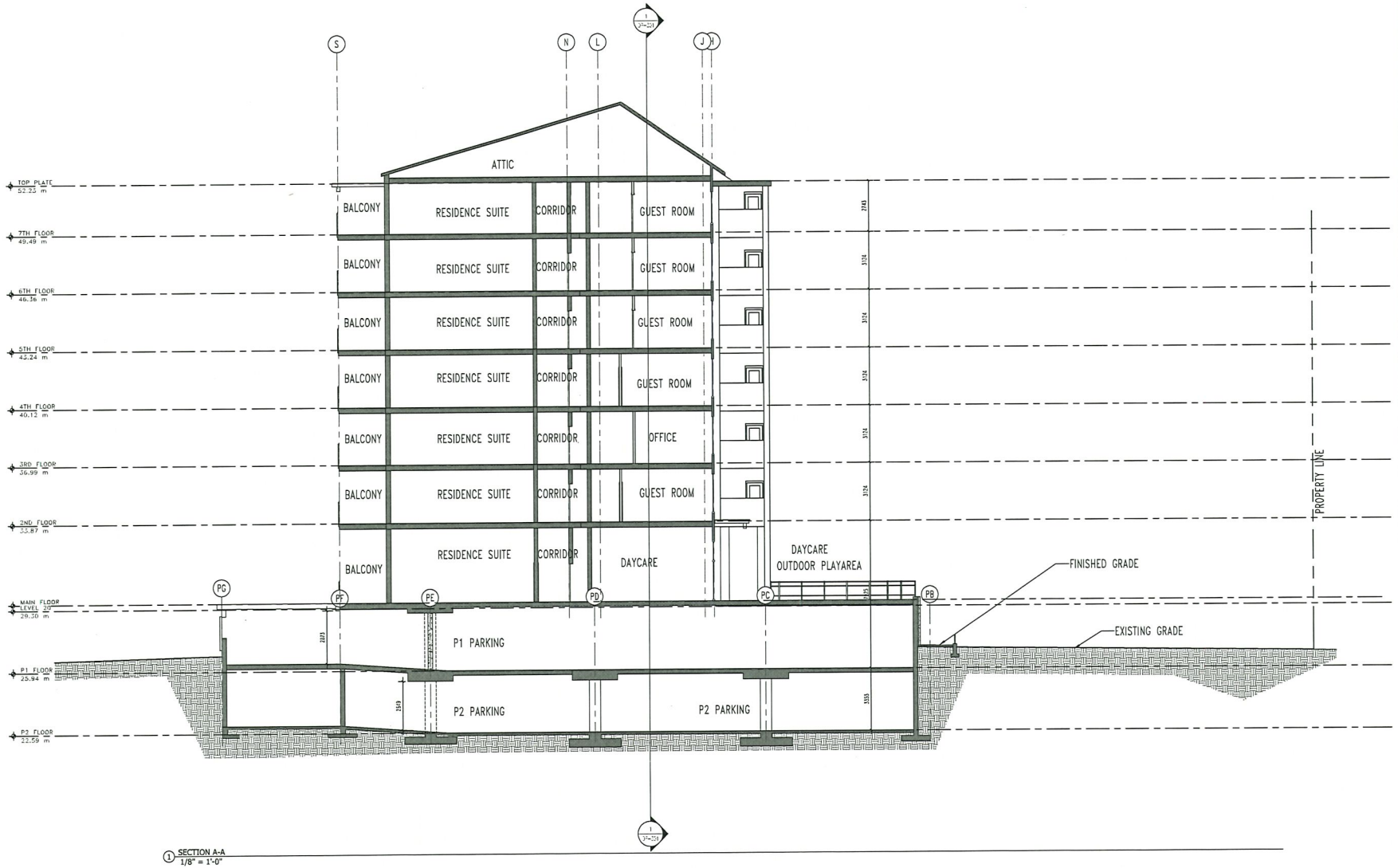

1 SECTION A-A
1/8" = 1'-0"

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JMArchitecture Inc.

Principal: Joe M. Minten
certified arb. and mgr.
Building 4 - Main Floor
19843 - 91st Avenue
Surrey, B.C., V4N 0P9
604 - 560 2703 - T
joe@jmarchitecture.ca - E

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REV	DATE	DESCRIPTION	BY
4	15-03-2021	REISSUED FOR DP	TJ
3	03-03-2021	ISSUED FOR CLIENT	TJ
2	28-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE	
PROJECT No	2018-15
DR.	JVS
CH.	JMM
SCALE	1/8" = 1'-0"

Architects Seal

2021-03-15

Project Name

222 MEADOWS WALK

MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.
shahin@simplexmeadows.com

BUILDING SECTION A – A

REV No. 2 | Project No. 2018-15 | DP-300

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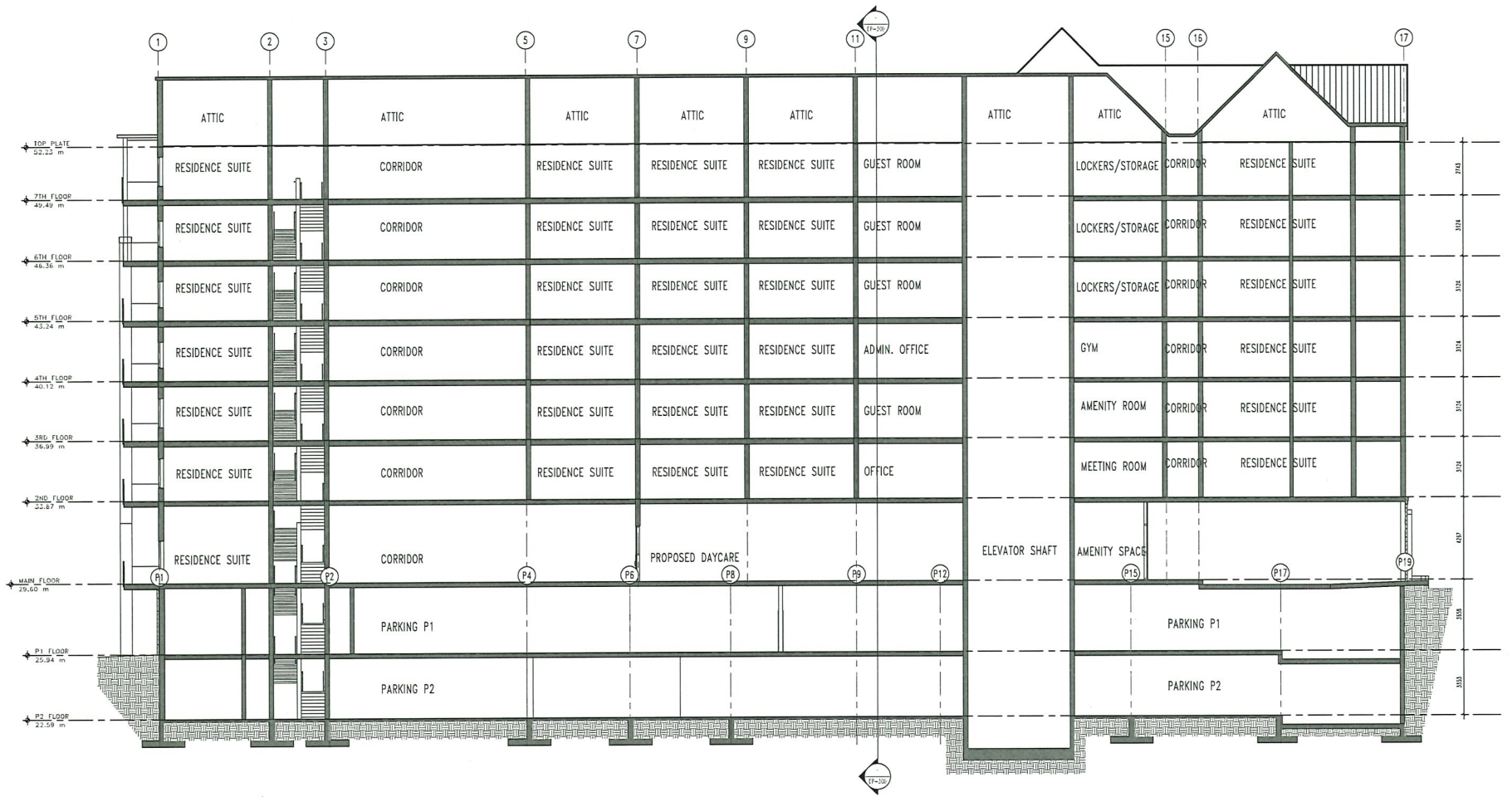

1 SECTION B-B
1/8" = 1'-0"

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JMArchitecture Inc.

Principal: Joe M. Merten
architect aaa, aibc, rraic
Building 4 - Main Floor
16260 - 91st Avenue
Surrey, B.C. V3S 6T8
604 - 593 2100 - T
joe@jmarchitecture.ca - E

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SIMPLEX MEADOWS DEVELOPMENT CORP.

REV	DATE	DESCRIPTION	BY
3	15-03-2021	REISSUED FOR DP	TJ
2	28-08-2020	ISSUED FOR DP	SP
1	20-08-2020	FOR CLIENT REVIEW	SP

START DATE

PROJECT No	2018-15
DR.	Author
CH.	Checker
SCALE	1/8" = 1'-0"

Architects Seal

2021-03-15

Project Name

222 MEADOWS WALK

MAPLE RIDGE, BC

Client:
SIMPLEX MEADOWS DEVELOPMENT CORP.
shahin@simplexmeadows.com

BUILDING SECTION B – B

REV No	Project No.	DP-301
	2018-15	

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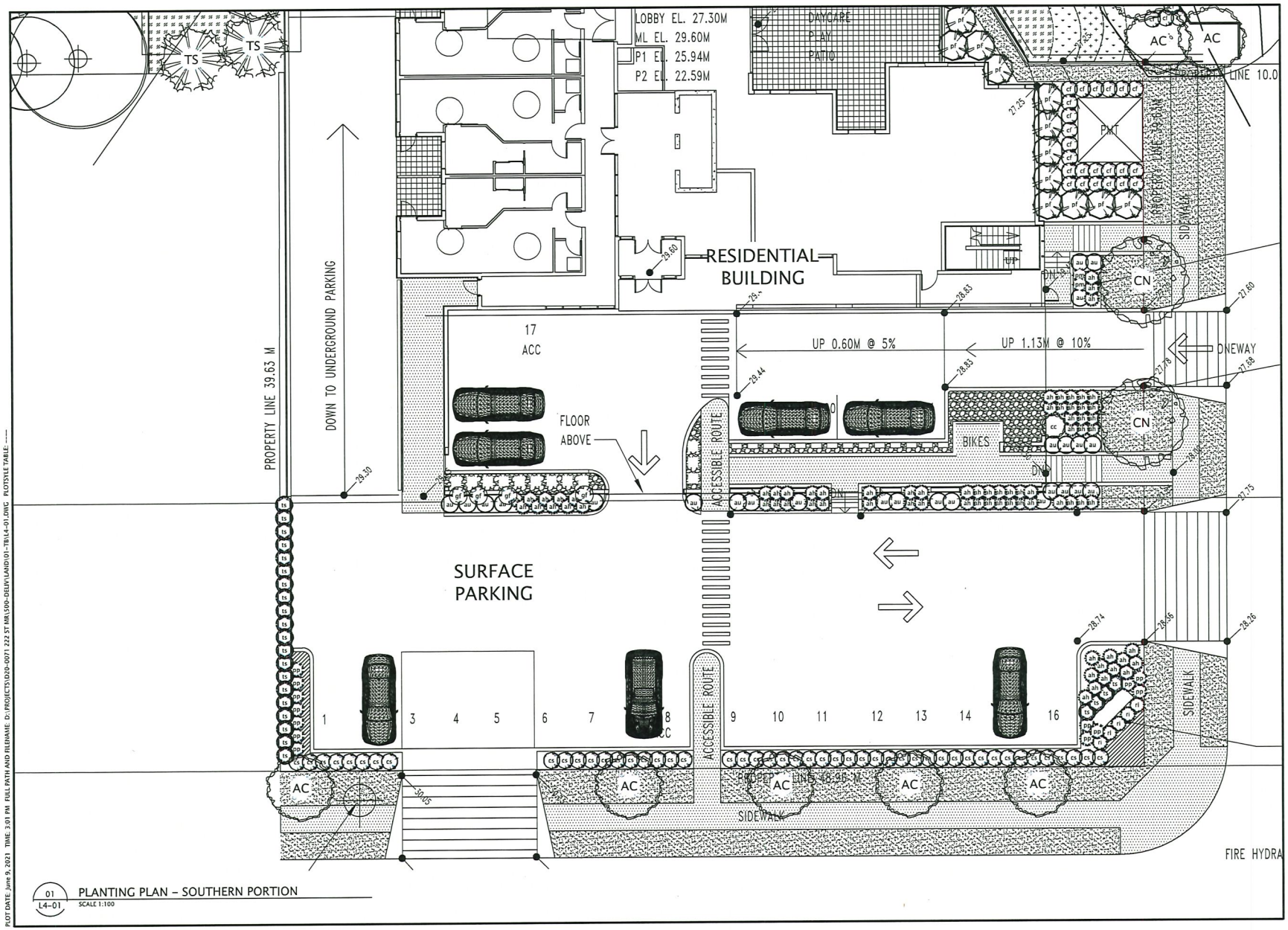

01 L4-01 PLANTING PLAN – SOUTHERN PORTION
SCALE 1:100

DATE	ISSUED FOR	REV
2020-08-27	REZONING	A
2021-03-17	D.P.	B
2021-06-09	A.D.P.	C

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Consultants

Architectural: JMArchitecture Inc.
Arborist: –
Civil:
Structural:
Mechanical:
Electrical:

Donald V.S. Duncan
DEVELOPMENT CONSULTANT
LANDSCAPE ARCHITECT
603 – 220 Eleventh Street
New Westminster BC
Canada V3M 6N9
778-791-4323
dvsduncan@gmail.com

Maple Ridge #
2018-255-RZ/DP

Revision	Project Leader	Drawn
C	D.Duncan	D.Duncan

prepared for:
Residential Development
12297 222 St/22175, 22185 12[illegible]
Maple Ridge BC

Drawing Title
PLANTING PLAN

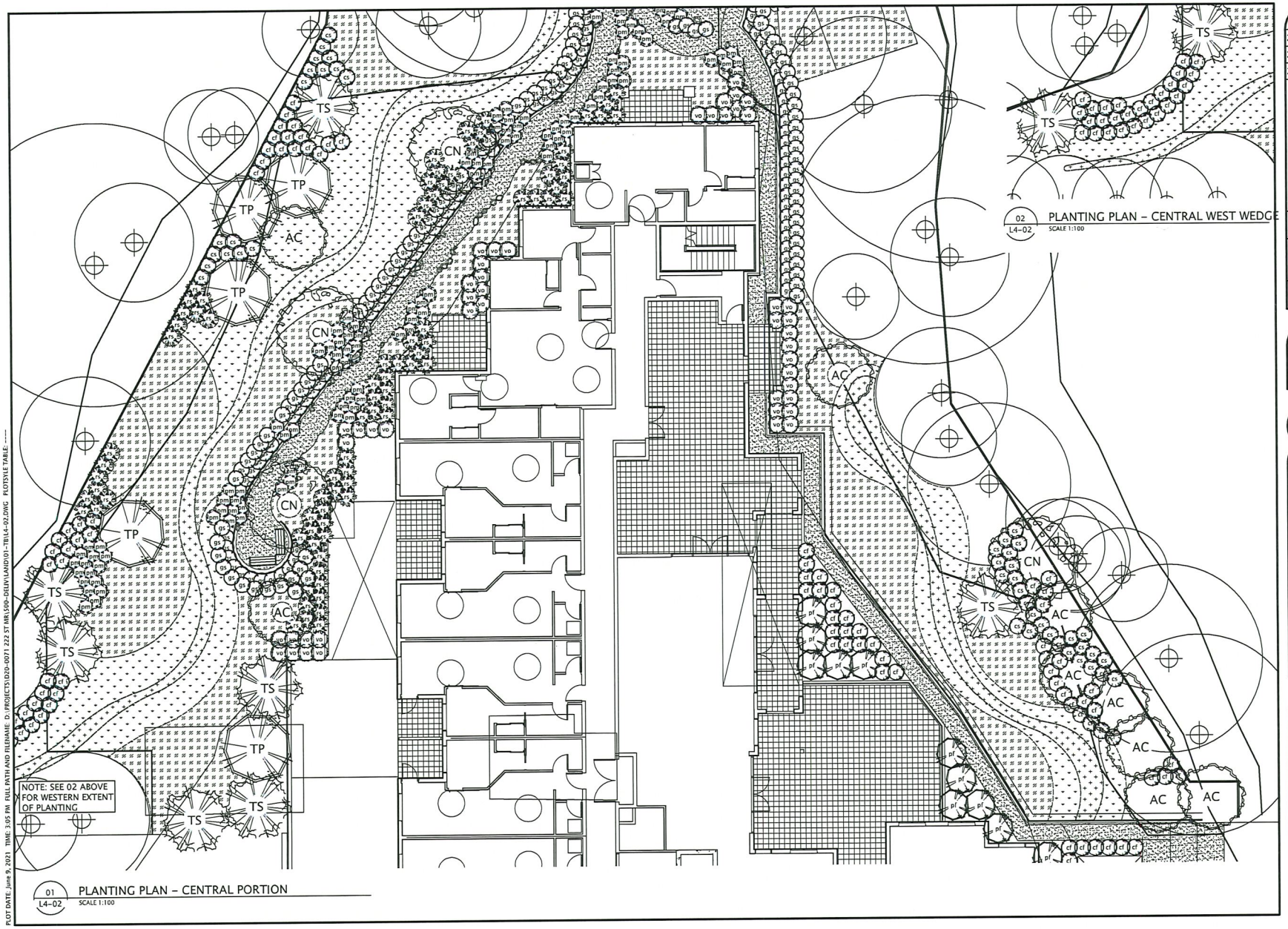
Check Scale (may be photo reduced)
0 1inch 0 10

Project No. 20-0071

Drawing No. L4-01

PLOT DATE: June 9, 2021 TIME: 3:01 PM FULL PATH AND FILENAME: D:\PROJECTS\2020-0071 222 ST MR\500-DELIV\LAND\01-TBL\L4-01.DWG PLOTSTYLE TABLE: ----

APPENDIX G



01 L4-02 PLANTING PLAN – CENTRAL PORTION
SCALE 1:100

02 L4-02 PLANTING PLAN – CENTRAL WEST WEDGE
SCALE 1:100

DATE	ISSUED FOR	REV
2020-08-27	REZONING	A
2021-03-17	D.P.	B
2021-06-09	A.D.P.	C

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Consultants

Architectural: JMArchitecture Inc.
Arborist: –
Civil:
Structural:
Mechanical:
Electrical:

Donald V. S. Duncan
DEVELOPMENT CONSULTANT
LANDSCAPE ARCHITECT
603 – 220 Eleventh Street
New Westminster BC
Canada V3M 6N9
778-791-4323
dvsduncan@gmail.com

Maple Ridge #
2018-255-RZ/DP

Revision	Project Leader	Drawn
C	D.Duncan	D.Duncan

prepared for:
Residential Development
12297 222 St/22175, 22185 123 Ave
Maple Ridge BC

Drawing Title
PLANTING PLAN

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Project No. 20-0071

Drawing No. L4-02

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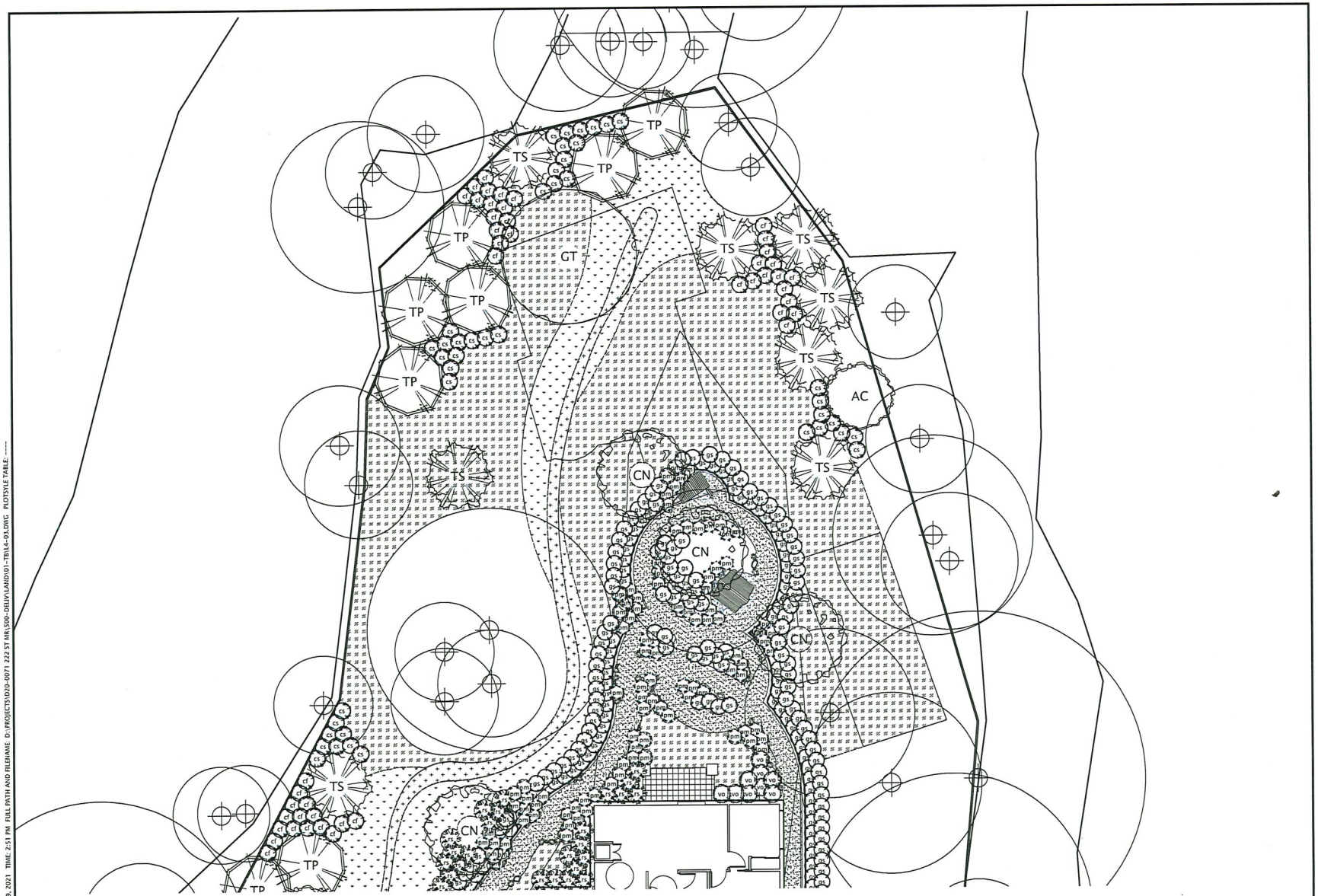

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2021-03-17	D.P.	B
2021-06-09	A.D.P.	C

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Consultants

Architectural: JMArchitecture Inc.
Arborist: –
Civil:
Structural:
Mechanical:
Electrical:

Donald V. S. Duncan
DEVELOPMENT CONSULTANT
LANDSCAPE ARCHITECT
603 – 220 Eleventh Street
New Westminster BC
Canada V3M 6N9
778-791-4323
dvsduncan@gmail.com

Maple Ridge #
2018-255-RZ/DP

C Revision

Project Leader D.Duncan
Drawn D.Duncan

prepared for:
Residential Development
12297 222 St/22175, 22185 123 Ave
Maple Ridge BC

Drawing Title
PLANTING PLAN

Check Scale (may be photo reduced)
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Project No. 20-0071

Drawing No. L4-03

PLOT DATE: June 9, 2021 TIME: 2:51 PM FULL PATH AND FILENAME D:\PROJECTS\020-0071 222 ST MR\500-DELIV\LAND\01-TRIL\L4-03.DWG PLOTSTYLE TABLE:----

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge
Advisory Design Panel
MEETING MINUTES

The Minutes of the Regular Meeting of the Maple Ridge Advisory Design Panel (ADP) held via Zoom teleconference on Wednesday, June 16, 2021 at 4:03 pm.

PANEL MEMBERS PRESENT

Stephen Heller, Chair	Landscape Architect BCSLA
Meredith Mitchell, Vice Chair	Landscape Architect BCSLA
Steven Bartok	Architect AIBC
Emily Kearns	Architect AIBC

STAFF MEMBERS PRESENT

Wendy Cooper	Staff Liaison, Planner
Sabina Chand	Committee Clerk

ABSENT

Andrea Scott	Architect AIBC

5.1 Development Permit No: 2020:309:DP –12297 222 St. | 22175, 22185 123 Ave Maple Ridge, BC

The Chair welcomed the project team to the meeting and introduced the members of the ADP. The Staff Liaison provided a brief overview of a multi: storey (7) residential development. The project team presented the development plans and answered questions from the Panel.

Architectural Comments:

- Height of the building is out of scale given the context:
  - reconsider 7 storey volume to a height more in keeping within the neighbourhood

JMM – supported by Planning needs council approval with public input

  - Gable roof is exacerbating the height of the roof

JMM – Revised design at street (south) face has removed units from the top floor and changed the roof to a terrace.

  - Please provide shadow studies, extended street elevations and larger reaching sections to show the impact of the building on the surrounding context

JMM – refer to architecture plans attached.

- Consider the Human scale of the building and introduce elements to lower the overall massing;

JMM – Revised design has eliminated the strong vertical brick cladding in favour of a single storey only and pronounced entry arch.

- Provide more celebration/distinction of entry and more articulation/visual interests on the street fronting facades;

JMM – provided refer to revised street entry facade

- Consider softening material pallet to add warmth to the façade;

JMM – there are two options provided for review comments

- Consider opportunities for the indoor/outdoor relationship at the ground plane.

JMM – this will be difficult to achieve with the declining grade to the north face of the building unless we get approval to connect into the environmental areas somewhat

Landscape Comments:

- Provide more clarification on perimeter grades and relationship to neighbouring property;
  JMM – Refer to plans and comments provided by landscape architect attached
- Provide terraced landscape retaining walls to soften the edges of the exposed parkade
  JMM – Refer to plans and comments provided by landscape architect attached
- Provide removable bollards at the 123rd street let down in front of the garbage collection – evaluate if this let down is needed as garbage truck could use podium access as the firetruck;
  JMM – Refer to plans and comments provided by landscape architect attached
- Consider to blend and expand the amenity area into the environmental setback;
  JMM – Refer to plans and comments provided by landscape architect attached
- Maintenance path of the Westside of the building is hidden – provide a looping path or additional connections to the building to reduce CPTED concerns;
  JMM – Refer to plans and comments provided by landscape architect attached
- Consider more variety in the play structures.
  JMM – Refer to plans and comments provided by landscape architect attached

End of comments
jmm

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2021-08-23

Donald V. S. Duncan
BA BLA BCSLA CSLA
LANDSCAPE ARCHITECT
Suite 603 – 220 11st Street, New Westminster, BC V3M 6N9
778-791-4323 dvsduncan@gmail.com

22 August 2021

Planning Department
City OF Maple Ridge
11995 Haney Place
Maple Ridge BC V2X 6A9

Re: DP 2018-255-RZ/DP – 12297 - 222 STREET / 22175, 22185 - 123 AVENUE

My thanks to the members of the Advisory Design Panel for entertaining and reviewing our submission. Having read the Panel's comments, some adjustments have been made to the design while other concerns of the panel are addressed below with a fuller explanation of existing design elements. The landscape responses are as follows, with the ADP comments shown in green:

• Provide more clarification on perimeter grades and relationship to neighbouring property;

While the southern portion of the site will be at or near the elevation of the adjacent roadways and the residential lot to the west, the grading relationships for the northern portion of the site is more complex both because of the adjacent ravines and because of the environmental protection areas. Three sections have been provided (see L3-10) to clarify these relationships. It is to be understood that the northern portion of the site is defined by ravines that meet at the north and continue along its western and eastern boundaries. These ravines have steep sides and are well forested. As such, they represent a considerable physical and visual barrier between the site and neighbouring properties.

• Provide terraced landscape retaining walls to soften the edges of the exposed parkade;

The exposed parkade condition occurs in the northern portion of the site. This condition is most notable at the northern extent of the parking structure. As noted above, this area is largely screened from adjacent residences. In addition to the forested ravines, a row of trees (on the development site) blocks views from the immediately adjacent residential property into the northern portion of the site and therefore blocks views of the parkade wall. As the screening vegetation consists of coniferous trees, the affect does not vary seasonally.

Notwithstanding this condition, a retaining wall has been added to the north west corner of the building to raise the grade at this location. Additional vine maples have also been added against the building wall along the western frontage as well.

The landscape on the eastern side of the parking structure is more constrained by tree protection considerations. At the northeast corner, the tree protection area reaches to the edge of the path, which is in turn immediately against the foundation wall. While this area would most benefit from terracing, any such works would compromise the integrity of the preserved trees. Moving southward there is a decreasingly need for terracing as the pathway and general landscape rise. As with the west side, this entire portion of the building is well screened by the wooded ravine to the east. And by existing trees on the development site.

• Provide removable bollards at the 123rd street let down in front of the garbage collection;

Bollards have been provided. (see L1-00)

• Consider to blend and expand the amenity area into the environmental setback;

An additional trail has been added to address the CPTED concerns expressed below. This will allow residents good views into the adjacent ravine and to circulate more freely. However, this trail may encourage excessive pedestrian intrusion into the protection area and is not recommended by the landscape architect or the environmental consultant.

• Maintenance path of the Westside of the building is hidden – provide a looping path or additional connections to the building to reduce CPTED concerns;

A loop trail has been added to address the concerns of entrapment. However, it should be noted that this area of site will be subject to significant levels of natural surveillance by the residential units above and will be generally populated by legitimate users. Illegitimate users tend to be behaviourally averse to locations with a single option for egress and may prefer the loop trail configuration. This, in combination the potential environmental impacts of this trail, would suggest its inclusion is marginally beneficial at best and potentially harmful on balance.

• Consider more variety in the play structures.

The design has not included features such as climbing structures and active play toys because of the limited area outside the environment setbacks. The need for fall-proofing play grounds makes them unsuitable for passive adult recreation and such a playground could easily occupy the majority of the available area. It is hoped that the play houses and the knotwork trail will provide an amenity area that can be enjoyed by all ages, engaging the imagination and offering the children to run in circles until they are quite exhausted.

It is my hope that this satisfactorily addresses the concerns of the Advisory Design Panel. It is the desire of this consultant and the developer to create a quality development that balances the needs of future residents, the community, and the environment as a whole. We thank the members of the committee for assisting us in this endeavour. Should clarification or further information be required, please do not hesitate to contact the sender.

Yours sincerely,

Donald V. S. Duncan
Landscape Architect

Introduction

"The purpose of life is to contribute in some way to making things better."[i]

The story of Simplex Meadows is, quite simply, a compelling narrative. Rooted in personal experience and sustained by conviction, this development project has the potential to make a qualitative and positive difference in the lives of hundreds of people. It has the potential to bring economic benefit to the city of Maple Ridge, as well as adding to the rich cultural fabric of the community. The purpose of this document is to take the reader through a thumbnail sketch of how *Simplex Meadows Development Corporation* has come to this moment. It would be the hope that the reader will find this to be an engaging and motivating story of service to those whom life is shared with.

I. Defined Struggles in Real Life

The first part of this discussion revolves around a real-life challenge for many people. The discovery of this challenge, and the response to it, are rooted in the personal experience of one individual who wanted to make a difference in this particular set of circumstances.

A. Personal Experience

While the establishment of the Simplex Meadows project in Maple Ridge is not limited to any particularly vulnerable group, there is one group of fellow citizens that are especially close to the heart of the proponent. Before addressing that in greater detail, it would be helpful to know the personal experience of the proponent. It defines much of the motivation and desire to be involved in the project.

Mr. Shahin Soheili is the *Managing Director* of *Simplex Meadows Development Corporation* and the driving moral force behind the establishment of this project in Maple Ridge. Mr. Soheili is driven by personal experience, particularly that which has been experienced by his own son. Sashah, who is now 24 years old and living with his family, struggles with issues related to autism. He is a delightful young man, managing to overcome many of his struggles through determination and goodwill. However, at the same time, his parents are very well aware of the struggles that he has faced in his short life. Mr. Soheili has observed his son deal with issues of perception and value in the greater society. The depth of this experience has been, at times, heartbreaking and very difficult to watch. Having said that, his instruction and example to his son, has been one of dogged determination and commitment to acting rightly. With this in mind, Sashah is committed to working hard, enjoying the various chosen activities of life and being responsible. This personal experience has impacted the future project that *Simplex Meadows Development Corporation* has been committed to for 3.5 years.

B. Expectations & Challenges with Respect to Housing re. Autistic Community

As established above, the autistic community is of particular interest to *Simplex Meadows Development Corporation*. The experience of life, plus exposure to this particular challenge, is of great interest. It is important to note that there are real and significant challenges for young adults in dealing with autism, none more so than housing. Although certainly not exhaustive, below are a number of reasons as to why this struggle is real.

- **Residential funding for disabled adults is hard to come by**. It's especially scarce for autistic adults who aren't intellectually disabled. If an IQ is over 70 or 75, the individual is assumed to be independent (unless there is a severe physical illness or disability, like blindness).[ii]
- **Group homes are hard to get into and may be of poor quality.** Like many adult programs, group homes depend upon governmental funding. In addition, staff and residents often change constantly.[iii]
- **Even bright, capable adults with autism can have problems dealing with unexpected challenges.** It's tough for autistic adults to plan ahead (ie. buying soap before needing it) manage emergencies (ie. power outage), and think through problems (ie. a clogged drain). It's often cheaper, smarter, and easier to stay with parents.[iv]

II. The Vision - Principles Guiding the Project

The desire to establish the Simplex Meadows building is rooted in the specific areas of meaningful response. As you are likely aware, between 45.2% of this proposed building will feature accommodation, noted as affordable, for the care of vulnerable people groups within the community of Maple Ridge. It is only with a motivating and responsible vision that a significant difference can be made within this community.

A. Response to a Known Issue

The first part of the principles guiding this project, is that the response is to a *known* issue. The personal experience of the proponent, with respect to autism in his own family, has given *Simplex Meadows Development Corporation* a very real benefit of first-hand knowledge. Thus, the reality of the struggle is a known issue and there is a very real conscience to respond rightly. Although the building is expected to be able to deal with people who have a typically broad scope of issues, this particular issue is the primary impetus for responding in a timely fashion. This response to the related issues is not a "shot in the dark."

B. Response with a Practical Application

The second part of this response is that it comes with a very practical application for the needs of people in the community. Particularly, while there are many good ways of building into the lives of those with developmental disabilities, *Simplex Meadows Development Corporation* can't think of a more practical response that would bring real benefit than to provide affordable accommodation. The struggle for affordable accommodation impacts a great portion of our society in the Lower Mainland and it is believed that this project can help alleviate the related struggles for many. Thus, with greater resources available to help, the human suffering that is experienced can be dealt with in this context. It is, literally and figuratively, a concrete response of a practical nature to a real need. While others can put forward ideas with great merit, this partnership would bring about significant care for those in need, and is a very real, tangible response.

III. Key Relationships - Values Applied to the Project

The third dynamic of this story boils down to the collective values of this company. Specifically, a key value for *Simplex Meadows Development Corporation* is found in recognizing vital and healthy relationships. *Simplex Meadows Development Corporation* believes that relationships are the greatest single tool to bring goodness into the lives of other people. In this respect, there are 2 particular relationships that should be noted.

A. Milieu Family Services

The relationship with Milieu Family Services was established, once again, out of the personal experience of our *Managing Director*. As part of the care of Mr. Soheili's son, MFS was engaged to support Sashah as a young adult. MFS is local a social service agency, contracted by the provincial government, to deal with real and existing challenges in the lives of people with developmental disabilities. The autistic community is one that has been particularly susceptible to these needs and MFS has graciously responded with expertise and encouragement. Safe housing and employment are key goals for MFS and they have been very helpful in caring for many in our greater community. In conversation with MFS, Mr. Soheili discovered that there was a severe and significant shortage of affordable housing ages 21 to 35. If it is true that necessity is the mother of invention, then it would certainly be applicable in this situation! Mr. Soheili was moved to create a response to this key relationship. At this time there is a principled, committed understanding that exists between *Simplex Meadows Development Corporation* & MFS. It is envisioned that MFS will, as the preferred vendor, provide support services to those within the Maple Ridge campus, as well as having an office within the building. *Simplex Meadows Development Corporation* is also open to further such relationships with similar organizations.

In this same vein of important relationships, it is vital to note that the establishment of this project is a joint venture between the *Simplex Meadows Development Corporation*, the federal government (Canadian Mortgage and Housing Corporation), as well as the City of Maple Ridge. The role of the latter is in assisting to develop the property and building to appropriate standards. This project can be best described as a "public - private – partnership (3P)" as it goes into the future.

B. Interactive Community

The second part of the key relationships in the vision of *Simplex Meadows Development Corporation* is that there will be a healthy and meaningful interaction of those with disabilities and challenges, to come along side of the differently abled population. It has been noted that often there can be an ostracization that occurs for people with special needs, from the population at large. *Simplex Meadows Development Corporation* offers an opportunity for people with disability to live within an interactive community. The company sees this as an opportunity for a mixing that would be both encouraging and beneficial for the community at large.

IV. The Project & Property - A Place to Call Home

The fourth part of the Simplex Meadows story is, simply put, about a place to call home. The desire of the company is not simply to provide an attractive building, but to provide a space that is helpful for individuals to have a sense of secure environment, toward a healthy manner of living. In this respect there are a couple of key points that deserve review.

A. Safely, Serviced Location

Simplex Meadows Development Corporation views this geographical space as a virtually "perfect fit" for the needs of the residents, as well as the benefit of the community. Why? As part of the funding criteria by CMHC, there are certain qualifications that must be met, many of which include community services and opportunities for the residents of the proposed building. In the process of evaluation, it was discovered that this location actually supersedes the minimum needs as drawn up by CMHC. The proximity to the downtown location means a more than adequate supply of needed services for the residents. Part of making this project and property a place to call home is found in the immediate and supportive services that are required.

B. Contributing to Community

In establishing this interactive community, it is the desired goal of *Simplex Meadows Development Corporation* to see residents, of all abilities, contributing to the greater Maple Ridge community. This means healthy interaction with the commercial interests

of the community, as well as being contributors to community groups and other supportive services in the area. At the core of the Simplex Meadows experience is the belief that a kinder, compassionate, gentler community can be experienced by all. It is the experience of the proponent that healthier, informed relationships can develop, when people come together from different backgrounds to share in the journey of life.

V. The Moral of the Story

A. Doing the Right Thing

In bringing the story of the establishment of Simplex Meadows to conclusion, it should be pointed out that there is a "moral to the story." The experience of the proponent has been expanded upon above as a key dynamic, but the greater motivation for this project is rooted in the desire of each company member to, "... do the right thing." It has been obvious that there is potential to remedy real problems that could be addressed through creative thinking and responses. The perspective of the company shareholders, along with staff, is that this project is a moral act, at its core. This reality is something that can be encouraged, and built upon in the life of any community. A conviction of good works is often what will carry a project like this to positive conclusion.

B. Long Term Legacy

Furthermore, in this regard, there will be a long-term legacy received, both for the company, as well as the community of Maple Ridge. By way of explanation, there are covenants which govern the CMHC funding of the project. These covenants, imposed upon the company as a condition of financing, creates a long-term commitment to affordable housing for vulnerable communities. Therefore, this is not a "here today and gone tomorrow" type of project. It is a project that will have a positive, long-term impact upon the community and provide a significant tax base, as well.

There is only so much that can be communicated through the written word! There is so much more to this story but space limits the expression of that. *Simplex Meadows Development Corporation* would invite you to engage company staff to hear more about the process that this project has engaged in for the last 3.5 years. Please feel free to ask any questions that could be helpful to this process.

Managing Director:	Shahin Soheili (shahin@simplexmeadows.com)
Director of Administration:	Teresa Desouza (accounts@simplexmeadows.com)
Director of Community Liaison:	Phil Wheaton (philip@simplexmeadows.com)

"To serve is beautiful, but only if it is done with joy and a whole heart and a free mind."[v]

NOTES:

[i] Quote: Robert F. Kennedy; *To Seek a Newer World, 1967*
[ii] Top Ten Facts About Adult Autism; *https://www.verywellhealth.com/top-10-facts-about-adult-autism-4140671*
[iii] Top Ten Facts About Adult Autism; *https://www.verywellhealth.com/top-10-facts-about-adult-autism-4140671*
[iv] Top Ten Facts About Adult Autism; *https://www.verywellhealth.com/top-10-facts-about-adult-autism-4140671*
[v] Quote: Pearl S. Buck; *The Good Earth, 1931*

MAPLE RIDGE
British Columbia
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City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2019-268-RZ
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **First and Second Reading**
Official Community Plan Amending Bylaw No. 7796-2021;
Second Reading
Zone Amending Bylaw No. 7584-2019
22340 & 22328 St Anne Avenue and 11654 & 11664 223 Street

EXECUTIVE SUMMARY:

An application has been received to develop a four-lot site located at 22340 and 22328 St Anne Avenue and 11654 and 11664 223 Street. This project was changed over time as follows:

- Original Proposal: 5-storey, 99 apartment unit residential only building under RM-1 zoning was deferred at first reading during the October 29, 2019 Council meeting, in favor of a mixed use project by adding ground level commercial space;
- Revised Proposal: 6 storey, 111 apartment units and 568 square metres (6,115 square feet) of office space building under RM-1 zoning with a site specific text amendment for the office use given first reading on March 24, 2020; and
- Current Detailed Proposal: the same 6 storey, 111 apartment units and 535.46 square metres (6,115 square feet) office and retail building under CD-3-21 Medium Density CRM Commercial/Residential Zone ("CD Zone"). The CD zone is based on the CRM Commercial/Residential Zone ("CRM Zone"), and with more flexible parking calculations to accommodate the mixed use proposal. This CD Zone also incorporated requested height and setbacks; therefore, a Development Variance Permit Application is no longer required.

Therefore, the application now before Council is to rezone the four subject properties from C-3 (Town Centre Commercial), RS-1 (One Family Urban Residential) to a CD Zone for a mixed use development with 111 apartment units and 535.46 square metres (6,115 square feet) office and retail space.

Council granted first reading to Zone Amending Bylaw No. 7584-2019 and considered the early consultation requirements for the Official Community Plan (OCP) amendment on March 31, 2020. Official Community Plan Amending Bylaw No. 7796-2021 is required to change the maximum height restriction from 5 to 6-storeys in the Official Community Plan Policy 3-38 for sites designated Low-Rise Multi-Family apartment, Commercial, and Mixed-Use in Port Haney. With this text amendment, the project complies with the Official Community Plan.

Pursuant to Council policy, this application is subject to the Community Amenity Contribution Program at a rate of ($3,100 per apartment dwelling unit), for an estimated amount of $344,100.

Contributions for Density Bonus and In-lieu Parking are triggered by the application.

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RECOMMENDATIONS:

1. That, in accordance with Section 475 of the *Local Government Act,* opportunity for early and on-going consultation has been provided by way of posting Official Community Plan Amending Bylaw No. 7796-2021 on the municipal website and requiring that the applicant host a Development Information Meeting (DIM), and Council considers it unnecessary to provide any further consultation opportunities, except by way of holding a Public Hearing on the bylaw;

2. That Official Community Plan Amending Bylaw No. 7796-2021 be considered in conjunction with the Capital Expenditure Plan and Waste Management Plan;

3. That it be confirmed that Official Community Plan Amending Bylaw No. 7796-2021 is consistent with the Capital Expenditure Plan and Waste Management Plan;

4. That Official Community Plan Amending Bylaw No. 7796-2021 be given first and second readings and forwarded to Public Hearing;

5. That Zone Amending Bylaw No. 7584-2019 be given second reading as amended, and forwarded to Public Hearing;

6. That the following terms and conditions be met prior to final reading:

    i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;

    ii) Approval from the Ministry of Transportation and Infrastructure;

    iii) Amendment to Official Community Plan Schedule "A", Chapter 10.4 Town Centre Area Plan, 3.3 Land Use Designations, Low-Rise Apartment policies;

    iv) Consolidation of the subject properties;

    v) Submission of a Traffic Impact Assessment (TIA);

    vi) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;

    vii) Registration of a Restrictive Covenant for protecting the Visitor Parking;

    viii) Registration of a Restrictive Covenant for protecting and maintaining the public art;

    ix) Registration of a Restrictive Covenant for Stormwater Management, including Maintenance Guidelines for any Tier 1 requirements;

    x) Removal of existing buildings;

    xi) In addition to the site profile, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.

xii) **Payment for approximately nine parking spaces through the Payment In-lieu Option in the Off Street Parking and Loading Bylaw;**

xiii) **Payment of a bonus density contribution for approximately 998.3 sq. m. of residential floor area (at a rate of $161.46 per sq. m.) totaling $161,185.52;**

xiv) **That a voluntary contribution, in the amount of $344,100 ($3,100/unit times 111 units) be provided in keeping with the Council Policy with regard to Community Amenity Contributions.**

DISCUSSION:

1) **Background Context:**

Applicant:		Nasir Ghuman
Legal Description:		Lot 21 Block 6 District Lot 398 Group 1 NWD Plan 155; Lot 22 Block 6 District Lot 398 Group 1 NWD Plan 155; Lot B District Lot 398 Group 1 NWD Plan 16366; Lot C, Except Part in Plan LMP14886, District Lot 398 Group 1 NWD Plan 16366;
OCP:		
Existing:		Port Haney Multi-Family, Commercial and Mixed-Use
Proposed:		Port Haney Multi-Family, Commercial and Mixed-Use
Within Urban Area Boundary:		Yes
Area Plan:		Town Centre Area Plan
OCP Major Corridor:		No
Zoning:		
Existing:		C-3 (Town Centre Commercial) and RS-1 (One Family Urban Residential)
Proposed:		CD-3-21 (Medium Density CRM Commercial/Residential)
Surrounding Uses:		
North:	Use:	Residential (Apartment and Turnock Residence)
	Zone:	Maple Ridge Heritage Designation and Revitalization and Tax Exemption Agreement Amending Bylaw No. 7306-2016
	Designation:	Port Haney Multi-Family, Commercial and Mixed-Use
South:	Use:	Residential
	Zone:	C-3 (Town Centre Commercial)
	Designation:	Port Haney Multi-Family, Commercial and Mixed-Use
East:	Use:	Residential
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Port Haney Multi-Family, Commercial and Mixed-Use
West:	Use:	Vacant and Haney Bypass
	Zone:	RS-1 (One Family Urban Residential)
	Designation:	Port Haney Multi-Family, Commercial and Mixed-Use
Existing Use of Property:		Residential
Proposed Use of Property:		Commercial and Residential

Site Area:	3,230 sq. m. (0.8 acres)
Access:	Lane (between St. Anne and Callaghan Avenues)
Servicing requirement:	Urban Standard
Companion Applications:	2019-268-DP and 2019-268-VP

2) Background:

This application was introduced to Council on October 22, 2019, but was deferred pending staff discussions with the applicant to add ground level commercial floor space on St. Anne Avenue. On March 24, 2020, a revised proposal with ground level office space, was presented to Council. Originally, the proposal was an apartment building with 99 units. The revised proposal is for approximately 535.46 square metres (6,115 square feet) office and retail at the ground level and 111 apartment units. With the full submission being made, the proposed CD Zone based on the CRM Zone better reflects and accommodates the mixed-use proposal Council directed the applicant to pursue.

3) Project Description:

The revised proposal is for a six-storey, 111-unit apartment building with 535.46 square metres (6,115 square feet) office and retail at the ground level.

The proposed unit breakdown is:

Bachelor units	6 (5%)
1 bedroom units	52 (47%)
2 bedroom units	43 (39%)
3 bedroom units	10 (9%)
Total	**111 Apartment Units**

This provides a range of unit types. The increase in the number of units from the initial proposal, together with the ground level offices, will add vibrancy to the Port Haney area and increases the number of people residing in proximity to the West Coast Express station.

There will be one and a half levels of parking for residents and customers as described in the Planning Analysis section. One driveway ramp off the lane between St. Anne and Callaghan Avenue will provide vehicular access to the parkade (Appendix E).

4) Planning Analysis:

i) Official Community Plan:

The development site is located within the Port Haney and Fraser River Waterfront Area of the Town Centre Area Plan. The site is designated *Port Haney Multi-Family, Commercial and Mixed-Use* with the proposed use and density is complying with this designation.

This project will achieve a number of Town Centre Plan policies including:

- ***Policy 3-10*** *Land assembly or lot configuration in conjunction with development... should meet conditions (that)... remaining land parcels are left in a configuration and lot area which are suitable for future development...*

This project effectively assembles four lots into a site suitable for development. The lands abutting to the east involve a separate independent development site already approved (2017-161-RZ). These projects effectively fit together and follow an orderly land assembly pattern for developments being encouraged by this policy.

- ***Policy 3-15*** *Concealed parking structures are encouraged in all commercial, mixed-uses... in the Town Centre. Above-grade concealed parking structures should be designed in such a manner that the pedestrian realm, streetscape façade... is not impaired.*

- ***Policy 3-36*** *Parking is encouraged to be accessed from a rear lane or side-street, wherever feasible.*

- ***Policy 3-40*** *Within a Mixed-Use development, retail, service, and entertainment uses shall be encouraged at-grade with office and residential uses encouraged above-grade.*

These policies are being considered together.

Parking is designed to be accessed from the lane as stipulated in Policy 3-36. However, there is a portion of the parking structure that is elevated where the grade drops to the corner. Care has been taken with architectural and landscaping details to be sensitive to the streetscape and not to impair the pedestrian realm as advocated in Policy 3-14 by:

- Incorporating terraced landscaping toward the street;
- Integrating a ramp system for safe access to storefronts for all pedestrians, including the disabled; and
- Working with the City's Public Art Steering Committee to accommodate a major public art element at the corner and creating a "Sense of Place" at the corner of St. Anne Avenue and 223 Street that aligns with Policy 3-39 to create "a connection in between the Fraser River waterfront and the Port Haney area..."

With respect to Policy 3-38 of the *Port Haney Multi-family, Commercial Use and Mixed-use Area*, the architectural form to accommodate the ground level commercial area and the residential units this displaced, requires this policy to be adjusted. The policy states the height of structures in this area should be in the range of 3 to 4 storeys; however, the six-storey structure is needed for the commercial floor space and the residential floor space allowed by the additional bonus density provision.

The justification is that adding storefront enhances the pedestrian environment on St. Anne Avenue, the attractive building design, ample open space (including a roof top open space) and the healthy range of unit types. This OCP amendment is the same as for other instream applications responding to market conditions and seeking to construct 6-storey buildings in this designation.

Changing the restriction from 4 to 6 storeys in the OCP Policy 3-38 would mean all sites designated *Low-rise Multi-Family Apartment, Commercial, and Mixed-Use in Port Haney*, would be entitled to the additional storey. Therefore, the following text amendment (see underlined text) is proposed to Policy 3-38 in the Town Centre Area Plan:

> **Policy 3-38** Low-rise Multi-Family apartment, Commercial, and Mixed-Use in Port Haney should be a minimum of three (3) storeys and a maximum of four (4) storeys in height, with at least 90% of required parking provided underground. <u>In instances where it is</u>

demonstrated that shadowing, neighbourhood character, view obstruction and other negitive impacts are sufficiently mitigated, the height may be increased to six (6) storeys.

The applicant has demonstrated through the revised, detailed plans submitted and through the review by the Advisory Design Panel, that the proviso is achieved and Council may entertain a six (6) storey structure when a development permit application is considered later in the process.

ii) Zoning Bylaw:

The subject site is located at 22340 & 22328 St. Anne Avenue and 11654 & 11664 223 Street. Upon rezoning, it will be subject to a CD Zone to be established by Zone Amending Bylaw No. 7584-2019.

The following presents the main provisions of the proposed CD Zone and analyses project compliance:

- **Density:** The density of the proposed development complies with the new CD Zone regulations respecting residential floor space as follows:

Regulation	Permitted (Floor Space Ratio)	Proposed (Floor Space Ratio)
Base Density	1.4	1.4
Density for 90% underground residential parking,	0.2	0.2
Density for all underground parking, including Commercial parking, excluding visitor parking.	0.2	0.2 (all parking concealed)
Density through a cash contribution at a rate of $161.46 per square metres (Density Bonus)	0.6 (Maximum)	0.57

Maximum permitted	2.4
Proposed	2.37

This bonus floor space of 0.57 FSR represents 998.3 sq. m. of floor space achievable through the Bonus Density payment of $161,185.52.

- **Setbacks:** The project complies with the setbacks of the CRM regulations incorporated to the CD Zone. Due to the east lot line being the rear lot line, the CD Zone as adjusted the setback from 6.0 metres to 4.7 metres. This reduced setback allows for a generally continuous pedestrian environment with storefronts with future projects to the east.

- **Height:** The CRM Zone permits a maximum height of 15 metres; however, to accommodate the commercial floor and dwelling units displaced to additional floors, the proposed building height is 19.4 metres, which the CD Zone reflects.

- **Amenities:** Common Open Areas on the site include space on the roof of the underground parking structure and residential building. The minimum requirement of 5% of the lot area is more than achieved. The Indoor amenity space is 100.5 sq. m.; however, 1.0 sq. m. per dwelling unit or 111 sq. m. is required. Private outdoor space (e.g. patios and balconies) are also required, and will be calculated by the applicant for the Development Permit.

- **Other Regulations:** The Residential Use and the Commercial Use regulations in the CD Zone contain provisions to keep these uses separated, provide separate lobbies, and require a minimum of 25% of the lot area to be commercial floor space. These will be verified, adjusted or identified as variances as necessary in future Council reports.

iii) **Off-Street Parking and Loading Bylaw:**

The underground parking structure provides parking spaces for both the residential and non-residential uses proposed on the subject development properties. The parking breakdown is as follows:

Residential	111 residential parking spaces are required and provided (1.0 space per residential unit)
Visitor	23 visitor parking spaces are required; however, 14 (111 units x 0.2 spaces per residential unit) are provided. The applicant wishes to utilize the Payment-in-lieu Option for 9 visitor parking spaces
Office	18 commercial parking spaces are required and provided
TOTAL	152 parking spaces required 143 parking spaces provided

As noted in the above table, the applicant is seeking to employ the Payment-In-Lieu Option in Section 3.4 of the Off-Street Parking and Loading Bylaw. The shortfall is nine parking spaces. The current rate of $8,000 per space continues to apply to this in-stream application. The resulting In-Lieu payment of $72,000 will be required prior to final reading

iv) **Proposed Variances:**

A Development Variance Permit is not required for this project because the variances to the typical CRM Zone regulations being requested by the applicant have been incorporated into the proposed CD Zone Bylaw.

v) **Development Permits:**

Pursuant to Section 8.11 of the OCP, a Town Centre Development Permit application is required for all multifamily residential, flexible mixed use and commercial development located in the Town Centre.

vi) **Advisory Design Panel:**

The application was reviewed by the Advisory Design Panel (ADP) at a meeting held on May 19, 2021 and their comments and the applicant's responses can be seen in Appendix F.

A detailed description of the projects form and character will be included in a future development permit report to Council.

vii) **Development Information Meeting:**

An opportunity for public input as part of a Development Information Meeting process was held between November 9 and 19, 2021. The report provided by the applicant about the number

people participating, a summary of the main comments and how they were addressed, is attached as Appendix G.

5) Interdepartmental Implications:

i) Engineering Department:

A Rezoning Servicing Agreement will be required to address civil upgrading works and to determine fees and securities to be collected.

ii) License, Permits and Bylaws Department:

A preliminary review of the proposed development was conducted by Building staff that could affect form and character. The comments were provided to the applicant and will be reflected as required in the development permit plans to be submitted for Council approval at a later date.

iii) Fire Department:

The Fire Department has no comments with respect to the rezoning. Comments will be provided with respect to safety and security during the building permit stage.

6) School District No. 42 Comments:

Pursuant to Section 476 of the *Local Government Act*, consultation with School District No. 42 is required at the time of preparing or amending the OCP. A referral was sent to School District No. 42 on October 20, 2021.

7) Intergovernmental Issues:

i) Ministry of Transportation and Infrastructure

As the subject properties are located within 800 metres of the Lougheed Highway, a referral has been sent to the Ministry of Transportation and Infrastructure.

Ministry approval of the Zone Amending Bylaw will be required as a condition of final reading. At this time, preliminary approval of the development application is being pursued with the Ministry.

ii) Local Government Act:

An amendment to the OCP requires the local government to consult with any affected parties and to adopt related bylaws in compliance with the procedures outlined in Section 477 of the *Local Government Act*. The OCP text amendment required for this application, is considered to be minor in nature. It has been determined that no additional consultation beyond existing procedures is required, including referrals to the Board of the Regional District, the Council of an adjacent municipality, First Nations, the School District or agencies of the Federal and Provincial Governments.

The amendment has been reviewed with the Financial Plan/Capital Plan and the Waste Management Plan of the Greater Vancouver Regional District and determined to have no impact.

8) Citizen/Customer Implications:

An opportunity for public input was provided through the Development Information Meeting period conducted by the applicant. No further consultation was deemed necessary, other than a Public Hearing following second reading being granted.

CONCLUSION:

It is recommended that first and second reading be given to OCP Amending Bylaw No. 7796-2021, that second reading be given to Zone Amending Bylaw No. 7584-2019, and that application 2019-268-RZ be forwarded to Public Hearing.

"Original signed by Mark McMullen" for

Prepared by: **Adrian Kopystynski MSc, MCIP, RPP, MCAHP**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

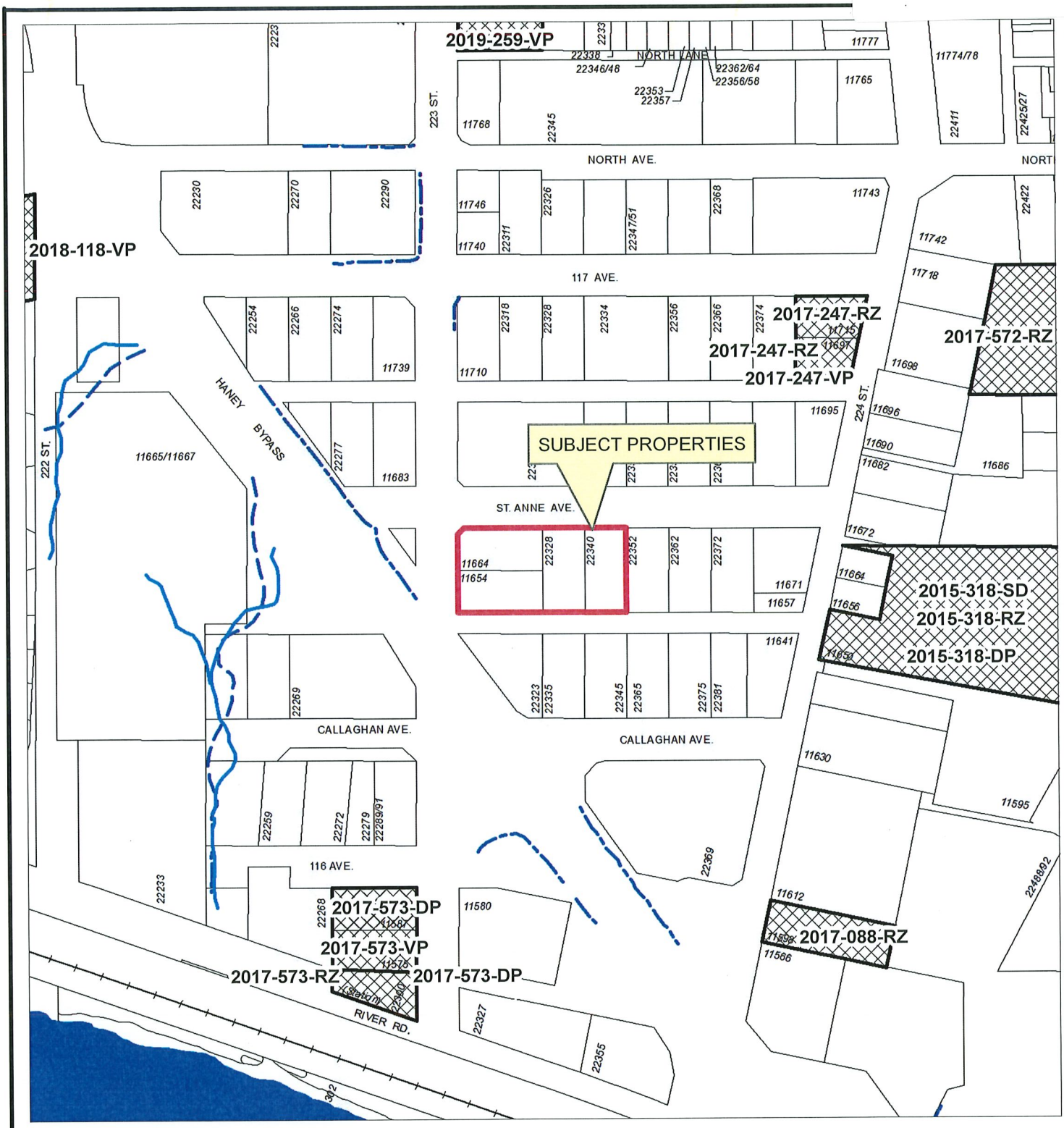
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – OCP Amending Bylaw No. 7796-2021
Appendix D – Zone Amending Bylaw No. 7584-2019
Appendix E – Site, Architectural and Building Elevation Plans
Appendix F – ADP design comments
Appendix G – DIM Comments

APPENDIX A



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Legend

- Stream
- Ditch Centreline
- Edge of River
- Indefinite Creek
- River
- Major Rivers & Lakes
- Active Applications (RZ/SD/DP/VP)

11654/64 223 STREET
PID'S: 010-166-203, 005-765-030
22328/40 ST. ANNE AVENUE
PID'S: 011-539-739, 011-539-712

PLANNING DEPARTMENT

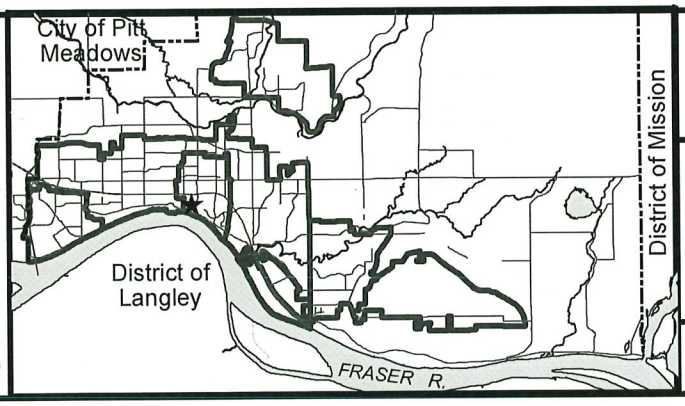
MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2019-268-RZ
DATE: Jul 30, 2019
BY: PC

APPENDIX B

N

Scale: 1:2,500



11654/64 223 STREET
PID'S: 010-166-203, 005-765-030
22328/40 ST. ANNE AVENUE
PID'S: 011-539-739, 011-539-712

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2019-268-RZ
DATE: Jul 30, 2019
BY: PC

CITY OF MAPLE RIDGE

BYLAW NO. 7796-2021

A Bylaw to amend the Official Community Plan

WHEREAS, the Local Government Act empowers a local government to adopt or amend an Official Community Plan;

AND WHEREAS, it is deemed desirable to amend Schedule "A" to the Official Community Plan;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This Bylaw may be cited for all purposes as "Maple Ridge Official Community Plan Amending Bylaw No. 7796-2021".

2. That Section 10.4 Town Centre Area Plan, 3.3 Land Use Designations, Low-Rise Apartment policies be amended by adding to the existing policy 3-22 the following sentence:

   In instances where it is demonstrated that shadowing, neighbourhood character, view obstruction, and other negative impacts are sufficiently mitigated, the height may be increased to six (6) storeys.

3. Maple Ridge Official Community Plan Bylaw No. 7060-2014 as amended is hereby amended accordingly.

READ A FIRST TIME the day of , 2021.

READ A SECOND TIME the day of , 2021.

PUBLIC HEARING HELD the day of , 2021.

READ A THIRD TIME the day of , 2021.

ADOPTED, the day of , 2022.

PRESIDING MEMBER

CORPORATE OFFICER

CITY OF MAPLE RIDGE
BYLAW NO. 7584-2019

A Bylaw to amend Map "A" forming part of Zoning Bylaw No. 3510 - 1985 as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended;

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7584-2019."

2. Maple Ridge Zoning Bylaw No. 3510-1985 is hereby amended by inserting the following CD Zone immediately following the last section in Part 10 and numbering it in sequential order accordingly:

10XX Zone CD-3-21 MEDIUM DENSITY CRM COMMERCIAL/RESIDENTIAL

10XX.1 PURPOSE

1. This Zone provides for a mix of Commercial and Residential Uses with a maximum of six (6) Storeys in the Port Haney and Fraser Waterfront Area with potential negative impacts on adjacent lands and streets are sufficiently mitigated.

10XX.2 PRINCIPAL USES

1. The following Principal Uses shall be permitted in the Zone:
   a. Apartment Residential;
   b. Assembly;
   c. Bed and Breakfast;
   d. Civic;
   e. Financial Services;
   f. Group Housing Residential;
   g. Indoor Commercial Recreation;
   h. Licensee Retail Store;
   i. Liquor Primary Establishment;
   j. Park and School;
   k. Personal Repair Services;
   l. Personal Services;
   m. Place of Worship;
   n. Private Hospital;
   o. Professional Services;
   p. Restaurant;
   q. Retail, excluding Highway Commercial; and
   r. Tourist Accommodation.

10XX.3 ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
   a. Boarding
   b. Home Occupation
   c. one or two Dwelling Units; and
   d. Outdoor Display or sales area.

2. Refer to Sections 401 and 402 of this Bylaw for additional information.

10XX.4 LOT AREA and DIMENSIONS

1. Minimum Lot Area and dimensions shall be not less than:
   a. in Lot Area 668.0 square metres
   b. in width 18.0 metres
   c. in depth 27.0 metres.
2. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

10XX.5 DENSITY

1. The Apartment Residential Floor Space Ratio shall not exceed a Base Density of 1.4 times the Lot Area.
2. Additional Apartment Residential Floor Space ratio of up to 1.0 times the Lot Area may be obtained with the following provisions:
   a. An amount equal to 0.2 times the Lot Area may be added to the Floor Space Ratio for providing a minimum of 90% of the required Residential parking spaces in an Underground Structure for parking;
   b. An additional amount equal to 0.2 times the Lot Area may be added to the Floor Space Ratio for providing all of the parking spaces, excluding visitor parking spaces, in an Underground Structure for parking; and
   c. for Lots located within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw or Designated as "Major Corridor Residential" in the Maple Ridge Official Community Plan Bylaw No. 7060-2014 (as identified in Chapter 3 and Figure 4 of the Maple Ridge Official Maple Ridge Zoning Bylaw No. 7600-2019 Part 6 - Page 6-53 Residential Zones Community Plan Bylaw No. 7060-2014), an amount not to exceed 0.6 times the Lot Area may be added to the Floor Space Ratio for providing a cash contribution at a rate of $161.46 per square metres ($15.00 per square foot) as a Density Bonus. Refer to Section 402 (Density Bonus for Town Centre Area and Major Corridor Residential) of this Bylaw.
3. For a maximum Apartment Residential Floor Space Ratio of 2.4.
4. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

10XX.6 LOT COVERAGE

1. All Principal Buildings and Principal Structures and Accessory Buildings and Accessory Structures together shall not exceed a Lot Coverage of 90% except:
   a. the Lot Coverage may be 100% where all the required parking is provided in accordance with Section 707.10 of this Bylaw and in accordance with Part 3 (Off-Street Parking Requirements) of the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.

10XX.7 SETBACKS

1. Minimum Setbacks for all Buildings and Structures shall be not less than:
   a. from a Front Lot Line 4.9 m metres
   b. from a Rear Lot Line 4.7 metres.
   c. from an Interior Side Lot Line 4.6 metres
   d. from an Exterior Side Lot Line 3.7 metres

2. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

10XX.8 HEIGHT

1. Building Height for a Building or Structure shall not exceed 19.4 metres.

10XX.9 LANDSCAPING and LOADING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw

10XX.10 PARKING and LOADING

1. Off-Street Parking and Off-Street Loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.
2. An Off-Street Parking Use shall be sited to the rear of a Building, be concealed within a Building or be located in an Underground Structure.

10XX.11 OTHER REQUIREMENTS

1. A Residential Use shall:
   a. be the only Use in a Storey so Used;
   b. for one or two Dwelling Units, be limited exclusively to the Storeys above the First Storey;
   c. be located within a Building above all Storeys which are used for a nonResidential Principal Use;
   d. provide a separate and independent access from the ground floor front elevation if located together in a Building or Structure with other Uses except that on a corner Lot access may be from the ground floor exterior side elevation;
   e. be permitted only where all parking for Residential Use is Concealed Parking;
   f. provide Common Open Area(s) on the Lot for Apartment Residential Use as a minimum of 5.0% of the Lot Area and which may be provided as balconies, terraces, patios, Rear Yards, courtyards or roof decks;
   g. provide Indoor Amenity Area(s) based on the following ratio:
      (i) 1.0 square metres per apartment Dwelling Unit; and
   h. provide Private Outdoor Area(s) for each Dwelling Unit as a minimum of 5.0% of the Dwelling Unit area or 4.6 square metres, whichever is greater.
2. An Off-Street Parking Structure occupying the rear 6.0 metres of the Lot shall be entirely covered by a Landscaped recreation or amenity deck.
3. A Commercial Use shall:
   a. have a minimum of 90% of the Lot Frontage on the ground floor developed for Uses permitted in this Zone, other than parking, unless the Frontage is used for public pedestrian access or public vehicular access; and
   b. provide a minimum of 25% of the Lot Area for a Commercial Use on the ground floor.

3. Those parcels or tracts of land and premises known and described as:

Lot 21 Block 6 District Lot 398 Group 1 New Westminster District Plan 155;
Lot 22 Block 6 District Lot 398 Group 1 New Westminster District Plan 155;

Lot B District Lot 398 Group 1 New Westminster District Plan 16366;
Lot C, Except Part in Plan LMP14886, District Lot 398 Group 1 New Westminster District Plan 16366;

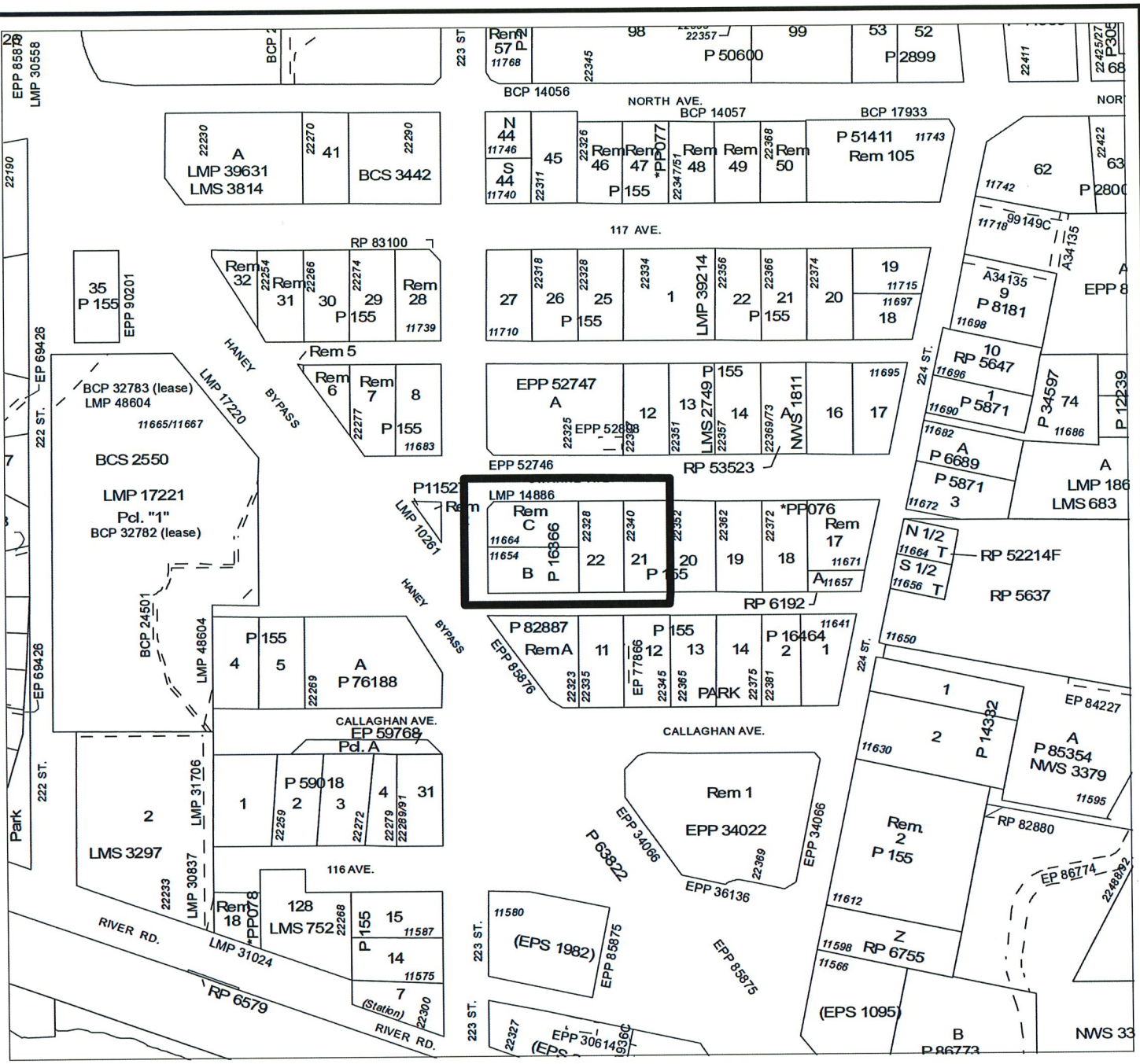
and outlined in heavy black line on Map No. 1812 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to CD-3-21 (Medium Density CRM Commercial/Residential).

3. Maple Ridge Zoning Bylaw No. 3510 - 1985 as amended and Map "A" attached thereto are hereby amended accordingly.

READ a first time the 31st day of March, 2020.
READ a second time the day of , 20.
PUBLIC HEARING held the day of , 20
READ a third time the day of , 20
APPROVED by the Ministry of Transportation and Infrastructure this day of , 20
ADOPTED, the day of , 20

PRESIDING MEMBER

CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7584-2019

Map No. 1812

From: C-3 (Town Centre Commercial)
RS-1 (One Famiy Urban Residential)

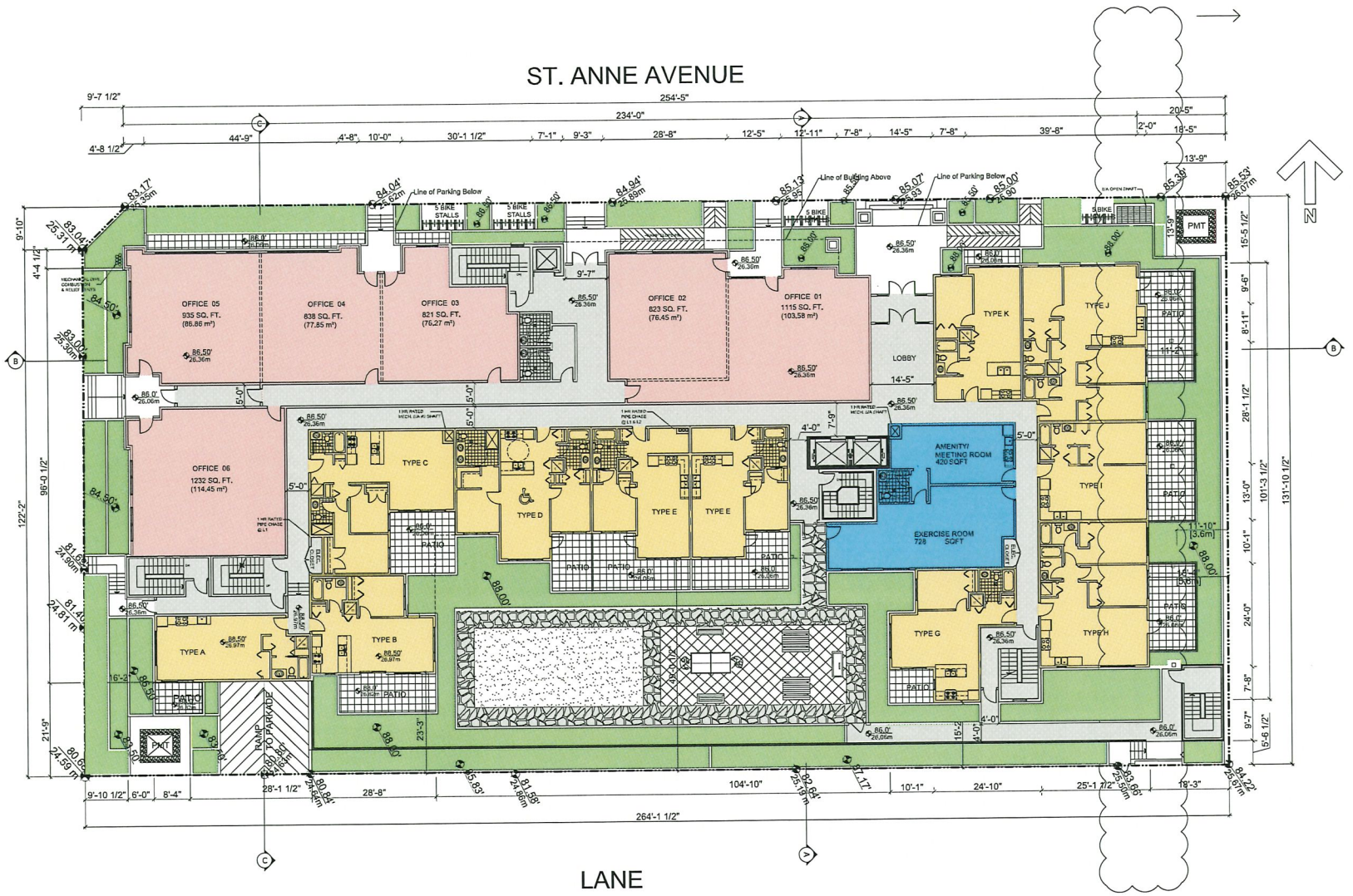
To: CD-3-21 (Comprehensive Development)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500

Set back reduced by 1'6"



1ST FLOOR PLAN

F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@multigonfadab.com

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2	JULY-19	REVISED FOR REZONING APPLICATION
1	MAY-19	ISSUED FOR PRELIMINARY REVIEW

PROJECT TITLE:
11654, 11664 223RD ST &
22328, 22340 ST ANN AVE
MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT INC
8221 157TH STREET
SURREY B.C.
V4N 0S2

DRAWING TITLE:
1ST FLOOR PLAN

DATE:	May-19
SCALE:	NTS
DESIGN:	FA.
DRAWN:	A.A.
PROJECT NO:	0907
SHEET	A-

APPENDIX E

PROJECT STATISTICS

PROJECT DATA:

LEGAL DESCRIPTION :
LOT 21 AND LOT 22 BLOCK 6 DL 398 GP1 NWD PLAN 155 &
LOT "B" AND LOT "C" DL 398 GP1 NWD PLAN 16366

CIVIC ADDRESS :
11654, 11664 223RD STREET
22328, 22340 ST ANNE AVENUE
MAPLE RIDGE, BC

ZONING:
EXISTING: C-3 AND RS1
PROPOSED: CD- BASED ON CRM WITH VARIANCE

SITE AREA:
34794.88 SQ.FT (3232.55 SQ.M.)=0.8 ACRE

BUILDING HEIGHT:
PROPOSED: 6-STOREY

PARKING CLACULATION		
~~Retail~~ ~~OFFICE~~	REQUIRED	1 SPACE FOR EVERY 30 SQ.M. : (535.46 SQ.M. / 30 SQ.M) = 17.83
	PROVIDED	18
RESIDENTIAL	REQUIRED	1.0 STALL/UNITS (1.0*111=111 STALLS) TOTALL. : 111
	PROVIDED	111
ELECTRIC CARCHARGING STATIONS	REQUIRED	-
	PROVIDED	10
RESIDENTIAL VISITORS	REQUIRED	0.2/PER UNITS (0.2*111=22.2)
	PROVIDED	14
ACCESSIBLE STALLS	REQUIRED	3 SPACES FOR 126-200 STALLS
	PROVIDED	5
Total Variance Requested For Parking Stalls		10

SETBACKS	FIRST FLOOR	SECOND FLOOR	THIRD-FIFTH FLOOR	SIXTH FLOOR
	PROVIDED (Average)	PROVIDED (Average)	PROVIDED (Average)	PROVIDED (Average)
EAST (NEIGHBOUR)	3.6 M	3.6 M	3.6 M	3.6 M
SOUTH (223 ST.)	9.8 M	9.9 M	9.9 M	9.9 M
WEST (223 ST.)	3.3 M	5.4 M	5.4 M	6.4 M
NORTH (ST. ANNE)	3.4 M	5.7 M	5.7 M	6.9 M

OPEN SPACE		
REQUIRED	20%	6958 SQFT
PROVIDED	40%	13918 SQFT

AMENITY			
REQUIRED	111 SQM (1 SQM/UNIT)		
PROVIDED	INDOOR	100.5 SQM	657 SQM (5.9 SQM/UNIT)
	OUTDOOR	556.5 SQM	

STORAGE LOCKERS		
REQUIRED	1/UNITS	111
PROVIDED	1/UNITS	112

BICYCLE STALLS			
RESIDENTIAL			
		LONG-TERM STALLS	SHORT-TERM STALLS
TOTAL NO. OF STALLS	REQUIRED	1 Stall/4 Units (111/4=27.75)	6 Stalls/20 Units (111/20)*6)=33.3
	PROVIDED	29	18
HORIZONTAL STALLS	ALLOWED	29	33.3
	PROVIDED	23	18
VERTICAL STALLS	ALLOWED	40% of stalls (11.2)	40% of stalls
	PROVIDED	6	0
OFFICE			
		LONG-TERM STALLS	SHORT-TERM STALLS
TOTAL NO. OF STALLS	REQUIRED	1/750 SQM (1*(535.45/750))=0.71	6/1500 SQM (6*(535.46/1500))=2.14
	PROVIDED	1	2

F. ADAB ARCHITECTS INC.

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11654, 11664 223RD ST &
22328, 22340 ST ANN AVE
MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT INC
8221 157TH STREET
SURREY B.C.
V4N 0S2

DRAWING TITLE:
PROJECT STATISTICS

DATE:	May-19	SHEET NO:
SCALE:	NTS	A-1.1
DESIGN:	FA.	
DRAWN:	A.A.	
PROJECT NO:	0907	

AREA AND FAR. CALCULATION

RESIDENTIAL	NET FLOOR AREA (SQ.FT.)	EXCLUSIONS (CORRIDORS,ELEVATOR, LOBBY,STAIRCASE, AND ELEC. CLOSET, AMENITY)	GROSS FLOOR AREA (SQ.FT.)	FSR AREA (SQ.FT.)
1ST FLOOR	7,809	4,125	11,934	7,809
2ND FLOOR	15,125	2,052	17,177	15,125
3RD FLOOR	15,125	2,052	17,177	15,125
4TH FLOOR	15,125	2,052	17,177	15,125
5TH FLOOR	15,125	2,052	17,177	15,125
6TH FLOOR	13,927	2,052	15,979	13,927
TOTAL	82,236	14,385	96,621	82,236 (7570 SQ.M.)

OFFICE	NET FLOOR AREA (SQ.FT.)	EXCLUSIONS (OFFICE,CORRIDORS,ELEVATOR, LOBBY,STAIRCASE, AND ELEC. CLOSET)	GROSS FLOOR AREA (SQ.FT.)	FSR AREA (SQ.FT.)
1ST FLOOR	5,764	7,074	7,074	0
TOTAL AREA	5,764 (535.46 SQ. M.)	7,074 (535.46 SQ. M.)	7,074 (535.46 SQ. M.)	0.0 SQ.M.

FLOOR AREA RATIO (FAR): (82236)/34794.88=**2.37**

	LOT AREA (SQ.M.)	FRS	FLOOR AREA (SQ.M.)
BASE : 1.4	3,232.55	1.4	4,525.75
90% UG. PARKING		0.2	646.51
100% UG. PARKING		0.2	646.51
BONUS DENSITY		0.57	998.30
TOTAL			6,817.00

UNIT MIX

UNIT TYPE	NO. OF BED RM.	AREA	1ST FLOOR	2ND-5TH FLOOR	6TH FLOOR	TOTAL NO. OF UNITS	TOAL AREA (SQ.FT.)
A	STUDIO	536	1			1	536
B	1	609	1	4	1	6	3654
C	2	883	1	4	1	6	5298
D	2	849	1	4	1	6	5094
E	1+DEN	639	2	8	2	12	7668
F	2	825		4	1	5	4125
G	1	585	1	4	1	6	3510
H	2	814	1	4	1	6	4884
I	1	585	1	4	1	6	3510
J	3	965	1	4		5	4825
K	1	613	1			1	613
L	1+DEN	643		12		12	7716
M	2	859		12		12	10308
N	3	1091		4		4	4364
O	2	902		4		4	3608
P	1+DEN	671		4	1	5	3355
Q	STUDIO	470		4	1	5	2350
R	2	1006			1	1	1006
S	1	552			1	1	552
T	2	771			3	3	2313
U	1	551			2	2	1102
V	3	998			1	1	998
W	1	517			1	1	517
TOTAL AREA						111	81906

TYPE OF UNIT	NUMBER OF UNITS	% OF UNITS
STUDIO	6	5%
1-BED ROOM	52	47%
2-BED ROOM	43	39%
3-BED ROOM	10	9%
TOTAL NUMBER OF UNITS	111	100%

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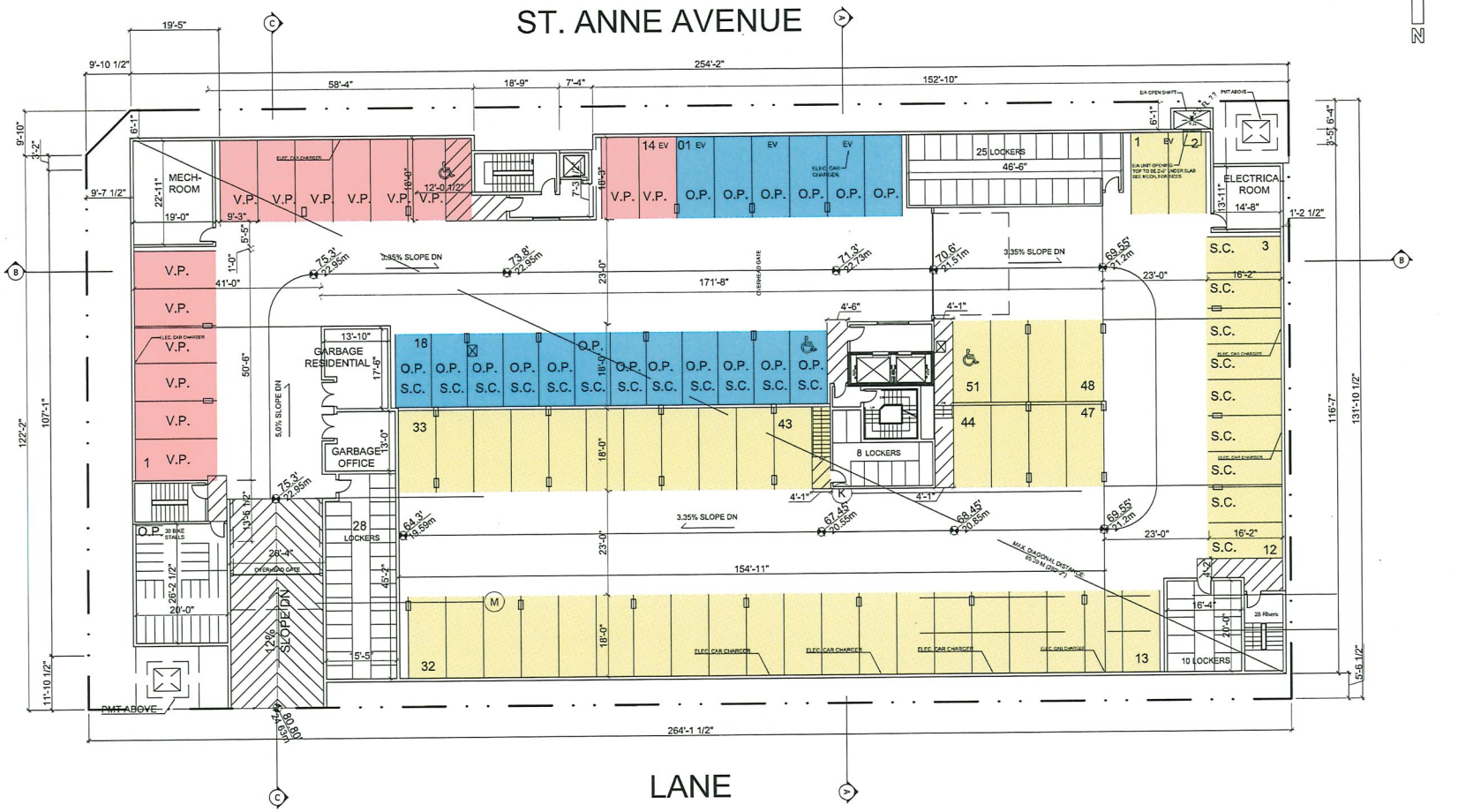
MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT INC
8221 157TH STREET
SURREY B.C.
V4N 0S2

DRAWING TITLE:
PROJECT STATISTICS

DATE:	May-19
SCALE:	NTS
DESIGN:	FA.
DRAWN:	A.A.
PROJECT NO:	0907

SHEET NO: A-1.1a



P1 PARKING PLAN

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NORTH VANCOUVER, BC V7P 3R4
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MAPLE RIDGE

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PACIFIC VISION DEVELOPMENT INC
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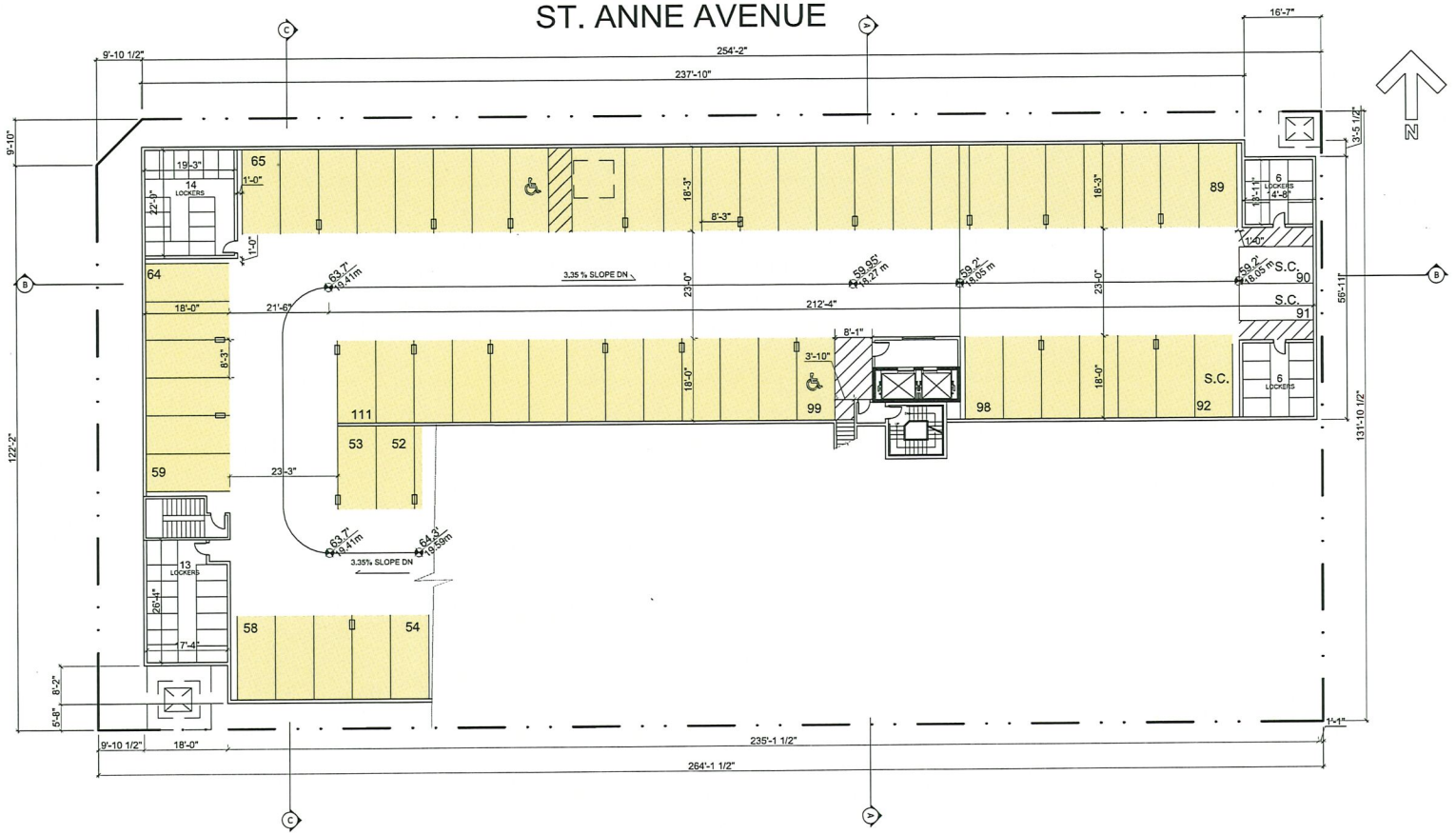
SURREY B.C.
V4N 0S2

DRAWING TITLE:
P1 PARKING

DATE:	May-19	SHEET NO:
SCALE:	NTS	A-2.2
DESIGN:	FA.	
DRAWN:	A.A.	
PROJECT NO:	0907	



P2 PARKING PLAN

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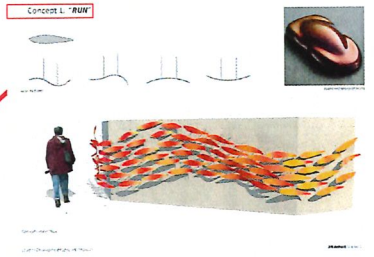
22328, 22340 ST ANN AVE
MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT INC
8221 157TH STREET
SURREY B.C.
V4N 0S2

DRAWING TITLE:
P2 PARKING

DATE:	May-19	SHEET NO:
SCALE:	NTS	A-2.1
DESIGN:	FA.	
DRAWN:	A.A.	
PROJECT NO:	0907	

Approved By The City's Public Art Steering Committee



PERSPECTIVE VIEW FROM NORTH-WEST

PERSPECTIVE VIEW FROM SOUTH-WEST

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PROJECT TITLE:
MIXED-USE DEVELOPMENT
11645,11664 223 STREET & 22328, 22340 ST. ANNE AVE, MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT
8221 157TH STREET
SURREY, BC, V4N 0S2

DRAWING TITLE:
3D RENDERING

DATE:	MAY. 2019	SHEET NO:
SCALE:	NTS	A-1.8
DESIGN:	F.A.	
DRAWN:	P.P	
PROJECT NO:	.	

SOUTH ELEVATION

ELEVATION VIEW FROM 223 St.

ELEVATION VIEW FROM ST ANNE AVE.

F. ADAB ARCHITECTS INC.

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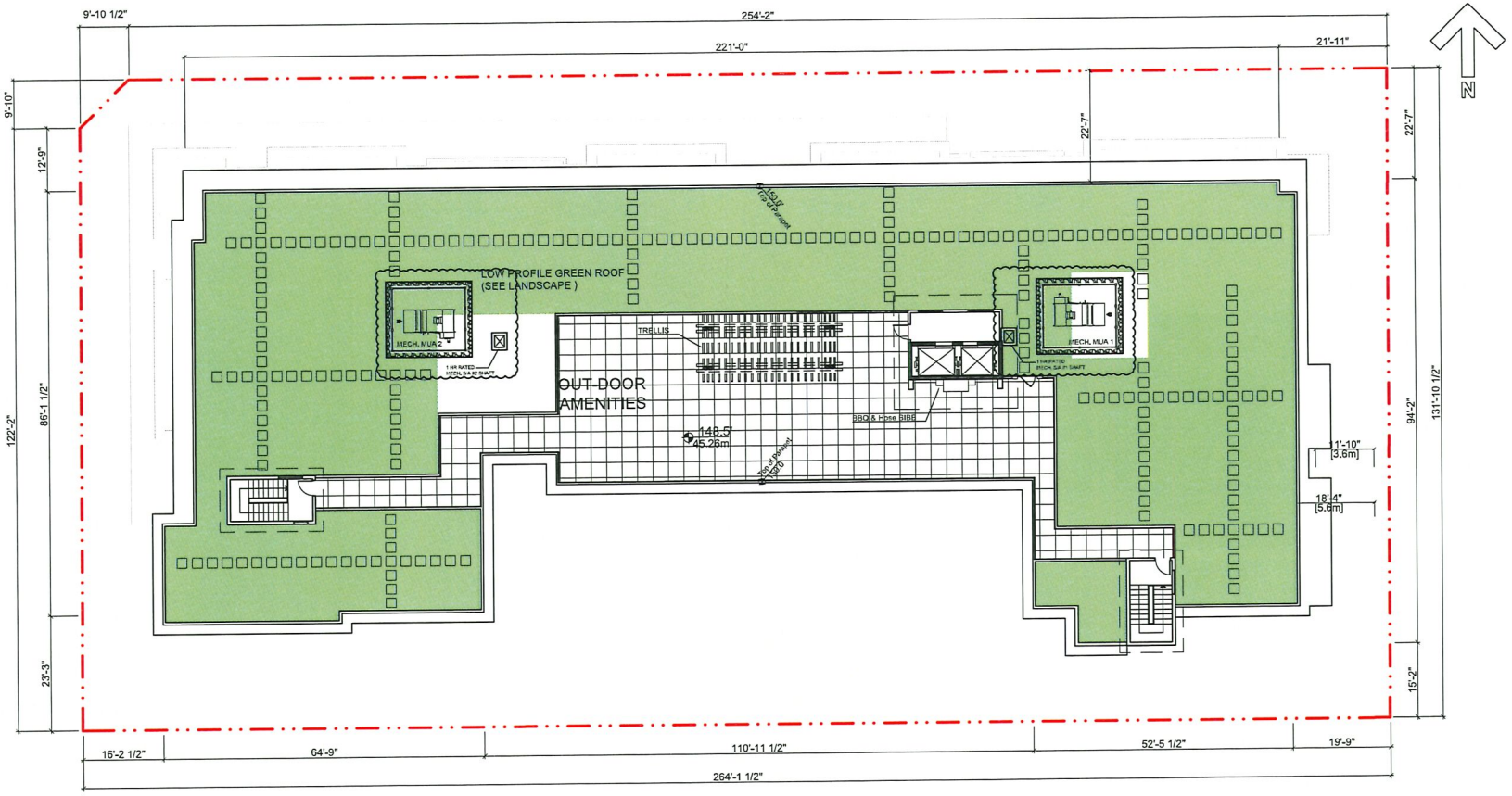
FOR:
PACIFIC VISION DEVELOPMENT
8221 157TH STREET
SURREY, BC, V4N 0S2

DRAWING TITLE:
ELEVATION RENDERINGS

DATE:	MAY. 2019	SHEET NO:
SCALE:	NTS	A-1.9
DESIGN:	F.A.	
DRAWN:	P.P	
PROJECT NO:	.	



ROOF PLAN

F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
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11645,11664 223 STREET & 22328, 22340 ST. ANNE AVE, MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT
8221 157TH STREET
SURREY, BC, V4N 0S2

DRAWING TITLE:
ROOF FLOOR PLAN

DATE:	MAY. 2019	SHEET NO:
SCALE:	3/32" = 1'-0"	A-2.7
DESIGN:	F.A.	
DRAWN:	P.P	
PROJECT NO:	PLAN	

NORTH ELEVATION

EXTERIOR FINISHES

1. **BRICK VENEER:** MIDNIGHT BLACK - IXL
2. **ARCHITECTURAL CONCRETE:** SW 9167, POLISHED CONCRETE - SHERWIN WILLIAMS
3. **HARDIE PANELS:** ARCTIC WHITE - HARDIE COLOUR
4. **HARDIE SIDING:** LIGHT MIST - HARDIE COLOUR
5. **WINDOWS :** VINYL, BLACK
6. **HARDIE BAND BOARDS & FASCIA BOARD** LIGHT MIST- HARDIE COLOUR
7. **RAILING :** ALUMINUM, MATT BLACK, CLEAR GLASS
8. **CONCRETE CAP & WINDOW SILL:** PRE-CAST CONCRETE
9. **HARDIE WINDOW TRIMS:** NIGHT GRAY - HARDIE COLOUR
10. **ALUMINUM SOFFITS:** WHITE - LONGBOARD

F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@multigenfadab.com

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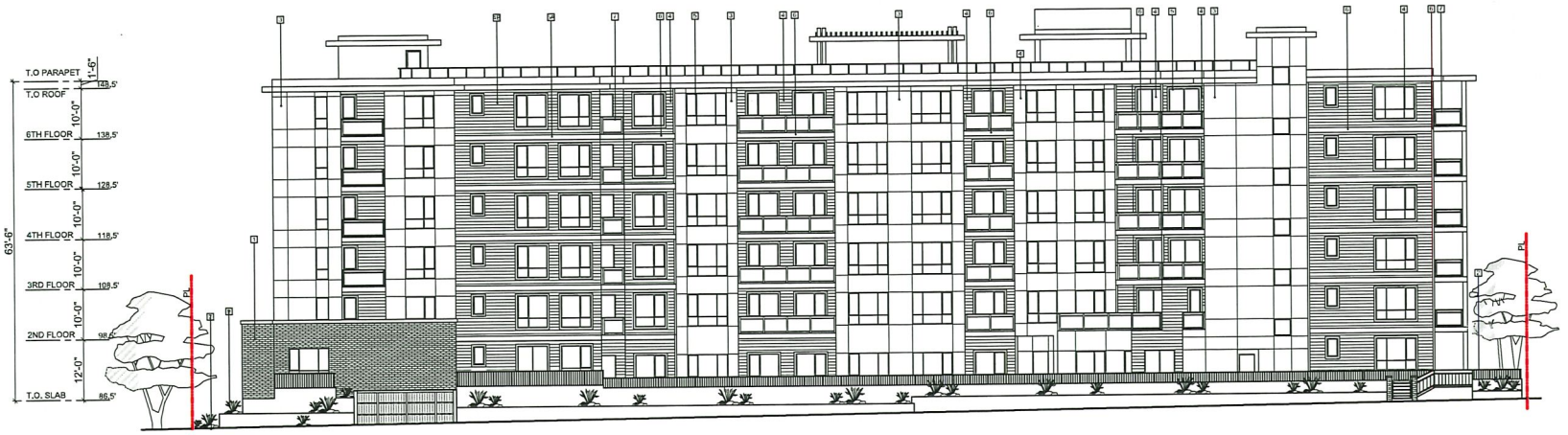
NO.	DATE	REVISION/ ISSUED
5	JUN-21	INCORPORATED ADP COMMENTS
4	NOV-20	ISSUED FOR REZONING & DP SUBMISSION
3	DEC-19	REVISED TO 6 STOREY MIXED USE
2	OCT-19	REVISIONS AND ADDITIONAL INFORMATION FOR REZONING APPLICATION
1	JULY-19	REVISED FOR REZONING APPLICATION

PROJECT TITLE:
MIXED-USE DEVELOPMENT
11645,11664 223 STREET & 22328, 22340 ST. ANNE AVE, MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT
8221 157TH STREET
SURREY, BC, V4N 0S2

DRAWING TITLE:
NORTH ELEVATION

DATE:	MAY. 2019	SHEET NO:
SCALE:	3/32" = 1'-0"	A-3.1
DESIGN:	F.A.	
DRAWN:	P.P	
PROJECT NO:	.	



SOUTH ELEVATION

EXTERIOR FINISHES

1. **BRICK VENEER:** MIDNIGHT BLACK - IXL
2. **ARCHITECTURAL CONCRETE:** SW 9167, POLISHED CONCRETE - SHERWIN WILLIAMS
3. **HARDIE PANELS:** ARCTIC WHITE - HARDIE COLOUR
4. **HARDIE SIDING:** LIGHT MIST - HARDIE COLOUR
5. **WINDOWS :** VINYL, BLACK
6. **HARDIE BAND BOARDS & FASCIA BOARD** LIGHT MIST- HARDIE COLOUR
7. **RAILING :** ALUMINUM, MATT BLACK, CLEAR GLASS
8. **CONCRETE CAP & WINDOW SILL:** PRE-CAST CONCRETE
9. **HARDIE WINDOW TRIMS:** NIGHT GRAY - HARDIE COLOUR
10. **ALUMINUM SOFFITS:** WHITE - LONGBOARD

F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: mfa@mullgonfadab.com

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NO.	DATE	REVISION/ ISSUED
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PROJECT TITLE:
MIXED-USE DEVELOPMENT
11645,11664 223 STREET & 22328, 22340 ST. ANNE AVE, MAPLE RIDGE

FOR:
PACIFIC VISION DEVELOPMENT
8221 157TH STREET
SURREY, BC, V4N 0S2

DRAWING TITLE:
SOUTH ELEVATION

DATE:	MAY. 2019	SHEET NO:
SCALE:	3/32" = 1'-0"	A-3.2
DESIGN:	F.A.	
DRAWN:	P.P	
PROJECT NO:	.	

F. ADAB ARCHITECTS INC.
130 – 1000 Roosevelt Crescent. N. V., B.C., V7P 3R4
Phone: 604.987.3003, Fax: 604.987.3033, Email: mfa@multigonfadab.com

MEMORANDUM

Date: July 20, 2021

To: Planning Department
City of Maple Ridge
11995 Honey Place, Maple Ridge, BC

Attention: **Adrian Kopystynski**
Project: **11654/11664 223rd Street & 22328/22340 St Ann Ave, Maple Ridge**

DISTRIBUTION: EMAIL

Fred Adab, F.Adab Architects Inc. fred@multigonfadab.com
Pooyan Poostchi, F.Adab Architects Inc. pooyan@multigonfadab.com

(X) As Requested ( ) For Your Information ( ) For your Approval
( ) For your Review & Comments ( ) For your Use

Re: Response to the ADP comments

Comments from the *panel* included:

- Consider lowering main floor elevation for a more engaged commercial interface at St. Anne Avenue;
- Considering adding an indoor amenity space to incorporate a water closet for the rooftop deck if height allows;
- Consider providing a horizontal element to break up the south elevation;
- Providing signage information including type and size to integrate with the architecture aesthetic.

Response to the ADP's Comments:

- The elevation of the slab at the ground floor reduced by 2 feet resulting in reducing the number of steps from commercial to the street. This also resulted in the reduction of the total height of the building as well.

  By lowering the main floor grade elevation, the number of steps, the height of the planters, and the length of the accessible ramps were also reduced.This resulted in a better transition between the streets and the entries to the offices and residential lobby.
- A trellis has been added on the roof, providing a shaded area for the outdoor amenity .The brick has been continued on the west elevation and wrapped around the building at the corner of 223 street and the lane in order to create a horizontal element to break the south façade.
- Signage locations(backlit signs with a 1.5-foot height) have been shown in the elevations.

If you have any further requests, questions, or concerns, please do not hesitate to contact us.

Regards,

Fred Adab / F.Adab Architects Inc.

M E M O R A N D U M

LANDSCAPE ARCHITECTURE

Date:	July 07, 2021	City File No.: M2 No:	 19043
Attention:	Adrian Kopystynski	Project Name:	Condominium Development
Firm Name:	F.Adab Architects Inc.	Project address:	11654/11664 223rd Street and 22328/22340 St. Ann Avenue Maple Ridge, BC
Address / Fax:	City of Maple Ridge 11995 Haney Place. Maple Ridge, BC	From:	Bahareh Nassiri For Meredith Mitchell

x as requested ___ for your information ___ for your comment ___ for your use

___ for your estimate ___ for your approval

DISTRIBUTION:		*EMAIL*
Azar Ahmadi	*F.Adab Architects Inc.*	*azar@multiqonfadab.com*
Meredith Mitchell	*M2 Landscape Architecture*	*Meredith.mitchell@m2la.com*

Re: Response to ADP recommendations

- **Add cross sections to plans as off-site design evolves;**
  Response: Noted. Landscape sections sheet L6 is added as part of this submission

- **Consider enhancing the lobby entrances through paving and site furniture;**
  Response: Noted. Benches and special paving is added to the lobby entrance.

- **Considering adding west access to the ground level court yard, as well as gate from the adjacent patios**
  Response: Noted.

- **Consider a shade structure or trellis on the roof top.**
  Response: A trellis have been added at the rooftop by architects to provide shade to seating areas

M2 Landscape Architecture is happy to answer any questions or concerns, if you have any further requests please do not hesitate to contact us.

Regards,
Bahareh Nassiri for Meredith Mitchell.
M2 Landscape Architecture.

#220, 26 Lorne Mews, New Westminster, British Columbia, V3M 3L7, Tel: (604) 553-0044, Fax: (604) 553-0045
Email: office@m2la.com

F. ADAB ARCHITECTS INC.
ARCHITECTURE, PLANNING, INTERIOR DESIGN

November 17, 2021

Adrian Kopystynski

City of Maple Ridge
11995 Haney Place,
Maple Ridge, BC, V2X 6A9

Re: Mixed Use Development
11645, 11664, 223 Street & 22328, 22340 St. Anne Avenue

Dear Adrian,

This letter is to confirm that the DIM process for the above mentioned project was held on November 09,2021 from 5.0 till 7.0 PM. Only one person attended the virtual meeting and the presentation material were shared. After the presentation no comments or concerns were raised by her.

During the 10 days period after the presentation we did not receive any emails from the public regarding the DIM process.

If you require further information, please contact the undersigned.

Yours sincerely,

Fred Adab
Architect AIBC, MRAIC, MAAA
per F. Adab Architects Inc.

CC. Nasir Ghuman

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2021-215-RZ
FROM:	Chief Administrative Officer	**ATTN:**	C o W

SUBJECT: **First and Second Reading**
Zone Amending Bylaw No. 7749-2021

EXECUTIVE SUMMARY:

Zoning Bylaw No. 7600-2019 was adopted by Council on December 8, 2020 and has been well received for its ease of use, clarity and detail by the public and by staff. The Bylaw has been in use now for one year and, as can be expected for a document of this size and complexity, some minor corrections have been identified. The housekeeping amendments required to Zoning Bylaw No. 7600-2019 are provided for Council consideration in Zone Amending Bylaw No. 7749-2021, attached as Appendix A.

Housekeeping amendments contained within Zone Amending Bylaw No. 7749-2021 include: revisions to definitions to provide more clarity and additional detail; incorporation of defined terms where appropriate for consistency; clarification of the requirements for site specific height exceptions; corrections to ensure the use of consistent language in zones; and correction of typographic errors.

Additional housekeeping amendments include text and map amendments that have been adopted in the last 12 months into the old Zoning Bylaw No. 3510-1985. These are from rezoning applications that had already received third reading under the old Zoning Bylaw at the time the new Zoning Bylaw No. 7600-2019 was adopted.

As per the Local Government Act, Section 464(2), when a Zoning Bylaw is consistent with the Official Community Plan, the City may waive the requirement to hold a Public Hearing. When a Public Hearing is waived under Section 464(2), the City must then give notice in accordance with Section 467 of the Local Government Act which requires that the notice states the purpose of the Zoning Bylaw; the lands that are subject of the Bylaw; the place, times and dates where the Bylaw may be inspected; and is published in a newspaper the same as for a Public Hearing.

It can be expected that additional changes to the Zoning Bylaw will occur from time to time, as it is used and new situations and needs arise in the course of normal business.

RECOMMENDATIONS:

1. **That Maple Ridge Zone Amending Bylaw No. 7749-2021 be given first and second reading; and further**

2. **That a Public Hearing be waived in accordance with the Local Government Act Section 464(2).**

1108

DISCUSSION:

a) Background Context:

On December 8, 2020, Zoning Bylaw No. 7600-2019 was adopted by Council. The Bylaw is a large, very complex and detailed document that regulates development in the City, and it is important to provide clear, concise language that can be easily and consistently interpreted by all users. The Bylaw has been in use now for 12 months and, as can be expected for a document of this size and complexity, some minor corrections have been identified.

b) Planning Analysis:

Rather than the standard procedure of discussing the amendments in the numerical order that they appear in the Zoning Bylaw, the housekeeping amendments have been organized by grouping similar revisions together to assist in an explanation of the revisions. The following discussion of the amendments reflects the same numerical order used in Zone Amending Bylaw No. 7749-2021 (Appendix A).

A second attachment to this report provides a markup of portions of the current Zoning Bylaw No. 7600-2019 with the housekeeping amendments listed in numerical order (Appendix B).

Item 1 Introduction of Zone Amending Bylaw No. 7749-2021.

Item 2 Amendments to Section 202.1 Definitions are minor, but will provide additional clarity, aid in interpretation of use, and ensure consistency of language. The amended Definitions include: Agricultural, Urban (Urban Agricultural); Classes of Assisted Living Residences; Height, Building (Building Height); Lot Area; Residential, Elderly Citizens; Setbacks for Front, Rear and Side; Special Needs Housing; Tandem Parking; and Vape Retail.

Item 3 Amendments to Part 3 Basic Provisions and Part 4 General Regulations include the following:

- Clarification of Zoning requirements for "Split Zoned Lots", for lots that have more than one Zoning designation;
- Updated a reference to the Transportation Act;
- Clarification that "Accessory Off-Street Loading" is a use permitted in all Zones;
- Clarification that the Farm Home Plate requirements are subject to Agricultural Land Commission regulations;
- Specification that a Siting Exception may apply to reduce the setback requirements for above grade stairs; and
- Updated references to the Fraser River Escarpment Area Policies.

Item 4 Amendments to the definition of "Building Face" and clauses in the Bylaw that refer to "Building Face" have been grouped together here for convenience:

- The definition for "Building Face" has been revised and references to other applicable sections of the Bylaw were added;
- The term "Building Face" has replaced "wall", "sidewall", "exterior wall", or "face of the building" to ensure consistency of language throughout the Bylaw.

Item 5 Five sites have Site Specific Building Height exceptions approved by Council under the old Zoning Bylaw No. 3510-1985. The new Zoning Bylaw No. 7600-2019 uses a different method to calculate the maximum Building Height which is not applicable to these five sites. This amendment incorporates the Building Height requirements from

the old Zoning Bylaw to each of the approved site-specific height exceptions in Sections 402.11.4.b, 618.8.1.a, 625.8.1.a, 701.8.1.a, and 707.8.1.a in the new Zoning Bylaw No. 7600-2019.

Item 6 Agricultural use amendments have been grouped together in this section for convenience:

- The Interior Side Setback requirement for a Single Detached Residential Use in the A-3 (Extensive Agricultural) and A-4 (Intensive Greenhouse) Zones are corrected to use consistent language as other zones which have the same requirement.
- In the A-4 Zone the clause "and the sum of the two interior side setbacks shall be not less than 3.5 metres" has been added as it was unintentionally omitted.
- In the RS-3 (Single Detached Rural Residential) Zone the condition that a Lot shall be designated as "Agricultural" in the Official Community Plan is removed. This is a requirement for the RS-1 and RS-2 Zones but was incorrectly added to the RS-3 zone in the new Zoning Bylaw.

Item 7 In each Zone that is subject to the Albion Area Density Bonus Amenity Contribution, the requirements are further clarified and references to other sections have been added.

Item 8 Minor corrections to the use of defined terms for Tandem Parking requirements in RM-1 (Low Density Townhouse Residential) Zone have been incorporated to provide consistency of language.

Item 9 The RM-3 (Medium/High Density Apartment Residential) Zone has been amended to add the maximum number of storeys (12) to the Height Requirements as it was identified in the Purpose for the zone. Similarly, the RM-6 (Town Centre High Density Apartment Residential) Zone has been amended to add the minimum number of storeys (10) to the Height Requirements as it was identified in the Purpose for the zone.

Item 10 The RS-2 (Single Detached Suburban Residential) Zone has been updated with the legal description for the properties specific to a Density Bonus following subdivision of the land, and to renumber the subsequent clauses to be consistent with the numbering format used throughout the Zoning Bylaw.

Item 11 The correction of minor typographical errors have been grouped together in this section for convenience.

Item 12 When the new Zoning Bylaw No. 7600-2019 was adopted there were several rezoning applications that had already received third reading under the old Zoning Bylaw No. 3510-1985, and were able to continue to adoption under that Bylaw. Four applications for text amendments have since completed since December 2020 and were adopted by Council under the old Zoning Bylaw. They are included here for adoption into the new Zoning Bylaw.

Item 13 In addition to the four text amendments, noted above, which were adopted under the old Zoning Bylaw No. 3510-1985 since December 2020, nineteen Zoning Map amendments were adopted under the old Zoning Bylaw. New Zoning Maps are attached to Zone Amending Bylaw No. 7749-2021 to amend Schedule "A" – Zoning Map of the new Zoning Bylaw No. 7600-2019. In some cases, the name of the Zone was changed in the new Zoning Bylaw, which is reflected in the attached Rezoning Maps. One of the text amendments, to adopt the CD-1-17 zone, includes an amendment to Schedule "E" Town

Centre Area Plan Ground Floor Commercial Required, and the new Schedule "E" is also attached to Zone Amending Bylaw No. 7749-2021.

CONCLUSION:

It is recommended that first and second reading be given to Zone Amending Bylaw No. 7749-2021, and it is recommended that at a public hearing be waived in accordance with the Local Government Act Section 464(2).

As per the Local Government Act, Section 464(2), when a Zoning Bylaw is consistent with the Official Community Plan, the City may waive the requirement to hold a Public Hearing. When a Public Hearing is waived under Section 464(2), the City must then give notice in accordance with Section 467 of the Local Government Act which requires that the notice states the purpose of the Zoning Bylaw; the lands that are subject of the Bylaw; the place, times and dates where the Bylaw may be inspected; and is published in a newspaper with the same as for a Public Hearing.

The housekeeping amendments are minor in nature and include revisions to definitions to provide more clarity and additional detail, incorporating defined terms where appropriate for consistency, clarifying the requirements for site specific height exceptions, corrections to ensure the use of consistent language in zones, and correction of typographic errors. Additional housekeeping amendments are to include text and map amendments that have been adopted in the last 12 months into the old Zoning Bylaw No. 3510-1985.

"Original signed by Ann Edwards"

Prepared by: **Ann Edwards, CPT**
Senior Planning Technician

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

Approved by: **Christine Carter M.PL., MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A – Zone Amending Bylaw No. 7749-2021
Appendix B –Zoning Bylaw No. 7600-2019 Markup Showing Housekeeping Amendments

CITY OF MAPLE RIDGE
BYLAW NO. 7749-2021

A Bylaw to amend the text and Schedules "A" and "E" of Maple Ridge Zoning Bylaw No. 7600-2019 as amended

WHEREAS, it is deemed expedient to amend the Maple Ridge Zoning Bylaw No. 7600-2019 as amended:

NOW THEREFORE, the Municipal Council of the City of Maple Ridge, enacts as follows:

1. This bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7749-2021".

2. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to revise Part 2 – Definitions, as follows:

   a) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1, AGRICULTURAL, URBAN, the definition for Agricultural, Urban (Urban Agricultural) is amended by deleting the clause in its entirety and replacing it with:

   "AGRICULTURAL, URBAN means a use providing for the growing of plants for the purposes of, including but not limited to, food, fibre, and decorative purposes in ground, wall or roof gardens. Refer to Section 401 (Permitted Uses of Land, Buildings, and Structures) of this Bylaw.";

   b) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 CLASSES OF ASSISTED LIVING RESIDENCES, the definition of Classes of Assisted Living Residences is amended by inserting "Housing" after "Supportive Recovery", and by inserting "British Columbia" before "Community Care Assisted Living Act";

   c) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 HEIGHT, BUILDING, the definition for Height, Building is amended by deleting "greatest" from the first line;

   d) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 LOT AREA, the definition for Lot Area is amended by deleting the clause in its entirety and replacing it with:

   "LOT AREA means the total area of a Lot taken in a horizontal plane within the Lot Lines of the Lot, excluding any portions of the Lot required for: Panhandle; dedicated Public Road Allowance; dedicated Public Park; and dedicated Park for Conservation Protection. Restrictive Covenant, Easement, and Right-of-Way areas shall form part of the Lot Area.";

   e) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 RESIDENTIAL, ELDERLY CITIZENS, the definition for Residential, Elderly Citizens (Elderly Citizens Residential) is amended by deleting "for the Residential accommodation" and replacing it with "a Residential Use for the accommodation";

f) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 SETBACK, the definition for Setback is amended by deleting the clause in its entirety and replacing it with:

"SETBACK means the horizontal distance from a Lot Line or other feature to a Building, Structure or other feature on the Lot. Refer to Section 403 (Siting Exceptions) of this Bylaw.";

g) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 SETBACK, FRONT, the definition for Setback, Front is amended by deleting "distance" and replacing it with "Setback";

h) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 SETBACK, REAR, the definition for Setback, Rear is amended by deleting "distance" and replacing it with "Setback";

i) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 SETBACK, SIDE, the definition for Setback, Side is amended by deleting "distance" and replacing it with "Setback";

j) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 SPECIAL NEEDS HOUSING, the definition of Special Needs Housing is amended by inserting "Housing" after "Supportive Recovery";

k) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 TANDEM PARKING, the definition for Tandem Parking is amended by inserting "off-street" before "parking space" in three instances;

l) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 VAPE RETAIL, the definition for Vape Retail is amended by deleting "Retail Use" and by inserting "Retail" before "sales of products".

3. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to revise Part 3 – Basic Provisions and Part 4 – General Regulations, as follows:

a) Part 3 – Basic Provisions, 302 Zones is amended by inserting the following after 302.3:

"302.4 Split Zoned Lot

1. A Split Zoned Lot is a lot that contains more than one Zone. The following requirements for each applicable zone shall apply for the use of each area of the lot for which it is zoned as if the zone boundary were a lot line:
   a. Principal and Accessory Uses;
   b. Density;
   c. Lot Coverage;

d. Setbacks;
e. Height;
f. Landscaping and Screening;
g. Parking and Loading;
h. Other Requirements.

2. A Split Zoned Lot shall not be developed as separate lots."

b) Part 3 – Basic Provisions, 303 Permitted Uses and Servicing of Land, Buildings and Structures, 303.4 Transportation Act, 303.4.1 is amended by deleting "Transportation Act" and replacing it with "British Columbia Transportation Act [SBC 2004]".

c) Part 4 – General Regulations, 401 Uses of Land, Buildings, and Structures, 401.2 Permitted Uses of Land, Buildings and Structures, 401.2.1 is amended by inserting "Accessory Off-Street Loading;" to follow "Accessory Buildings and Accessory Structures", and renumbering subsequent clauses.

d) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.12 Farm Home Plate, 402.12.1 is amended by inserting "and that are subject to the Agricultural Land Commission Act and its Regulations" to follow "Agricultural Land Reserve".

e) Part 4 – General Regulations, 403 Regulations for the Size, Shape and Siting of Buildings and Structures, 403.2 Siting Exceptions, 403.2.4. is amended by deleting "above grade stairs", and 403.2 is amended by inserting the following clause after 403.2.3. and renumbering subsequent clauses:

"Above grade stairs may project beyond the building face with no minimum setback to an abutting front lot line or rear lot line, provided that stair landings shall not exceed a maximum dimension of 1.2 metres by 1.2 metres and stair landings shall not exceed a height of 1.5 metres above the finished grade."

f) Part 4 – General Regulations, 405 Landscaping and Fencing Regulations, 405.2 Landscape Standards, 405.2.3.g. is amended by deleting "Policies 6.23 and 6.24" and replacing it with "Policy 6.24".

g) Part 4 – General Regulations, 407 Requirements for the Area, Shape and Dimension of Lots that may be created by Subdivision, 407.2 Minimum Lot Area and Dimensions, 407.2.4. is amended by deleting "Policies 6.23 and 6.24" and replacing it with "Policy 6.24".

4. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to revise the definition and application of "Building Face", as follows:

   a) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 BUILDING FACE, the definition for Building Face is amended by deleting the clause in its entirety and replacing it with:

      "BUILDING FACE means the vertical plane formed by the extreme outer surface of the Building's exterior walls. Refer to Section 403 (Siting Exceptions) of this Bylaw. Refer to Section 403 (Highest Building Face) of this Bylaw.";

   b) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 GRADE, AVERAGE FINISHED, the definition for Grade, Average Finished is amended by deleting the clause in its entirety and replacing it with:

      "GRADE, AVERAGE FINISHED means the average of the Finished Grade around the Building's perimeter measured at each of the outermost exterior corners of the Building. An approved Comprehensive Lot Grading Plan may apply. In the case of a Townhouse Residential Use or Street Townhouse Residential Use, the Average Finished Grade shall be the average of the Finished Grade at the four outermost corners of each Dwelling Unit, located where either the outermost side Building Face or the common wall separations intersect with the frontmost and rearmost Building Face of the Dwelling Unit. In the case of an Apartment Residential Use or other Building constructed on an Underground Structure for parking the Average Finished Grade shall be the measured at the base of the Building.";

   c) Part 2 – Interpretations and Definitions, 202 Definitions, 202.1 GRADE, AVERAGE NATURAL, the definition for Grade, Average Natural is amended by deleting the clause in its entirety and replacing it with:

      "GRADE, AVERAGE NATURAL means the average of the Natural Grade around the Building's perimeter measured at each of the outermost exterior corners of the Building. In the case of a Street Townhouse Residential Use or Townhouse Residential Use, the Average Natural Grade shall be the average of the Finished Grade at the four outermost corners of each Dwelling Unit, located where either the outermost side Building Face or the common wall separations intersect with the frontmost and rearmost Building Face of the Dwelling Unit."

   d) Part 4 – General Regulations, 401 Uses of Land, Buildings and Structures, 401.4 Accessory Buildings, Structures and Uses, 401.4.3.b. is amended by deleting "face" and replacing it with "Building Face";

   e) Part 4 – General Regulations, 403 Regulations for the Size, Shape and Siting of Buildings and Structures, 403.2 Siting Exceptions, 403.2.3. and 403.2.3.c are amended by deleting "face of the Building" and replacing them with "Building Face";

f) Part 4 – General Regulations, 403 Regulations for the Size, Shape and Siting of Buildings and Structures, 403.3 Gross Floor Area Exemptions, 403.3.1. is amended by deleting "exterior surface of the exterior wall" and replacing it with "Building Face";

g) Part 4 – General Regulations, 403 Regulations for the Size, Shape and Siting of Buildings and Structures, 403.4 Building Height, 403.4.3 is amended by deleting "sidewall face" and replacing it with "side Building Face";

h) Part 4 – General Regulations, 403 Regulations for the Size, Shape and Siting of Buildings and Structures, 403.7 Highest Building Face, 403.7.2.b. is amended by deleting "face of a post" and replacing it with "the outer face of a post";

i) Part 4 – General Regulations, 405 Landscaping and Fencing Regulations, 405.4 Fence Requirements, 405.4.2.a.(i), 405.4.2.a.(ii), 405.4.3.a.(i) and 405.4.3.a.(ii) are amended by deleting "face of the Building" and replacing them with "Building Face";

j) Part 5 – Agricultural Zones, Setbacks, 501.7.2.e., 501.7.3.f., 501.7.4.f., 501.7.5.f., 501.7.6.f., 501.7.6.g., 501.7.7.f., 502.7.2.e., 502.7.3.f., 502.7.4.f., 502.7.5.f., 502.7.6.f., 502.7.6.g., 502.7.7.f., 503.7.2.e., 503.7.3.f., 503.7.4.f., 503.7.5.f, 503.7.6.f., 503.7.6.g., 503.7.7.f., 504.7.1.f., 504.7.3.e., 504.7.4.f., and 505.7.2.f. are amended by deleting "from Residential Use Buildings" or "from Single Detached Residential Use" and replacing them with "from the Building Face of a Building for a Residential Use".

k) Part 6 – Residential Zones, Setbacks, 601.7.2.e., 605.7.2.e., 605.7.3.f., 605.7.4.f., 605.7.5.f., 606.7.2.e., 607.7.2.e., 608.7.2.e., 609.7.2.e., 610.7.2.f., 610.7.3.f., 610.7.4.f., 610.7.5.f., 610.7.6.e., 611.7.2.f., 611.7.3.f., 611.7.4.f., 611.7.5.f., 611.7.6.e., 614.7.2.e., 615.7.3.f., and 616.7.3.e. are amended by deleting "from Residential Buildings" and replacing it with "from the Building Face of a Building for a Residential Use".

l) Part 6 – Residential Zones, Setbacks, 602.7.3.e. and 603.7.3.e. are amended by inserting "the Building Face, or" after "measured from".

m) Part 6 – Residential Zones, 626 Zone: RMH Manufactured Home Park Residential, 626.10 Manufactured Home Site Setbacks, 626.10.1 is amended by deleting the clause in its entirety and replacing it with:

"1. The minimum Setbacks for all Buildings and Structures on a Manufactured Home Site, as measured from the Building Face of a Manufactured Home, from a living area addition to a Manufactured Home, from the supports of a carport, and from the outer face of a deck, shall be not less than:".

5. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to determine the maximum height of the building using the definitions and calculation requirements of Zoning Bylaw No. 3510-1985 for five (5) site specific building height exceptions that were approved under Zoning Bylaw No. 3500-1985, as follows:

   a) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.11 Detached Garden Suite Residential, 402.11.4. is amended by deleting "Building Height" at the end of clauses 402.11.4.a. and 402.11.4.b., and by deleting clause 402.11.4.c. in its entirety and replacing it with the following:

      "c. the Height of the Building shall not exceed 7.5 metres specific to the following Lot:
         (i) Lot 34, except: part subdivided by Plan BCP13892, Section 24, Township 12, New Westminster District Plan LMP19841. PID: 019-045-824. 26378 126 Avenue.

      where the Height is measured, as per Zoning Bylaw No. 3500-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

         BUILDING HEIGHT BASE LINE - means:
         (a) averaging the two front Datum Determination Points on the lot; and
         (b) averaging the two rear Datum Determination Points on the lot; and
         (c) longitudinally extending a line joining (a) and (b); and

         DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

      Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms."

   b) Part 6 – Residential Zones, 618 Zone: RM-2 Medium Density Apartment Residential, 618.8 Height, 618.8.1. is amended by inserting ", except:" after "11.0 metres" and by inserting the following clause as 618.8.1.a.:

      "a. the Height for Principal Buildings and Principal Structures shall not exceed 22.0 metres nor 6 Storeys specific to the following Lot:

         (i) Lot 1 District Lot 401 Group 1 New Westminster District Plan EPP94580. PID: 030-971-861. 11641 227 Street.

      where the Height is measured, as per Zoning Bylaw No. 3500-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

         BUILDING HEIGHT BASE LINE - means:
         (a) averaging the two front Datum Determination Points on the lot; and
         (b) averaging the two rear Datum Determination Points on the lot; and
         (c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms."

c) Part 6 – Residential Zones, 618 Zone: RM-2 Medium Density Apartment Residential, 618.8 Height, 618.8.2. is amended deleting ", except:" at the end of the clause and by deleting 618.8.2.a. in its entirety.

d) Part 6 – Residential Zones, 625 Zone: RG-2 Suburban Residential Strata, 625.8 Height, 625.8.1.a. is amended by deleting the clause in its entirety and replacing it with:

"a. the Height for Principal Buildings and Principal Structures shall not exceed 11.0 metres specific to the following Lots:

(i) Bareland Strata Lots 1 to 106, Section 11, Township 12, Plan EPS234. Bosonworth Avenue, Godwin Drive, Carmichael Street and 110 Avenue.

where the Height is measured, as per Zoning Bylaw No. 3500-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

BUILDING HEIGHT BASE LINE - means:
(a) averaging the two front Datum Determination Points on the lot; and
(b) averaging the two rear Datum Determination Points on the lot; and
(c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms."

e) Part 7 – Commercial Zones, 701 Zone: C-1 Neighbourhood Commercial, 701.8 Height, 701.8.1.a shall be amended by deleting the clause in its entirety and replacing it with:

"a. the Height for a Building or Structure shall not exceed 12.0 metres nor 3 Storeys specific to the following Lot:

(i) Lot C District Lot 403 Group 1 New Westminster District Plan EPP71200. PID 030-627-788. 11300 Pazarena Place.

where the Height is measured, as per Zoning Bylaw No. 3510-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

BUILDING HEIGHT BASE LINE - means:

(a) averaging the two front Datum Determination Points on the lot; and
(b) averaging the two rear Datum Determination Points on the lot; and
(c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms."

f) Part 7 – Commercial Zones, 707 Zone: CRM Commercial/Residential, 707.8 Height, 707.8.1.a. shall be amended by deleting the clause in its entirety and replacing it with:

"a. the Height for a Building or Structure shall not exceed 21.0 metres, specific to the following Lot:

(i) Lot 1, DL 398, GP 1, NWD Plan EPP34022, except Plans EPP34066 and EPP36136. PID: 029-152-861. 22369 116 Avenue.

where the Height is measured, as per Zoning Bylaw No. 3500-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

BUILDING HEIGHT BASE LINE - means:
(a) averaging the two front Datum Determination Points on the lot; and
(b) averaging the two rear Datum Determination Points on the lot; and
(c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms."

6. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to correct Agricultural uses, as follows:

   a) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.11 Detached Garden Suites, 402.11.6.(i) is amended by deleting the clause: "the Detached Garden Suite Residential Use shall be approved by the Agricultural Land Commission", and by renumbering the subsequent clauses "(ii)" and "(iii)" to "a." and "b.";

   b) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.27 Temporary Residential, 402.27.3.c. is amended by deleting the clause: "shall be approved by the Agricultural Land Commission prior to the issuance of a Building Permit.";

   c) Part 5 – Agricultural Zones, 503 Zone: A-3 Extensive Agricultural, 503.7 Setbacks, 503.7.1.c. is amended by deleting "however" and replacing it with "and";

   d) Part 5 – Agricultural Zones, 504 Zone: A-4 Intensive Greenhouse, 504.7 Setbacks, 504.7.2.c. is amended by deleting "1.5 metres" and replacing it with "1.5 metres and the sum of the two interior side setbacks shall be not less that 3.5 metres";

   e) Part 6 – Residential Zones, 611 Zone: RS-3 Single Detached Rural Residential, 611.11 Other Requirements, 611.11.1.a. is amended by deleting "; and" and replacing it with ".", and by deleting clause 611.11.1.b.: "shall not be permitted unless the Lot is Designated as "Agricultural" in the Maple Ridge Official Community Plan Bylaw No. 7060-2014."

7. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to provide additional clarity to Zones subject to the Albion Area Density Bonus Amenity Contribution, as follows:

   a) Part 6 – Residential Zones, 607 Zone: RS-1b Single Detached (Medium Density) Residential, 607.4 Lot Area and Dimensions, 607.4.2 is amended by inserting "for a Density Bonus from RS-1b to R-1" after "dimensions", and by inserting the following after 607.4.2.c. "d. Refer to the Other Requirements Section of this Zone.";

   b) Part 6 – Residential Zones, 607 Zone: RS-1b Single Detached (Medium Density) Residential, 607.11 Other Requirements, 607.11.1.a. is amended by inserting "but not less than 371.0 square metres" after "557.0 square metres";

   c) Part 6 – Residential Zones, 609 Zone: RS-1d Single Detached (Half Acre) Residential, 609.4 Lot Area and Dimensions, 609.4.2 is amended by inserting "for a Density Bonus from RS-1d to RS-1b" after "dimensions", and by inserting the following after 609.4.2.c. "d. Refer to the Other Requirements Section of this Zone.";

d) Part 6 – Residential Zones, 609 Zone: RS-1d Single Detached (Half Acre) Residential, 609.11 Other Requirements, 609.11.1.a. is amended by inserting "but not less than 557.0 square metres" after "2,000 square metres";

e) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.4 Lot Area and Dimensions, 617.4.2. is amended by inserting "for a Density Bonus from RM-1 to RM-4" after "Residential Use", and by inserting the following after 617.4.2.c. "d. Refer to the Other Requirements Section of this Zone.";

f) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.11 Other Requirements, 617.11.5. is amended by inserting "but not more than 0.75 times the Lot Area" following "0.6 times the Lot Area".

8. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to revise references to Tandem Parking uses in the RM-1 zone, as follows:

a) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.10 Parking and Loading, 617.10.4 is amended by deleting "Tandem garage" and replacing it with "Tandem Parking garage", and by inserting "Maple Ridge" before "Off-street Parking";

b) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.10 Parking and Loading, 617.10.5. is amended by deleting "Tandem garage" and replacing it with "Tandem Parking garage", by deleting "Townhouse development" and replacing it with "Townhouse Residential Development", and by deleting "Council Policy on Tandem Parking within Townhouse Developments" and replacing it with "Maple Ridge Policy 6.35 - Tandem Parking Garage Units within Townhouse Developments";

c) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.11 Other Requirements, 617.11.6. is amended by inserting "Residential" after "Townhouse" and by inserting "Townhouse dwelling" after "attached".

9. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to include the number of storeys with the height requirement for RM-3 and RM-6 zones, as follows:

a) Part 6 – Residential Zones, 619 Zone: RM-3 Medium/High Density Apartment Residential, 619.8 Height, 619.8.1 is amended by adding "nor twelve (12) storeys," after "43.0 metres";

b) Part 6 – Residential Zones, 622 Zone: RM-6 Town Centre High Density Apartment Residential, 622.8 Height, 622.8.1. is amended by adding "nor ten (10) storeys" to the end of the sentence following "37.0 metres".

10. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to update the legal descriptions, revise the numbering format, and update the reference to the Local Government Act in the RS-2 zone, as follows:

a) Part 6 – Residential Zones, 610 Zone: RS-2 Single Detached Suburban Residential, 610.11 Other Requirements, 610.11.5 is amended by deleting clauses 610.11.5.a. and 610.11.5.b. in their entirety and replacing it with:

"a. Lots 1 to 12 Section 28 Township 12 New Westminster District Plan EPP 56758; 12872 to 12967 235A Street;";

610.11.5.(i) is amended by deleting "Section 941 – Provision of Park Land" and replacing it with "Section 510 – Requirement for Provision of Park Land or Payment for Parks Purposes"; 610.11.5 is further amended by renumbering clauses "(i), (ii), (iii), (iv)" to "b. c. d. e."; and by renumbering the subclauses "(a), (b) and (c)" to "(i), (ii), and (iii)".

b) Part 6 – Residential Zones, 610 Zone: RS-2 Single Detached Suburban Residential, 610.11 Other Requirements, 610.11.6 is amended by adding the PID and address to each legal description and by numbering the four legal descriptions as "a., b., c. and d.", as follows:

a. Lot 2 of the North West Quarter of Section 22 Township 12 Group 1 New Westminster Plan LMP22485. PID 023-066-733. 12516 240 Street.
b. Lot "A" Except: Parcel "One" (Explanatory Plan 13720) Section 21 Township 12 New Westminster District Plan 9912. PID. 008-159-645. 12599 240 Street.
c. Parcel "One" (Explanatory Plan 13720) Lot A Section 21 Township 12 New Westminster District Plan 9912. PID 011-437-391. 12599 240 Street. and
d. Lot A Section 22 Township 12 New Westminster District Plan LMP9379. PID 018-161-031. 12511 241 Street.";

610.11.6 is further amended by deleting "parcels" and replacing it with "Lots", by renumbering the clauses after "provided that" from "a., b. and c." to "e., f. and g.", by inserting "Requirement for Provision of Park Land or Payment for Park Purposes" after "Section 510 – ", and by deleting "must" in 610.11.6.f.(i) and replacing it with "shall".

11. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to correct typographical errors, as follows:

a) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.11 Detached Garden Suite Residential, 402.11.2.b.(ii) is amended by deleting "shall" and replacing it with "may";

b) Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.14 Home Occupation, 402.14.9.d. is amended by deleting "Sign Bylaw No. 4653-1992" and replacing it with "Sign Bylaw No. 7630-2020";

c) Part 6 – Residential Zones, 616 Zone: RT-2 Ground-Oriented Residential Infill, 616.1 Purpose, 616.1.1 is amended by deleting the first instance of "Courtyard Residential" and replacing it with "Triplex Residential";

d) Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.4 Lot Area and Dimensions, 617.4.1.b. is amended by deleting "7.0 metres" and replacing it with "27.0 metres";

e) Part 6 – Residential Zones, 626 Zone: RMH Manufactured Home Park Residential, 626.1 Purpose, 626.1.1. is amended by deleting "0.4 hectares" and replacing it with "4.0 hectares";

f) Part 8 – Industrial Zones, 803 Zone: M-3 Business Park Industrial, 803.2 Principal Uses, 803.2.1.q. is amended by deleting "Recreational Facilities or instructional facilities" and replacing it with "Recreational Facilities and instructional facilities";

g) Part 10 – Comprehensive Development Zones, 1035 CD-1-21 Medium Density Rental Apartment Residential, 1035.7.2. is amended by deleting "will" and replacing it with "shall", and 1035.10.1. is amended by inserting "Zone" after "RM-2".

12. Maple Ridge Zoning Bylaw No. 7600-2019 is hereby amended to include approved Zone Amending Bylaws which amended the text of Zoning Bylaw No. 3510-1985 after the adoption of the new Zoning Bylaw No. 7600-2019, which was adopted on December 8, 2020, as follows:

a) Zone Amending Bylaw No. 7238-2016, was adopted on December 8, 2020, as follows:

Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.5 Density, 617.5.1. is amended by adding the following in numerical order:

"b. Floor Space Ratio shall not exceed 0.63 times the Lot Area and a maximum of 50.0 square metres of habitable Basement area per unit shall be excluded from the calculation of Gross Floor Area specific to the following Lot:

(i) Lot 2 Section 32 Township 12 New Westminster District Plan EPP70286. PID 031-264-875. 23183 136 Avenue.";

b) Zone Amending Bylaw No. 7674-2020, was adopted on January 26, 2021, as follows:

Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.11 Detached Garden Suite Residential, 402.11.8.c. is amended by deleting the clause in its entirety and renumbering the subsequent clauses; and

Part 4 – General Regulations, 402 Regulations for Permitted Uses of Land, Buildings, and Structures, 402.24 Secondary Suite Residential, 402.24.1.e. is amended by deleting the clause in its entirety and renumbering the subsequent clauses;

c) Zone Amending Bylaw No. 7432-2018, was adopted on February 23, 2021, as follows:

Part 6 – Residential Zones, 617 Zone: RM-1 Low Density Townhouse Residential, 617.5 Density, 617.5.1. is amended by adding the following in numerical order:

"c. Floor Space Ratio shall not exceed 0.63 times the Lot Area specific to the following Lot:
(i) Lot 1 Section 21 Township 12 New Westminster District Plan EPP106316. PID 031-318-479. 23785 Dewdney Trunk Road.";

d) Zone Amending Bylaw No. 7336-2017, was adopted on July 13, 2021, as follows:

Part 10 – Comprehensive Development Zones is amended by inserting the CD-1-17 zone in the correct numerical order to follow the CD-1-05 zone and renumbering subsequent Sections, as follows:

CD-1-17 COMPREHENSIVE DEVELOPMENT ZONE

PURPOSE

1. This Zone is intended to accommodate and regulate the development of a medium to high density comprehensively-planned mixed use development in multiple phases in the Town Centre Area.
2. For interpretation purposes of this zone:
   a. Refer to the "Phase Plan" identifying the boundaries of each phase in the Other Requirements Section of this Zone;
   b. Refer to the "Amenity and Rezoning Offerings by Phase" requirements in the Other Requirements Section of this Zone;
   c. "Base density" means the density permitted without the bonus density or the amenity bonus density being added;
   d. "This Bylaw" means Maple Ridge Zoning Bylaw No. 7600-2019.

PRINCIPAL USES

1. The following Principal Uses shall be permitted in this Zone:
   a. Apartment Residential, within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, excluding Phase 5;
   b. Assembly;
   c. Business Services;
   d. Cannabis Retail;
   e. Civic;
   f. Convenience Store;
   g. Financial Services;

h. Funeral Services;
i. Indoor Commercial Recreation;
j. Licensee Retail Store;
k. Light Industrial, limited to Microbrewery, Microwinery and Microdistillery;
l. Liquor Primary Establishment;
m. Media Production Studio;
n. Off-Street Parking;
o. Personal Repair Services;
p. Personal Services;
q. Place of Worship;
r. Private Hospital;
s. Professional Services;
t. Public Market;
u. Refund Container Recycling Depot;
v. Restaurant;
w. Retail, excluding Highway Commercial;
x. Tourist Accommodation; and
y. Townhouse Residential, in Phases 1, 2, 3, 4 and 6 only

ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:
   a. Home Occupation, excluding Phase 5; and
   b. Outdoor Display or sales area.
2. Refer to Sections 401 and 402 of this Bylaw for additional information.

LOT AREA and DIMENSIONS

1. Minimum lot area and dimensions for each phase of the development shall not be less than:

a.	in lot area	1,500.0 square metres
b.	in width	6.0 metres
c.	in depth	27.0 metres

2. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

DENSITY

1. Phase 1:
   a. The Floor Space Ratio of any building or structure shall not exceed a base density of 1.0 times the lot area.
   b. Bonus density may be added to the Floor Space Ratio, up to a maximum of 1.3 times the Lot Area, with the following provisions:

(i) an amount equal to 0.3 times the lot area times the ratio of concealed off-street parking to required off-street parking, not to exceed 0.3 times the lot area; and

(ii) an amount equal to 0.25 times the lot area may be added for each storey above the second (2) storey, not to exceed 1.0 times the lot area.

c. The maximum density in this phase, including any bonus density is 2.3 times the lot area.

d. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

2. Phase 2:

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.34 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure; and

(ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times.

c. An amenity bonus density, up to a maximum of 0.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 2 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density is 2.65 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

3. Phase 3:

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 3 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone;

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 3.6 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

4. Phase 4:
    a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.
    b. A bonus density, up to a maximum of 1.1 times the lot area, may be obtained by providing the following:
        (i) An amount equal to 0.2 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;
        (ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.
    (i) shall include the rezoning offerings indicated for Phase 4 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.
    c. An amenity bonus density, up to a maximum of 0.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 4 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.
    d. The maximum density in this phase, including any bonus density and amenity bonus density, is 2.3 times the lot area.
    e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.
5. Phase 5:
    a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.
    b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:
        (i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;
        (ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.
    c. An amenity bonus density, up to a maximum of 1.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 5 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.
    d. The maximum density in this phase, including any bonus density and amenity bonus density, is 3.5 times the lot area.
    e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.
6. Phase 6
    a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.
    b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 3.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 6 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 5.5 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

7. Phase 7

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 3.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 7 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 5.5 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

LOT COVERAGE

1. All Buildings and Structures together shall not exceed a lot coverage of 90% in each Phase, however:

a. lot coverage may be increased to 100% where all required off-street parking is provided in accordance with Part 3 (Off-Street Parking Requirements) of Maple Ridge Off Street Parking and Loading Bylaw No. 4350 – 1990.

SETBACKS

1. Minimum Setbacks for all Buildings and Structures in Phases 1 to 7 shall be not less than:

a.	from a Front Lot Line	0.0 metres
b.	from a Rear Lot Line	0.0 metres
c.	from an Interior Side Lot Line	0.0 metres

d. from an Exterior Side Lot Line 0.0 metres

2. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

HEIGHT

1. Phases 1 to 4 and Phases 6 to 7:
   a. Building Height for all Buildings and Structures shall be not less than three (3) storeys; and
   b. The maximum building height is not restricted.
2. Phase 5:
   a. Building Height for all Buildings and Structures shall be not less than two (2) storeys; and
   b. The maximum building height is not restricted.
3. Refer to Section 403 (Building Height) of this Bylaw.

LANDSCAPING and SCREENING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.
2. A continuous landscape strip of not less than 1.5 metres in width shall be provided on the lot adjacent to lot lines on the developed sides of the lot which abut a highway.
3. Phases 2 to 7:
   a. All developed portions of the lot not covered by buildings, structures or paved areas shall be landscaped, including the retention of mature trees where feasible. This landscaping shall be maintained.
   b. The boulevard areas of highways abutting a lot shall be seeded or sodded with grass on the side of the highway abutting the lot, except at driveways, and walkways.
   c. Loading areas, garbage containers and recycling containers shall be screened from any adjacent residential lot or from overlook from upper storeys, to a height of at least 2.5 metres by buildings, a landscaping screen, a solid decorative fence, or a combination thereof.

PARKING and LOADING

1. Off-street parking and off-street loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 – 1990, as amended.
2. All off-street parking shall be concealed parking.
3. Phase 1:
   a. Notwithstanding the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 – 1990:
      (i) a minimum of 50% of required parking spaces shall be provided with roughed-in conduit for future electric charging capabilities; and
      (ii) a minimum of four electric vehicle charging stations shall be provided.

4. Phases 2 to 7, for Apartment Use:

    a. Notwithstanding the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 - 1990:

        (i) a minimum of four electric vehicle charging stations shall be provided.

OTHER REQUIREMENTS

1. Where permitted in Phases 2 to 7, an Apartment Residential Use shall:

    a. be limited exclusively to storeys above the first storey for a building or a portion thereof along Dewdney Trunk Road, Garden Street in Phase 7, and along the internal public plaza from 224 Street to Garden Street in Phases 6 and 7;

    b. be located within a building above all storeys which are used for a non-residential principal use or off-street parking use;

    c. have a separate and independent access into the building containing the apartment use.

2. Where permitted in Phases 2 - 7, a Townhouse Use shall:

    a. only be permitted on a lot containing an Apartment Use;

    b. have direct pedestrian access to street grade, a pedestrian walkway or a mews for each unit.

3. Phases 1 to 7 Ground Floor requirements:

    a. The ground floor of all buildings shall have not less than:

        (i) 90% of the lot frontage developed for permitted principal uses with public pedestrian or vehicular access; and

        (ii) 25% of the lot area developed for a permitted principal use.

    b. Phase 1, notwithstanding Schedule "E" Ground Floor Commercial Required of this Bylaw, shall not be required to provide ground floor commercial area along Plaza Street or Brown Avenue.

    c. Phases 6 and 7 shall provide Ground Floor Commercial area in accordance with Schedule "E" Ground Floor Commercial Required of this Bylaw, including along both sides of the public pedestrian way and the public plaza.

4. Common Open Area(s) shall be provided as follows:

    a. Phases 1 to 7:

        (i) a minimum of 20% of the site area shall be provided as Common Open Area in Phase 1;

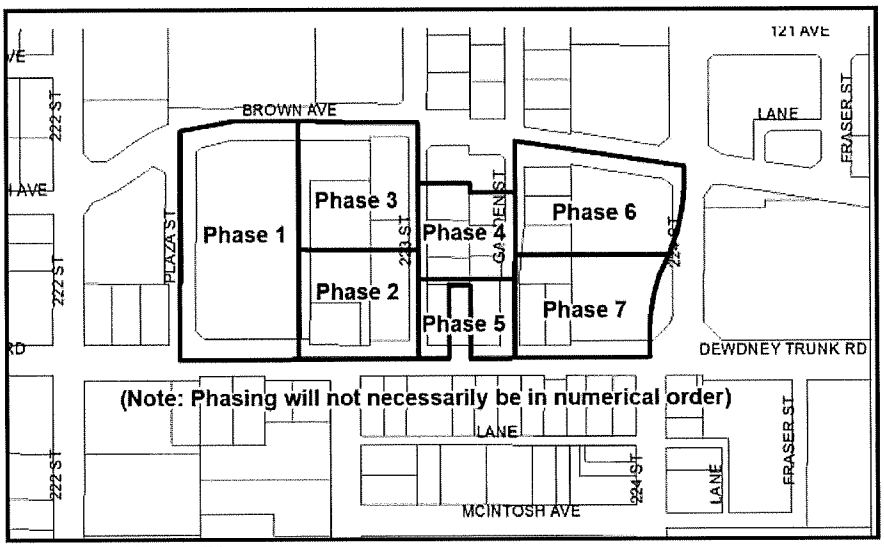
        (ii) a minimum of 20% of the site area shall be provided as Common Open Area in Phases 2, 4 and 6;

        (iii) a minimum of 50% of the site area shall be provided as Common Open Area in Phase 5;

        (iv) a minimum of 35% of the site area shall be provided as Common Open Area in Phase 7; and

        (v) a portion of the required common open space area may be provided on a roof.

5. Phases 2 to 7 shall provide Indoor Amenity Area(s) and Outdoor Amenity Area(s) as follows:
   a. One or more indoor amenity areas shall be provided in each phase based on the following ratio, and this may form part of the Common Open Area requirements;
      (i) 1.0 square metre per residential dwelling unit;
   b. Phase 2, Phase 3, Phase 4 or Phase 5 shall provide a clubhouse or similar facility as an Indoor Amenity Area or Outdoor Amenity Areas.
6. Every use, except for an Outdoor Amenity Area and an off-street loading use, shall be located and undertaken wholly within an enclosed building.
7. The following "Phase Plan" identifies the boundaries for each Phase:



CD-1-17 Phase Plan

8. The following "Amenity and Rezoning Offerings by Phase" identifies the amenities to be provided to obtain an Amenity Density Bonus:
   a. Phase 2:
      (i) Continuation of east-west pedestrian way;
      (ii) Minimum four electric vehicle charging stations;
      (iii) BC Energy Step Code;
      (iv) Sustainability measures; and
      (v) A Clubhouse (if not provided in another phase).

   b. Phase 3:
      (i) Continuation of east-west pedestrian way;
      (ii) Minimum four electric vehicle charging stations;
      (iii) BC Energy Step Code;
      (iv) Sustainability measures; and
      (v) A Clubhouse (if not provided in another phase).

   c. Phase 4:
      (i) Continuation of east-west pedestrian way;
      (ii) BC Energy Step Code;

(iii) Sustainability measures;
(iv) Seating area and theatre structure at the Central Plaza incorporating potential public art elements; and
(v) A Clubhouse (if not provided in another phase).

d. Phase 5:
(i) Continuation of east-west pedestrian way (including portion of Central Plaza);
(ii) Minimum four electric vehicle charging stations;
(iii) BC Energy Step Code;
(iv) Sustainability measures; and
(v) A Clubhouse (if not provided in another phase).

e. Phase 6:
(i) Continuation of east-west pedestrian way;
(ii) Public plaza;
(iii) Minimum four electric vehicle charging stations;
(iv) BC Energy Step Code; and
(v) Sustainability measures.

f. Phase 7:
(i) Continuation of east-west pedestrian way;
(ii) Public plaza;
(iii) Public art piece (in Public Plaza) having a minimum value of $100,000 adjusted by CPI between the year of this agreement and the year of the development application being made;
(iv) Public message board;
(v) BC Energy Step Code;
(vi) Minimum four electric vehicle charging stations; and
(vii) Sustainability measures.

and:

Part 12 – Schedules, 1205 Schedule "E" – Town Centre Area Plan, Ground Floor Commercial Required is amended by deleting it and replacing it with the revised Schedule "E" – Town Centre Area Plan, Ground Floor Commercial Required, a copy of which is attached hereto and forms part of this Bylaw.

e) Zone Amending Bylaw No. 7392-2017, was adopted on July 27, 2021, as follows:

Part 6 – Residential Zones, 610 Zone: RS-2 Single Detached Suburban Residential, 610.11 Other Requirements is amended by adding the following as Section 610.11.7.:

"7. A Density Bonus is permitted on the Lots or tracts of land and premises known and described as:

a. Lot 24 Section 28 Township 12 Group 1 New Westminster District Plan NWP38973. PID 008-549-371. 23585 128 Avenue.

provided that:

b. the owner shall dedicate Park land for the purpose of tree preservation, exclusive of Environmentally Sensitive Area lands and Park dedication required by British Columbia Local Government Act Section 941 - Provision of Park Land;

c. the base density is a minimum subdivision lot area of 0.4 hectares, minimum subdivision lot width of 36.0 metres, and minimum subdivision lot depth of 60.0 metres;

d. a density bonus is an option in the RS-2 zone as follows:
   (i) the owner shall dedicate as Park land at least 2,922.0 square metres in any subdivision containing one or more Lots with an area of less than 0.4 hectares, as a condition of subdivision approval by the Approving Officer, and such area to be acceptable to the Approving Officer for the purpose of preserving mature trees on the Parent Parcel;
   (ii) the maximum Density Bonus is:
      (a) minimum Lot Area of 1,200.0 square metres;
      (b) minimum Lot Width of 24.0 metres;
      (c) minimum Lot Depth of 36.0 metres; and

e. Zone requirements for the RS-1c Zone shall apply and supersede the Zone requirements for the RS-2 Zone for any subdivision approved for the above described Lots or tracts of land.".

13. Maple Ridge Zoning Bylaw No. 7600-2019 Schedule "A" – Zoning Bylaw Map is hereby amended to include adopted Zone Amending Bylaws which amended Map "A" of Zoning Bylaw No. 3510-1985 after the adoption of the new Zoning Bylaw No. 7600-2019, which was adopted on December 8, 2020, as follows:

a) Zone Amending Bylaw No. 7238-2016, was adopted on December 8, 2020, as follows:

The following parcels or tracts of land and premises known and described as:

Lot A Section 32 Township 12 New Westminster District Plan EPP94937. PID 031-264-875. 23183 136 Avenue.

and outlined in heavy black line on Map No. 1910, a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-1 (Low Density Townhouse Residential);

b) Zone Amending Bylaw No. 7431-2018, was adopted on January 12, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lots 1 to 23 Section 33 Township 12 New Westminster District Plan EPP104551. 232 Street, 232A Street, and Blaney Road.

and outlined in heavy black line on Map No. 1911, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-1b (Single Detached (Medium Density)

Residential), RS-1 (Single Detached Residential), R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential) and RST-SV (Street Residential Townhouse – Silver Valley);

c) Zone Amending Bylaw No. 7485-2018, was adopted on January 26, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lots 1 and 2 Section 17 Township 12 New Westminster District Plan EPP106935. PID 031-308-279 and 031-308-261. 11778 and 11782 Burnett Street.

and outlined in heavy black line on Map No. 1912, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential);

d) Zone Amending Bylaw No. 7198-2015, was adopted on February 23, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 4 Block 2 District Lot 398 Group 1 New Westminster District Plan EPP88829. PID 031-351-999. 11655 Fraser Street.

and outlined in heavy black line on Map No. 1913, a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-2 (Medium Density Apartment Residential);

e) Zone Amending Bylaw No. 7432-2018, was adopted on February 23, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 1 Section 21 Township 12 New Westminster District Plan EPP106316. PID 031-318-479. 23785 Dewdney Trunk Road.

and outlined in heavy black line on Map No. 1914, a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-1 (Low Density Townhouse Residential);

f) Zone Amending Bylaw No. 7267-2016, was adopted on March 9, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 1 District Lot 263 Group 1 New Westminster Plan EPP101352. 12115 203 Street.

and outlined in heavy black line on Map No. 1915, a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-1 (Low Density Townhouse Residential);

g) Zone Amending Bylaw No. 7517-2018, adopted March 30, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lots 1 to 3 Section 11 Township 12 New Westminster District Plan EPP99132. PIDs 013-373-518, 031-373-526, 031-373-534. 25160, 25176, 25190 108 Avenue.

and outlined in heavy black line on Map No. 1916, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-2 (Single Detached Suburban Residential) and A-1 (Small Holding Agricultural);

h) Zone Amending Bylaw No. 7366-2017, was adopted on May 11, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 1 District Lot 399 Group 1 New Westminster District Plan EPP107648. PID 031-395-996. 12109 223 Street.

and outlined in heavy black line on Map No. 1917, a copy of which is attached hereto and forms part of this Bylaw, is hereby rezoned to RM-2 (Medium Density Apartment Residential);

i) Zone Amending Bylaw No. 7606-2020, was adopted on May 25, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 74, Section 14, Township 12, New Westminster District Plan 61607. PID 002-806-517. 25057 112 Avenue;

Parcel "H" (Reference Plan 2047), Except Part in Statutory Right of Way Plan LMP30004, South West Quarter Section 14, Township 12, New Westminster District. PID 013-303-171. 25123 112 Avenue; and

Lot 1, Section 14, Township 12, New Westminster District Plan 70166. PID 002-267-802. 25171 112 Avenue.

and outlined in heavy black line on Map No. 1918, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential), R-2 (Single Detached (Medium Density) Urban Residential), and R-3 (Single Detached (Intensive) Urban Residential);

j) Zone Amending Bylaw No. 7420-2018, was adopted on June 8, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 7 Block 1 District Lot 398 Group 1 New Westminster District Plan 155. PID 011-537-141. 22300 River Road;

Lot 14 Block 1 District Lot 398 Group 1 New Westminster District Plan 155. PID 013-603-094. 11575 223 Street; and

Lot 15 Block 1 District Lot 398 Group 1 New Westminster District Plan 155. PID 011-537-175. 11587 223 Street.

and outlined in heavy black line on Map No. 1919, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential);

k) Zone Amending Bylaw No. 7336-2017, was adopted on July 13, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

030-857-228	LOT 2 DISTRICT LOT 399 GROUP 1 WESTMINSTER DISTRICT PLAN EPP88082
030-857-210	LOT 1 DISTRICT LOT 399 GROUP 1 WESTMINSTER DISTRICT PLAN EPP88082
001-115-341	LOT 9 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 20094
008-643-831	LOT 10 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 20094
006-217-796	LOT 50 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 48265
005-165-598	LOT 55 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 53750
009-862-552	LOT 4 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 13752
001-419-684	LOT 3 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 13752
009-862-544	LOT 2 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 13752
009-862-510	LOT 1 EXCEPT: THE EAST 47 FEET; DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 13752
000-969-231	LOT 27 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 17845
000-969-222	LOT 26 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 17845
004-031-768	LOT 24 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 15679
002-150-051	LOT 18 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14549
009-966-561	LOT 5 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14543
001-886-134	LOT 4 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14543
004-681-088	LOT 3 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14543
009-966-552	LOT 2 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14543
004-067-444	LOT 1 BLOCK 2 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 14543
001-916-980	PARCEL "B" (EXPLANATORY PLAN 9471) OF LOT 2 DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 1112
006-357-571	LOT 52 EXCEPT: PART DEDICATED ROAD ON PLAN 81647, DISTRICT LOT 399 GROUP 1 NEW WESTMINSTER DISTRICT PLAN 49034

and outlined in heavy black line on Map No. 1920, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to CD-1-17 (Comprehensive Development);

l) Zone Amending Bylaw No. 7387-2017, was adopted on July 13, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 7 Block 1 Section 29 Township 12 Sublot C New Westminster District Plan 11173 except Plan EPP 81760. PID 009-483-322. 13589 232 Street.

and outlined in heavy black line on Map No. 1921, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential);

m) Zone Amending Bylaw No. 7679-2020, was adopted on July 13, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot C District Lot 403 Group 1 New Westminster Plan EPP79514. PID 003-627-788. 11300 Pazarena Place.

and outlined in heavy black line on Map No. 1922, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to C-1 (Neighbourhood Commercial);

n) Zone Amending Bylaw No. 7603-2019, was adopted on July 13, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Parcel 5 District Lot 278 Group 1 New Westminster District Reference Plan 64192. PID 000-566-098. 11232 Dartford Street.

and outlined in heavy black line on Map No. 1923, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to H-1 (Heritage Commercial);

o) Zone Amending Bylaw No. 7325-2017, was adopted on July 27, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 1 Section 17 Township 12 New Westminster District Plan EPP98989 except those parts shown as Road on Plan EPP98988. PID 031-406-149. 11779 Burnett Street.

and outlined in heavy black line on Map No. 1924, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential);

p) Zone Amending Bylaw No. 7390-2017, was adopted on July 27, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 47 Section 28 Township 12 New Westminster District Plan 63118. PID 001-810-472. 23953 Fern Crescent

and outlined in heavy black line on Map No. 1925, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RS-1b (Single Detached (Medium Density) Residential);

q) Zone Amending Bylaw No. 7445-2018, was adopted on July 27, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot A Section 20 Township 12 New Westminster District Plan EPP108731. PID 031-353-053. 22575 Brown Avenue.

and outlined in heavy black line on Map No. 1926, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-2 (Medium Density Apartment Residential).

r) Zone Amending Bylaw No. 7380-2017, was adopted on October 12, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 14 District Lot 263 Group 1 New Westminster District Plan 19098. PID 007-510-942. 12327 203 Street.

and outlined in heavy black line on Map No. 1933, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential).

s) Zone Amending Bylaw No. 7611-2020, was adopted on October 26, 2021, as follows:

The following parcels or tracts of land and premises known and described as:

Lot 185 District Lot 277 Group 1 New Westminster District Plan 40699. PID 005-397-901. 20857 Golf Lane.

and outlined in heavy black line on Map No. 1934, a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to R-1 (Single Detached (Low Density) Urban Residential).

14. Maple Ridge Zoning Bylaw No. 7600-2019 as amended, Schedule "A" – Zoning Bylaw Map and Schedule "E" – Ground Floor Commercial Required, attached thereto are hereby amended accordingly.

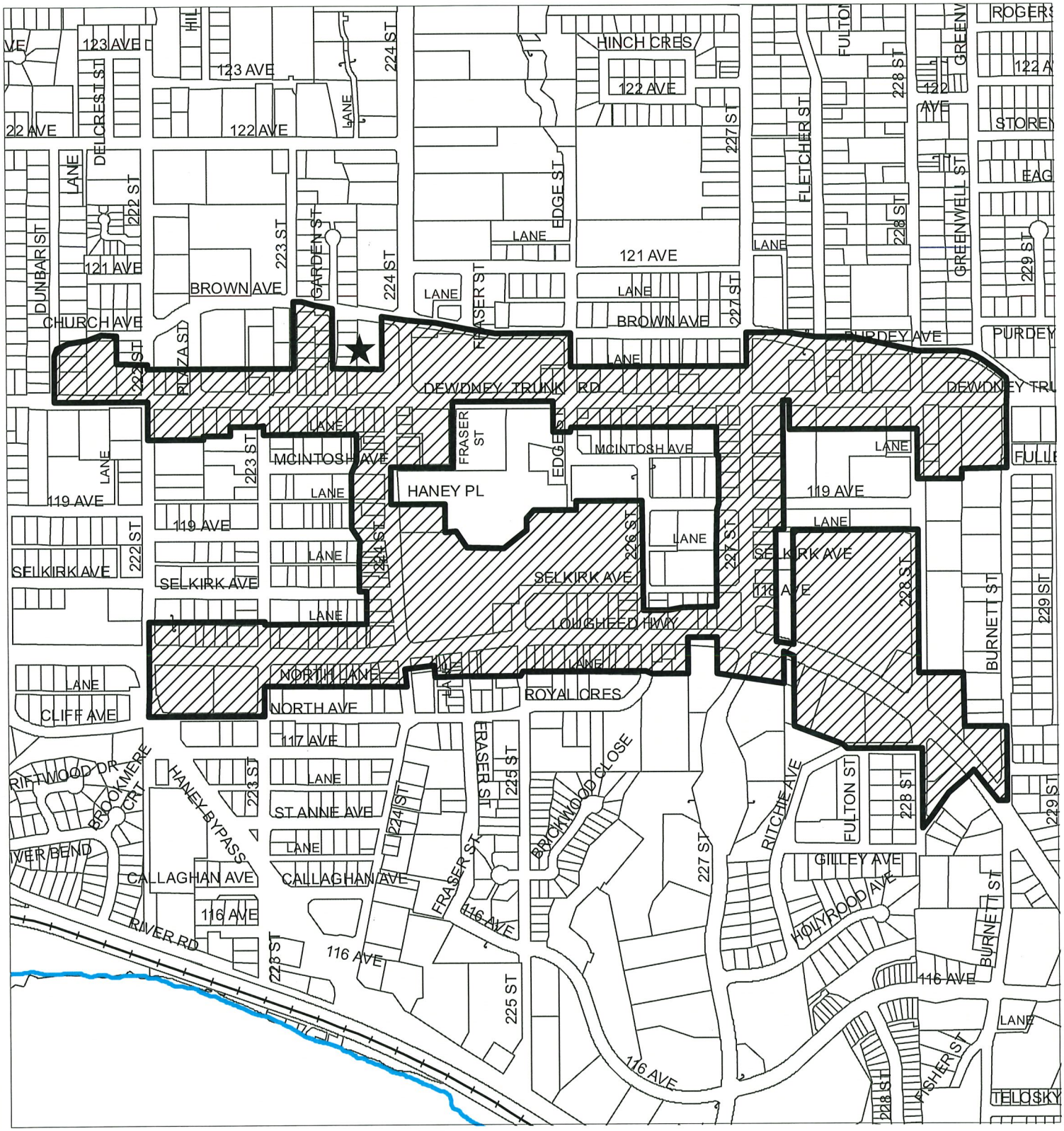
READ a first time the day of , 20

READ a second time the day of , 20

READ a third time the day of , 20

ADOPTED the day of , 20

PRESIDING MEMBER **CORPORATE OFFICER**



Town Centre Area Plan

Ground Floor Commercial Required

Ground Floor Commercial Required to support pedestrian corridor and corner plaza

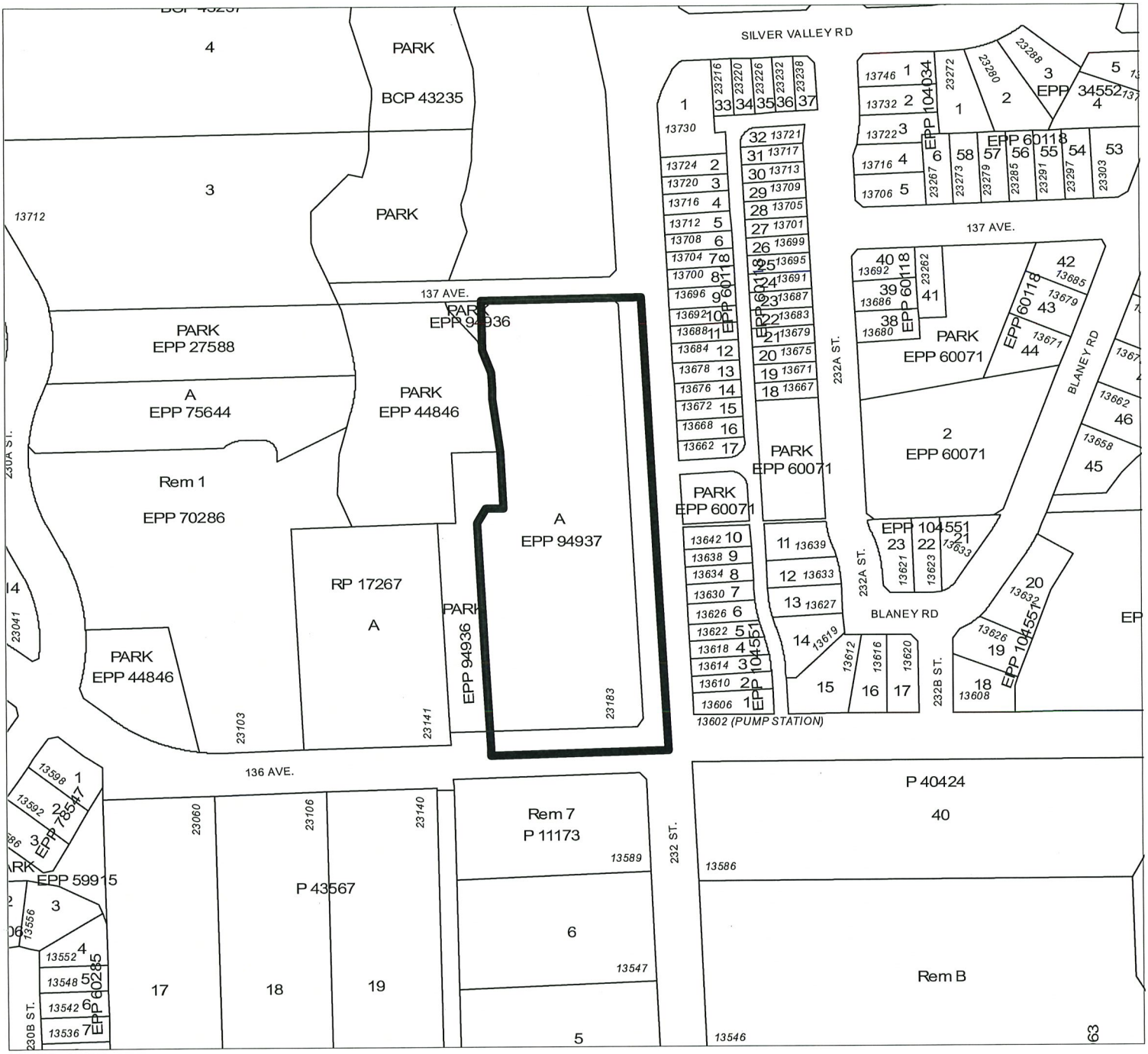
N

Bylaw No. 7600-2019
Schedule 'E'

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

DATE: Sep 21, 2021 BY: DT



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1910

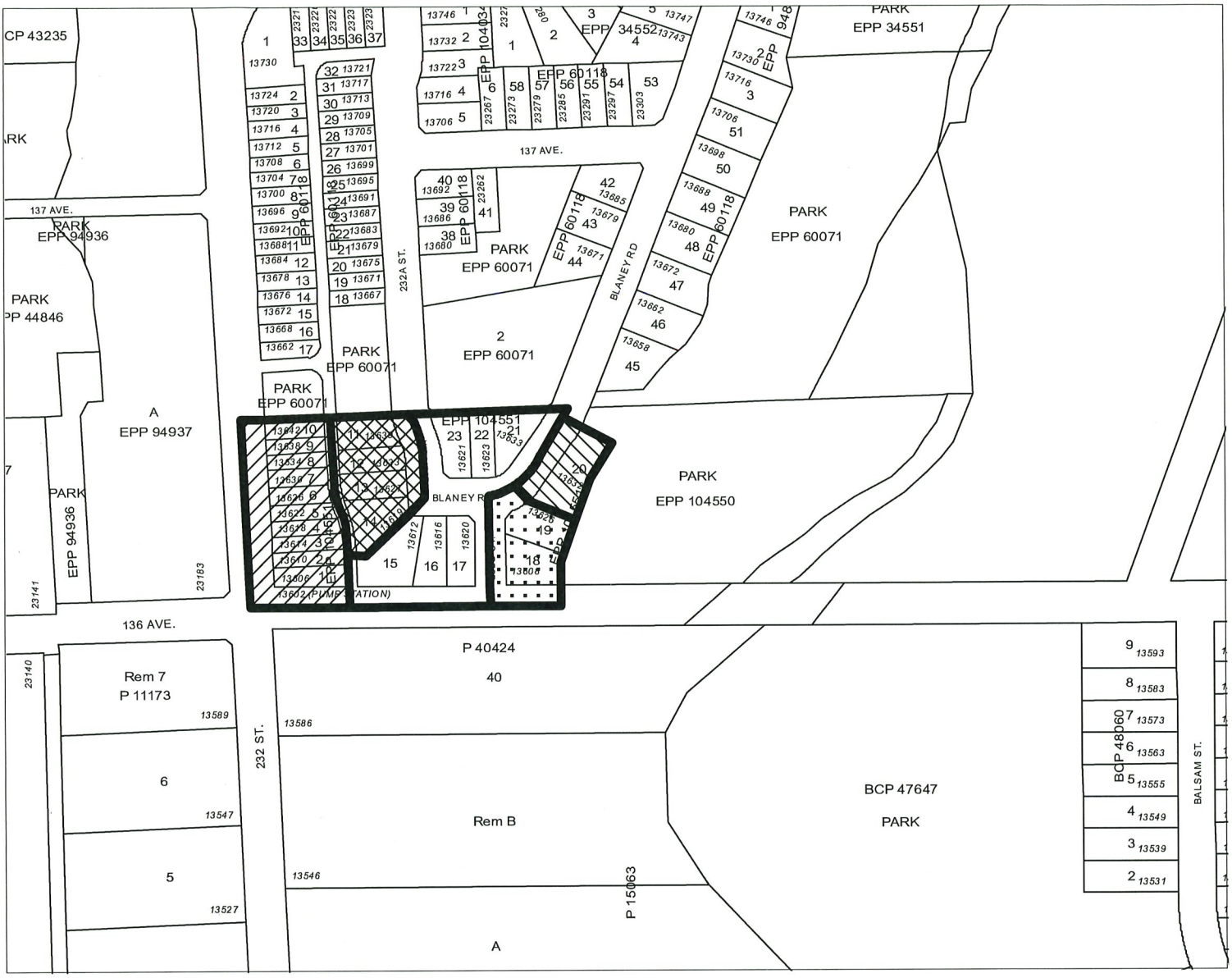
From: RM-1 (Townhouse Residential)

To: RM-1 (Low DensityTownhouse Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1911

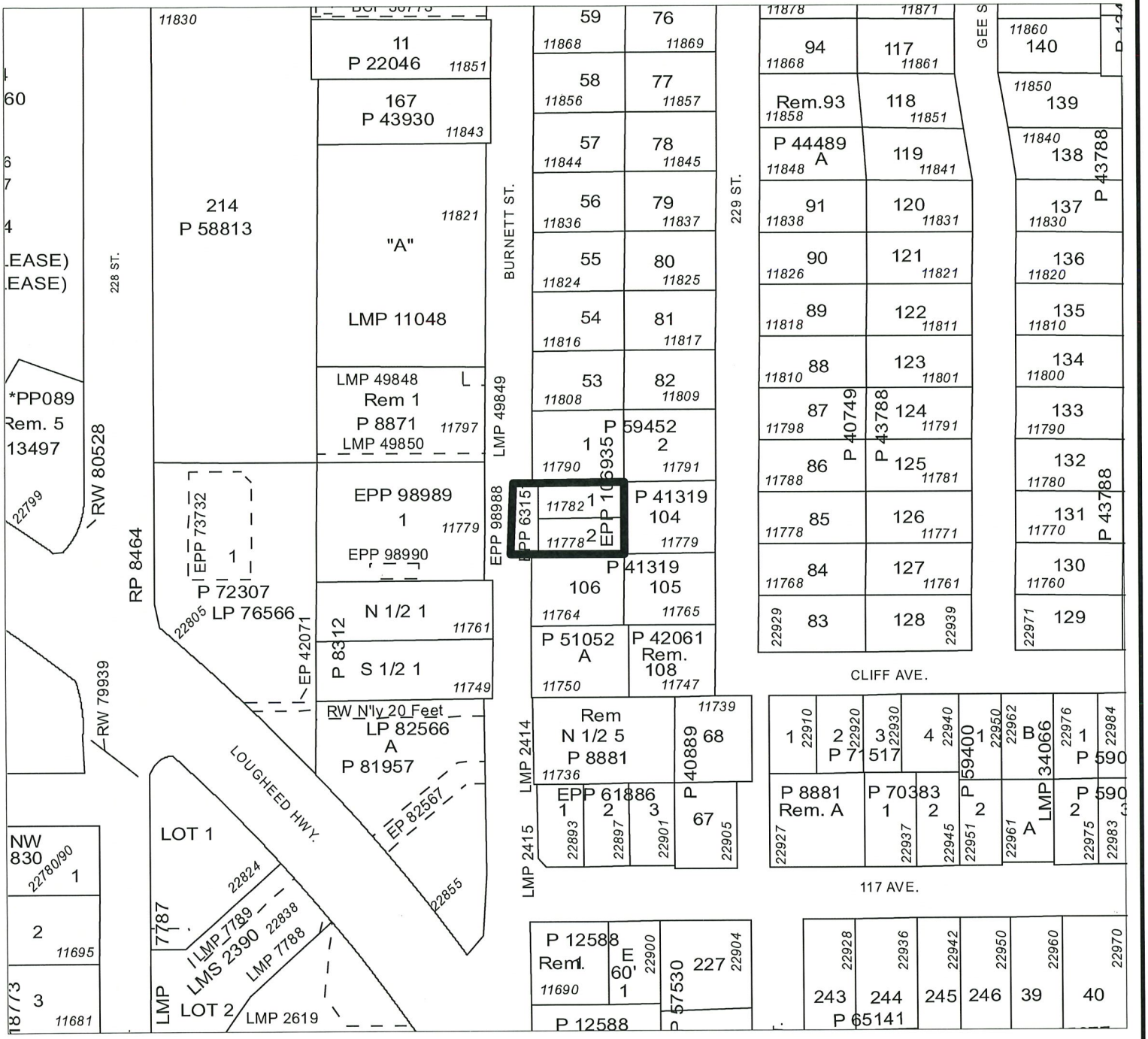
From: RS-1b (One Family Urban (Medium Density) Residential)
RS-1 (One Family Urban Residential)
R-2 (Urban Residential District)
R-1 (Residential District)
RST-SV (Street Townhouse - Silver Valley)

To:
- RS-1b (Single Detached (Medium Density) Residential)
- RS-1 (Single Detached Residential)
- R-1 (Single Detached (Low Density) Urban Residential)
- R-2 (Single Detached (Medium Density) Urban Residential
- RST-SV (Street Residential Townhouse - Silver Valley)

MAPLE RIDGE
British Columbia

N

SCALE 1:3,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1912

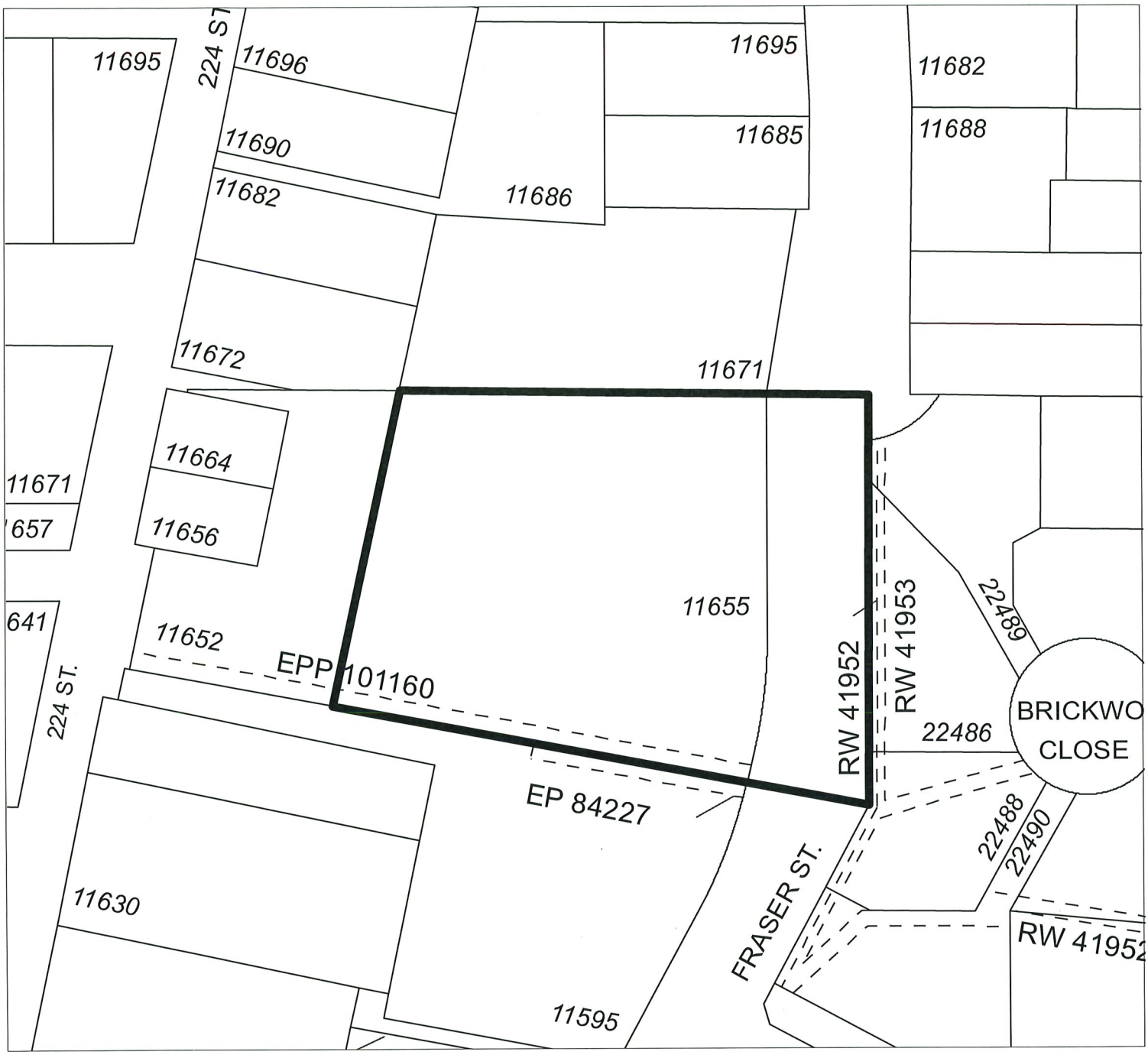
From: R-1 (Residential District)

To: R-1 (Single Detached (Low Density) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



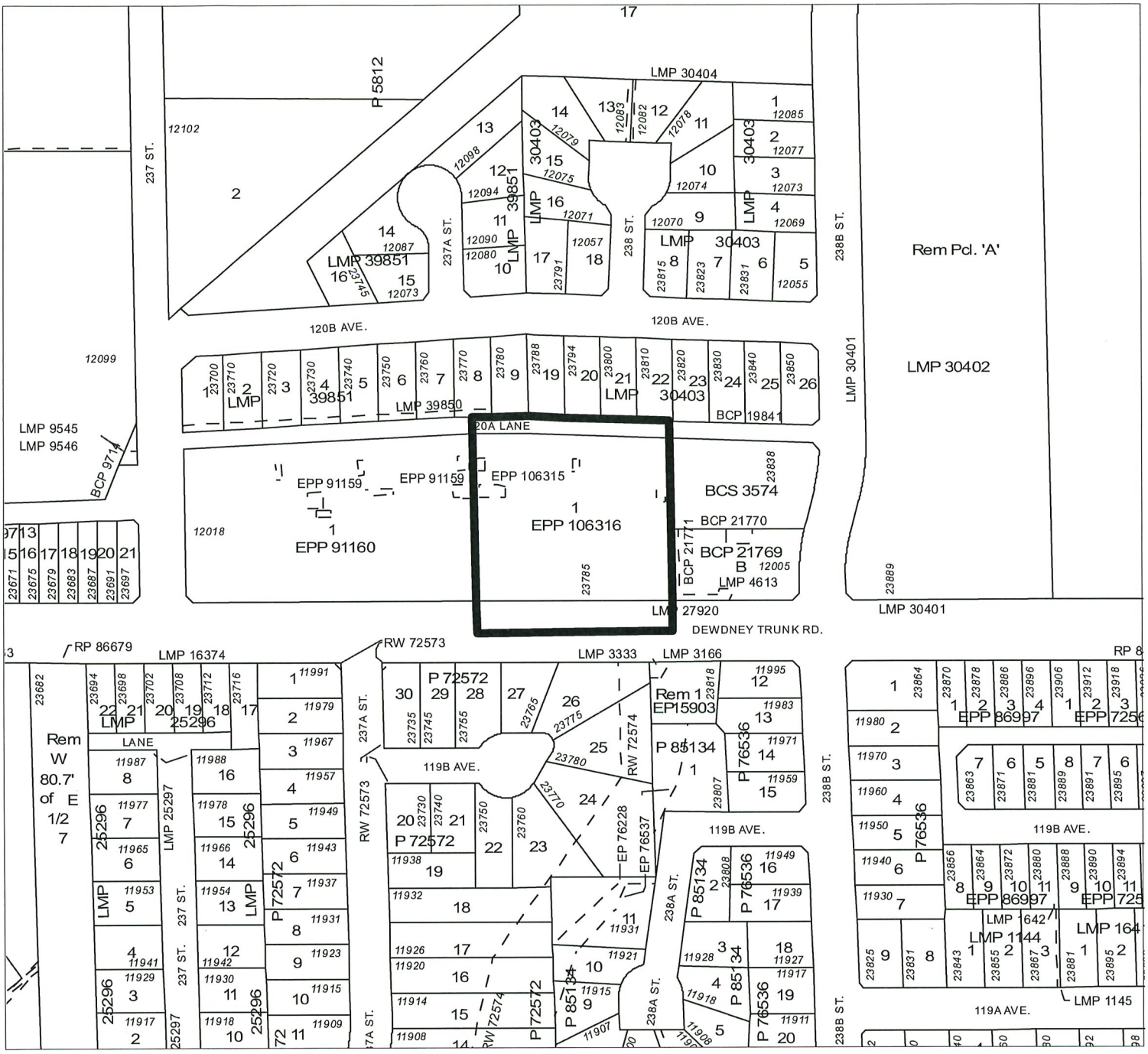
MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021
Map No. 1913
From: RM-2 (Medium Density Apartment Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N
SCALE 1:1,132



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1914

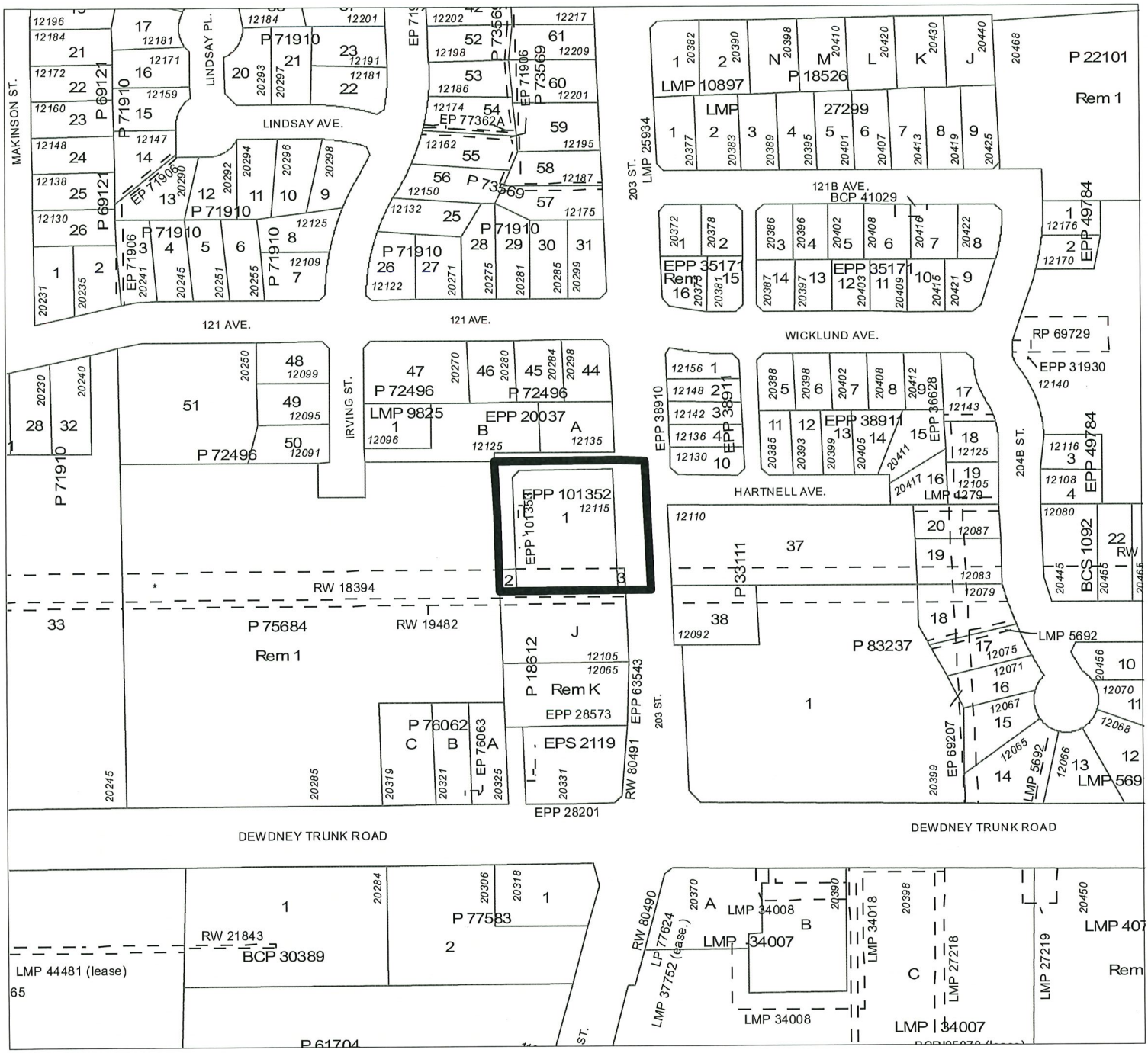
From: RM-1 (Townhouse Residential)

To: RM-1 (Low Density Townhouse Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1915

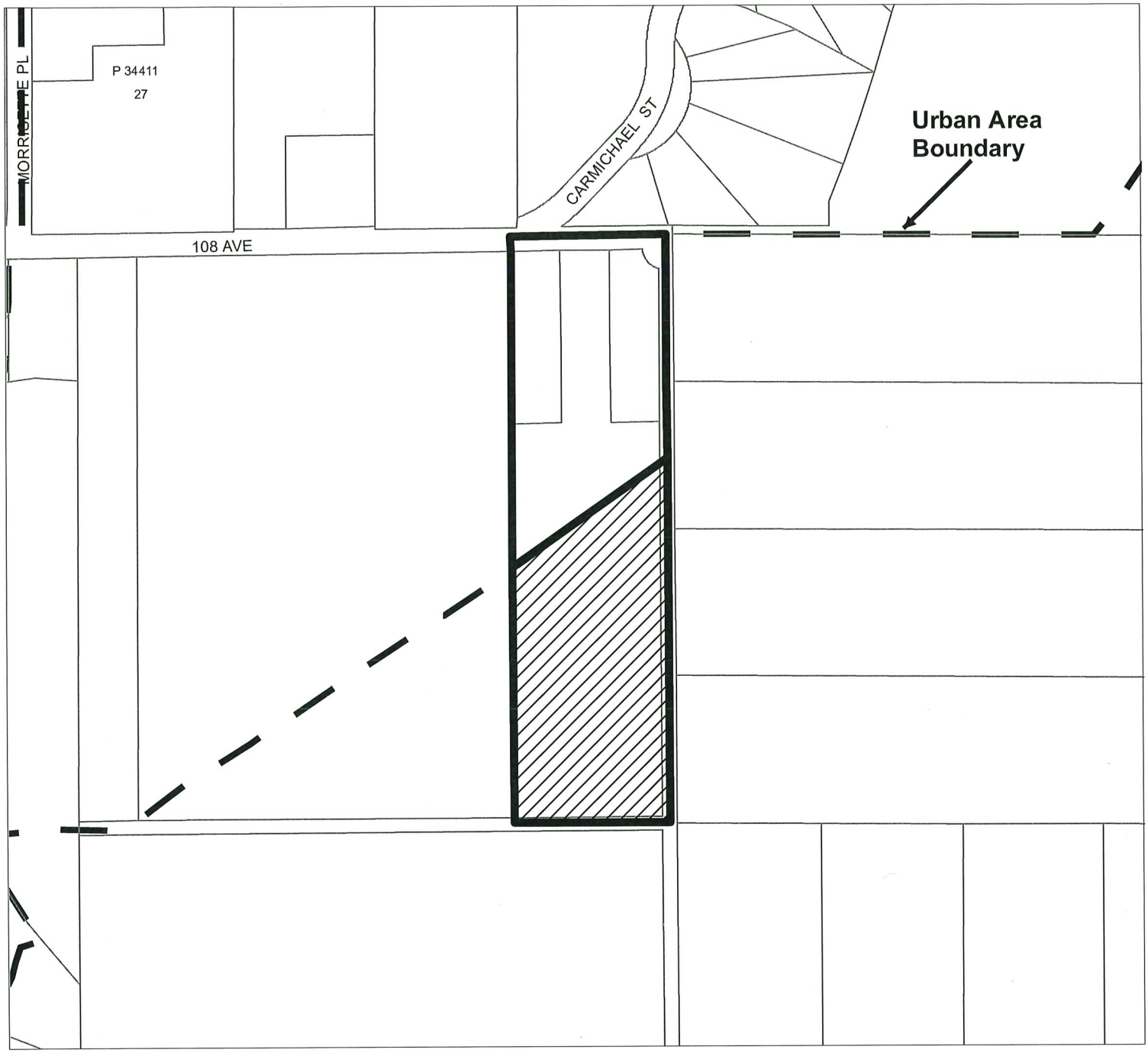
From: RM-1 (Townhouse Residential)

To: RM-1 (Low Density Townhouse Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

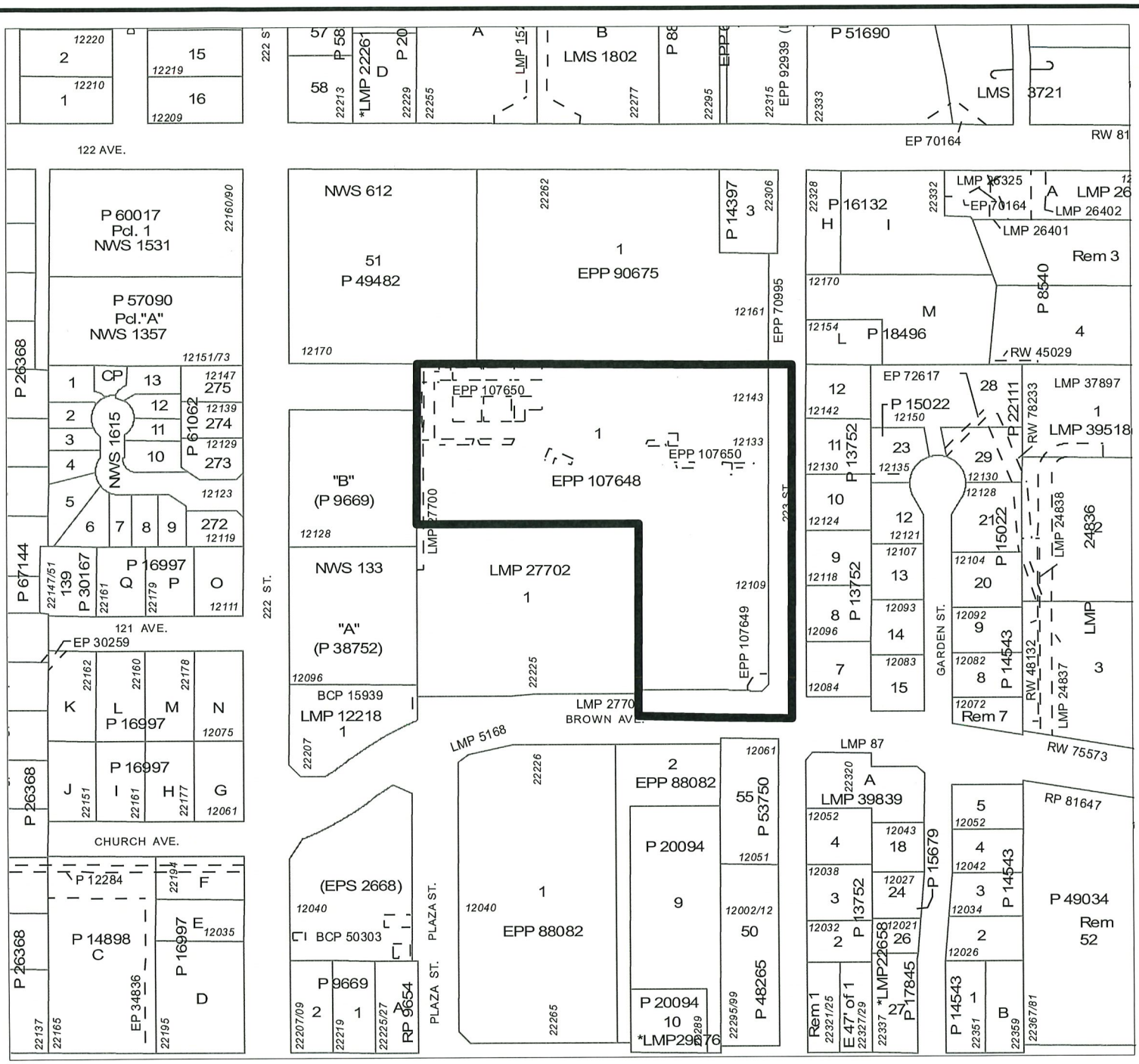
Bylaw No. 7749-2021
Map No. 1916
From: RS-2 (Single Family Suburban Residential)
A-1 (Small Holding Agricultural)
To: RS-2 (Single Detached Suburban Residential)
A-1 (Small Holding Agricultural)

MAPLE RIDGE
British Columbia

– – Urban Area Boundary

N

SCALE 1:4,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1917

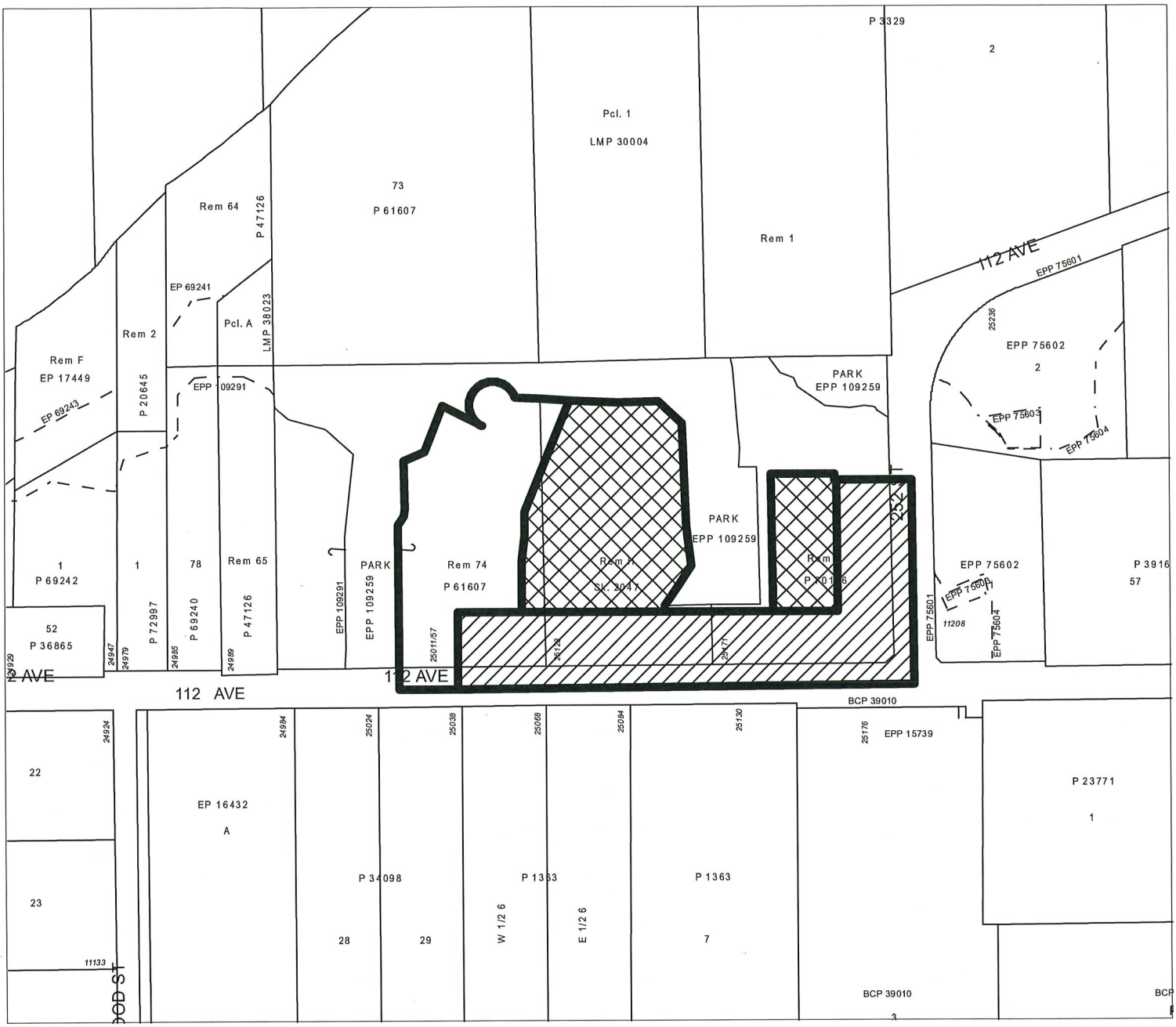
From: RM-2 (Medium Density Apartment Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1918

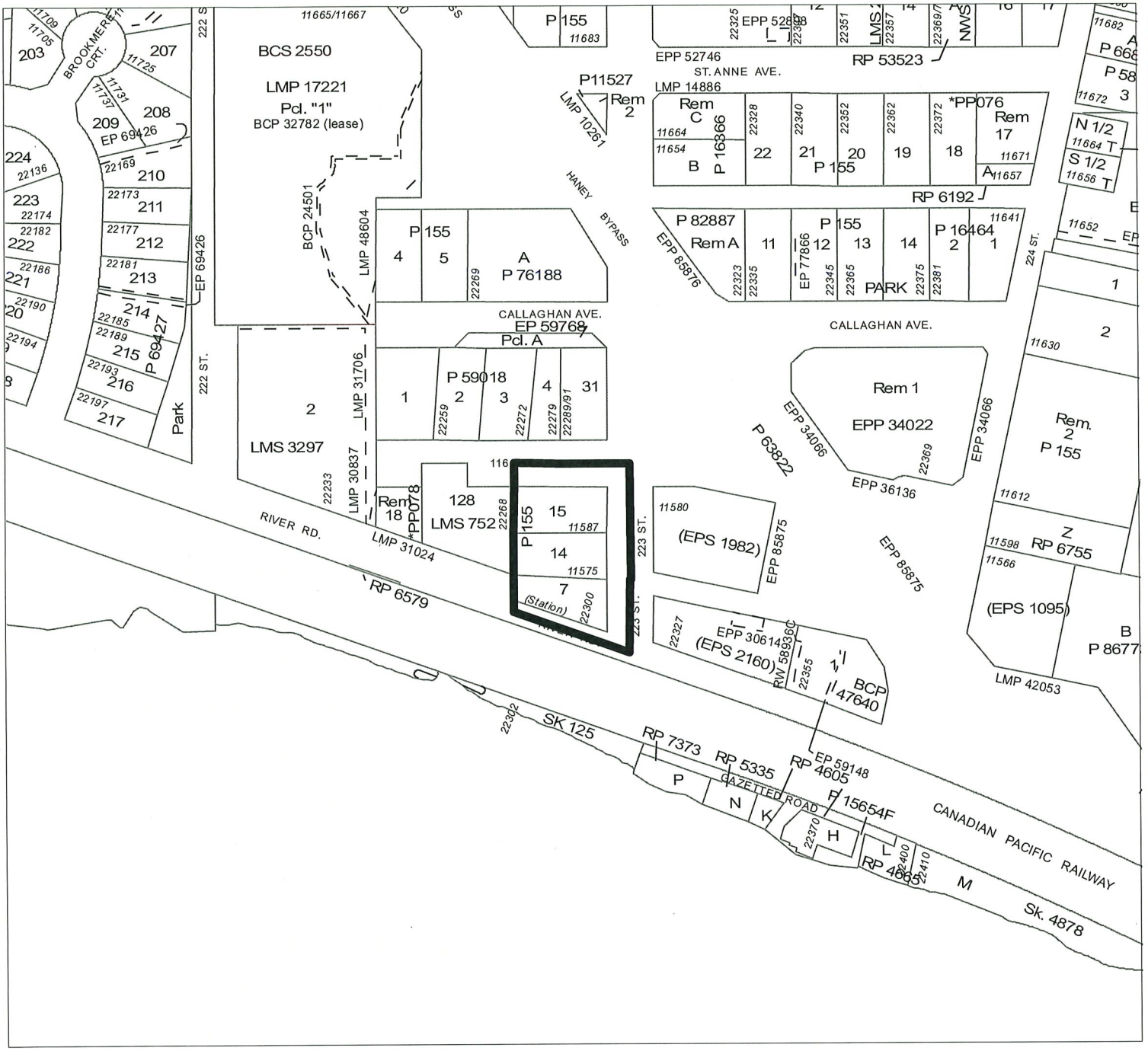
From: R-1 (Residential District), R-2 (Urban Residential District), R-3 (Special Amenity Residential District)

To:
- R-1 (Single Detached (Low Density) Urban Residential)
- R-2 (Single Detached (Medium Density) Urban Residential)
- R-3 (Single Detached (Intensive) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:3,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1919

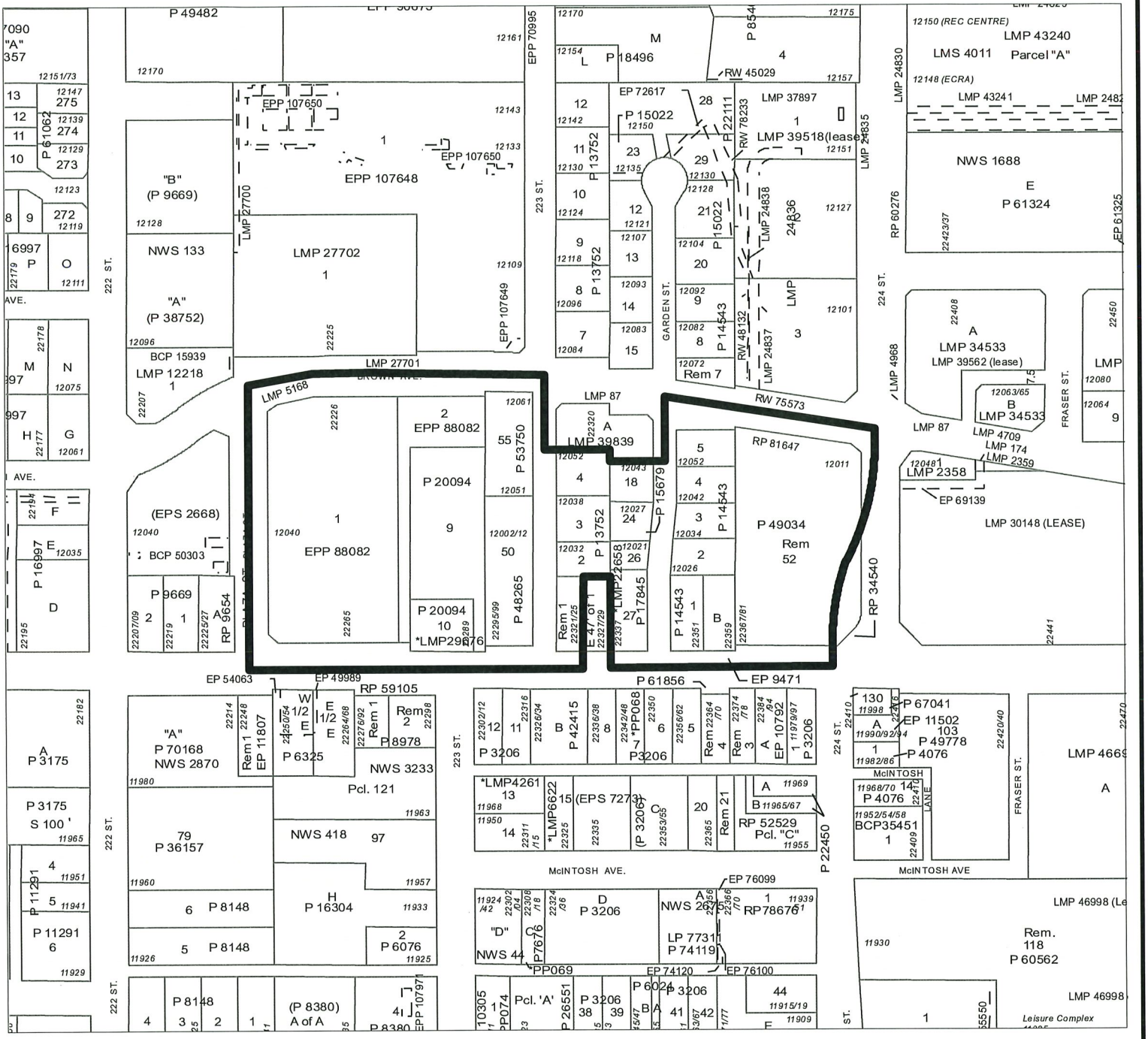
From: RM-2 (Medium Density Apartment Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1920

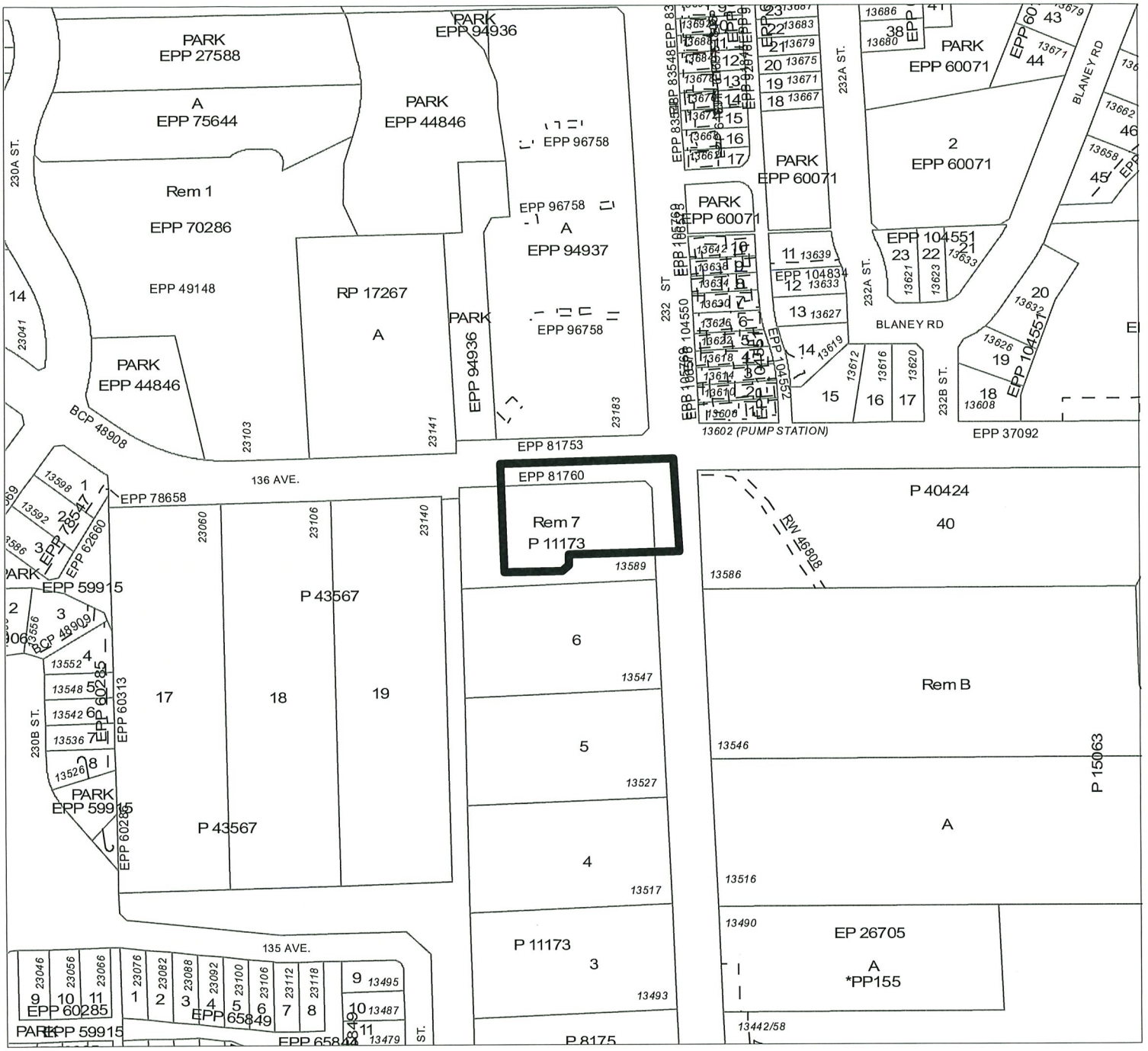
From: CD-1-17 (Comprehensive Development)

To: CD-1-17 (Comprehensive Development)

MAPLE RIDGE
British Columbia

N

SCALE 1:3,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1921

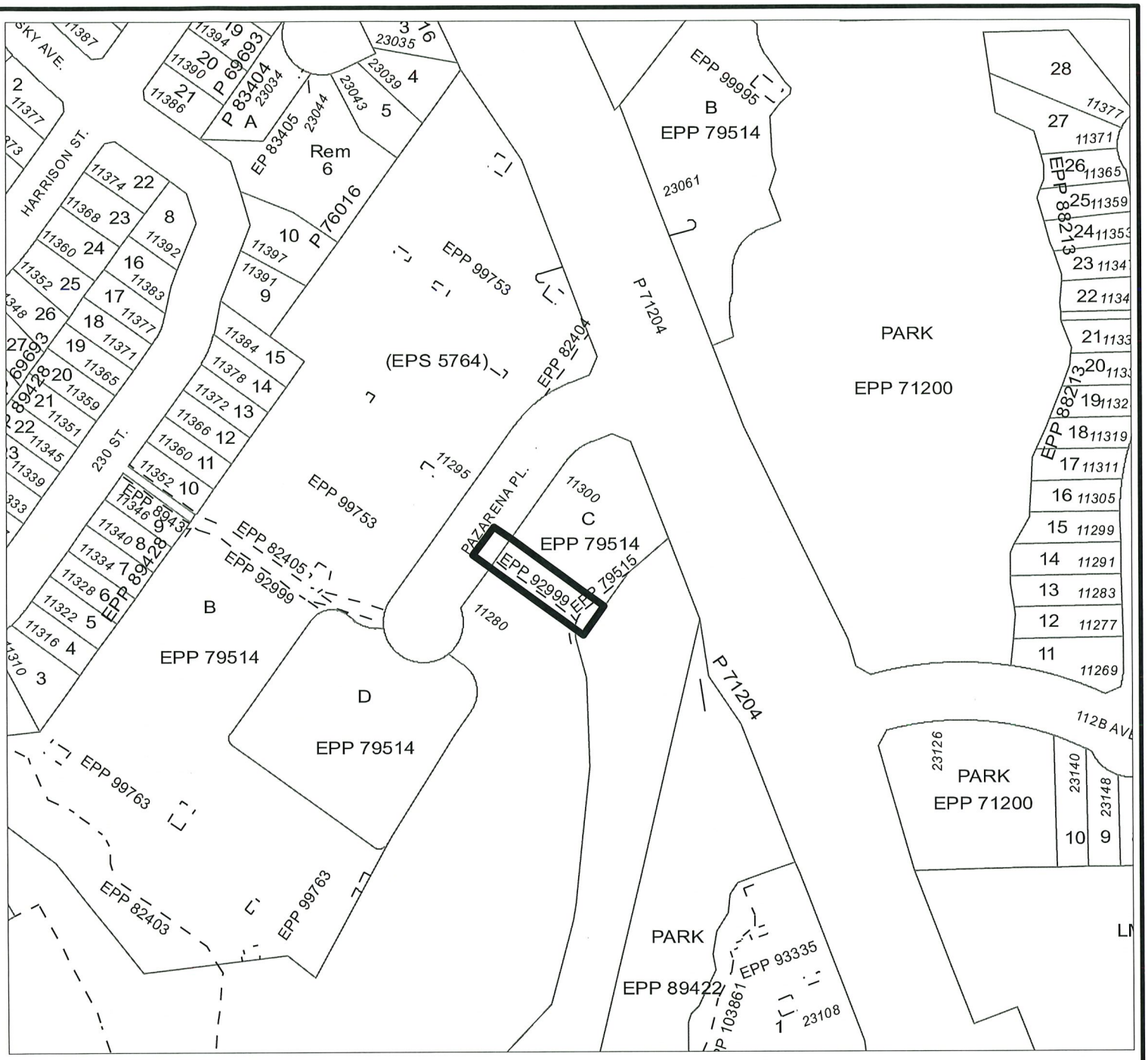
From: R-1 (Residential District)

To: R-1 (Single Detached (Low Density) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:220,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1922

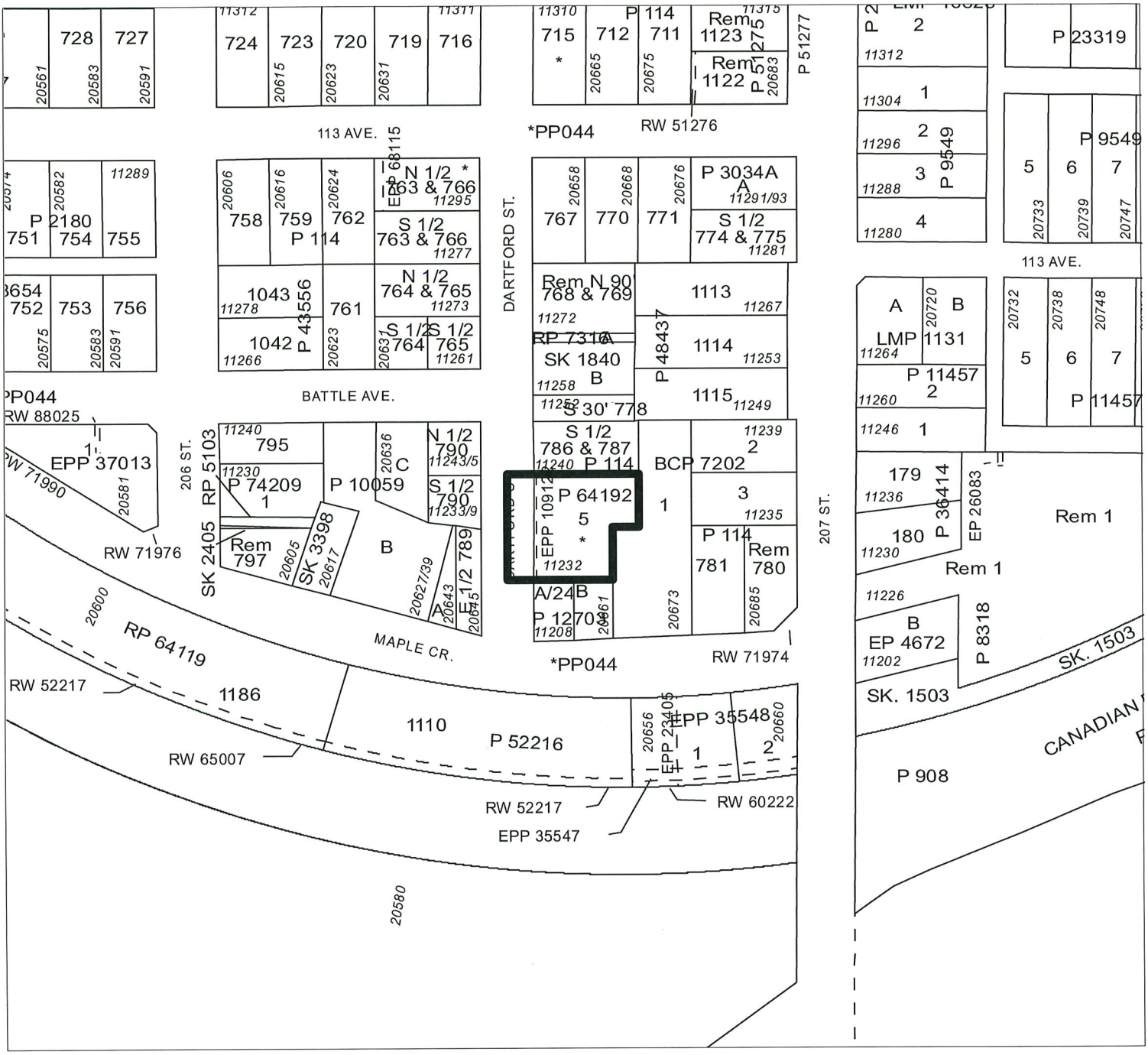
From: C-1 (Neighbourhood Commercial)

To: C-1 (Neighbourhood Commercial)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1923

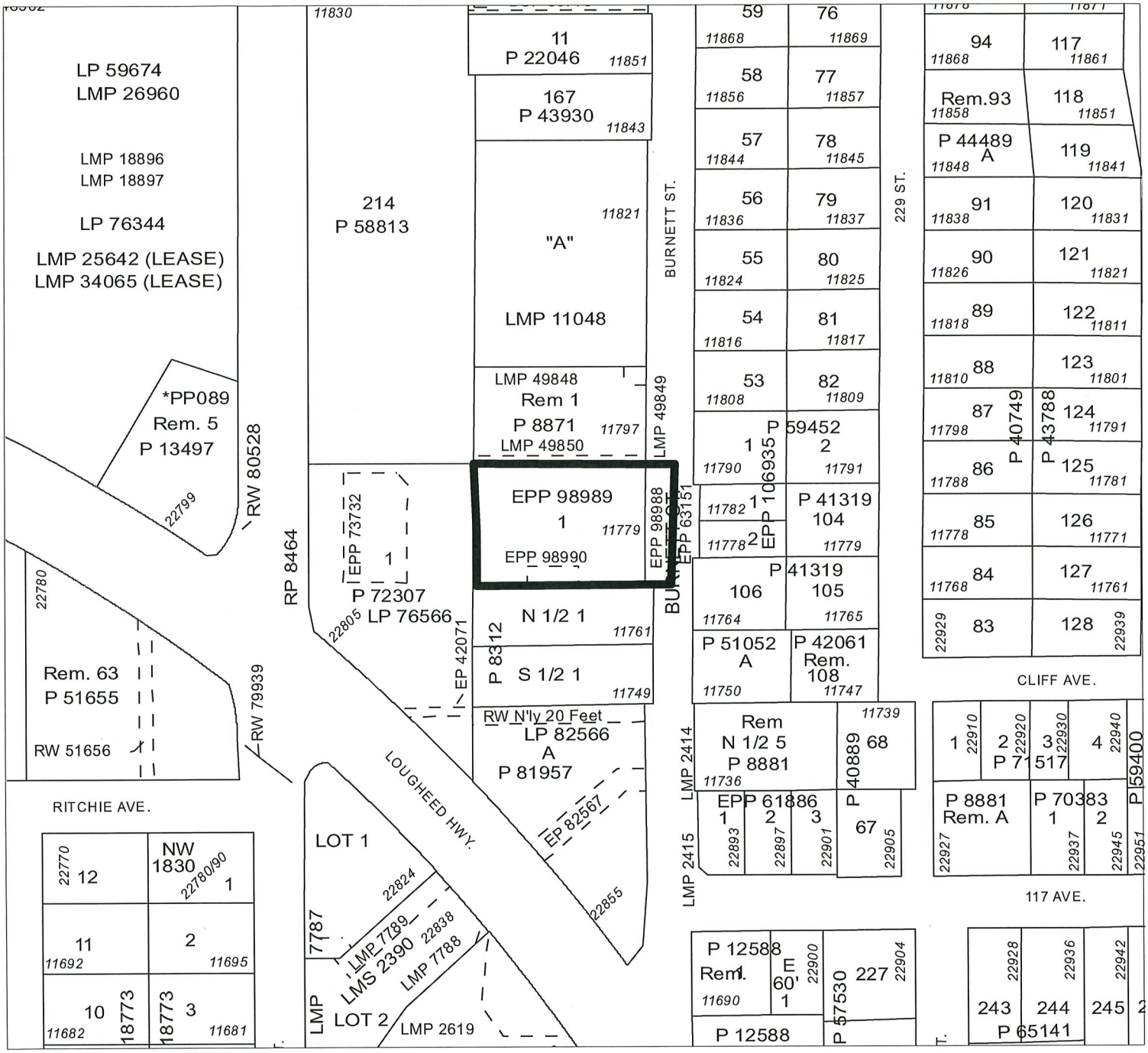
From: H-1 (Heritage Commercial)

To: H-1 (Heritage Commercial)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1924

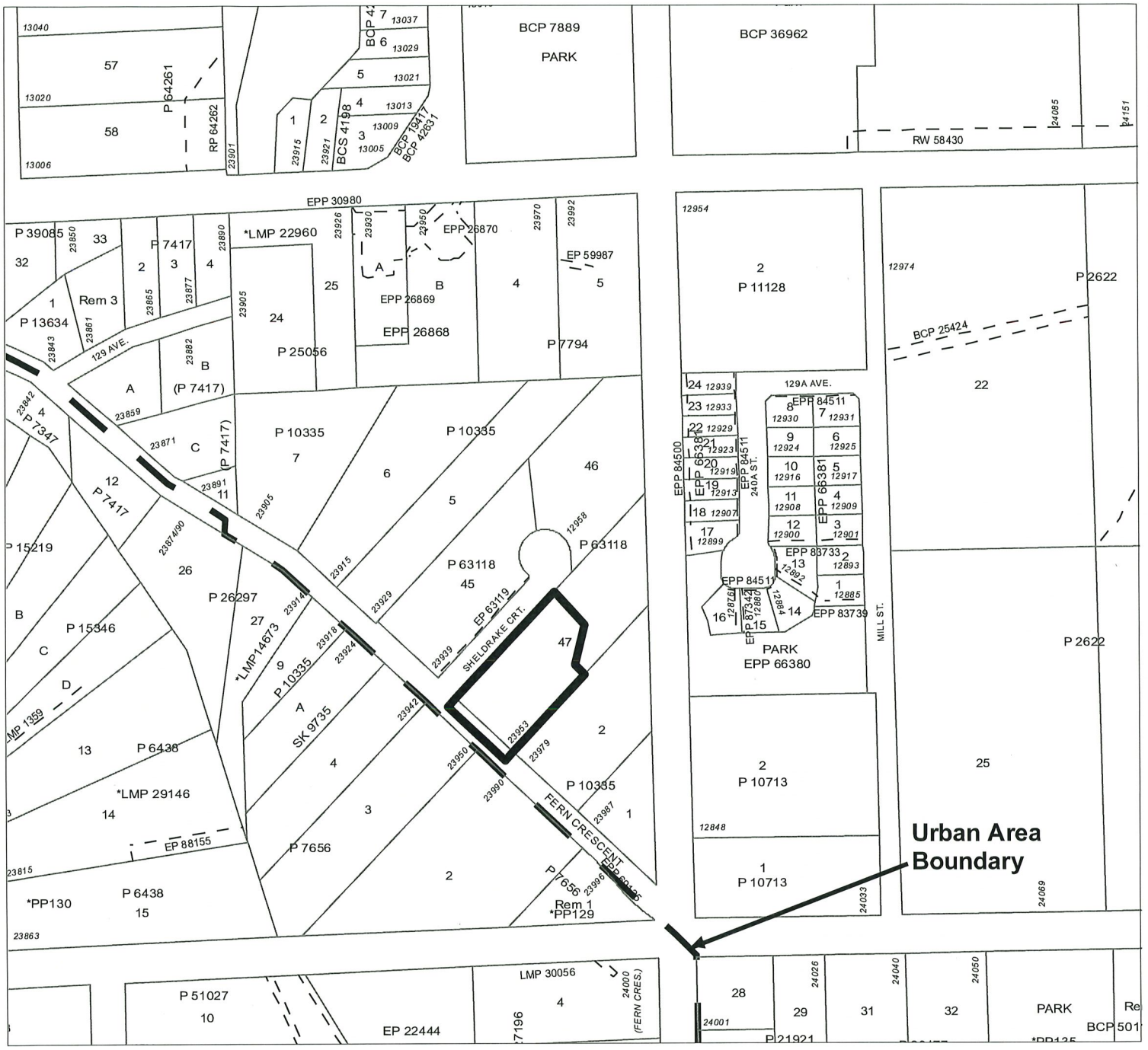
From: RM-2 (Medium Density Apartment Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1925

From: RS-1b (One Family Urban (Medium Density) Residential)

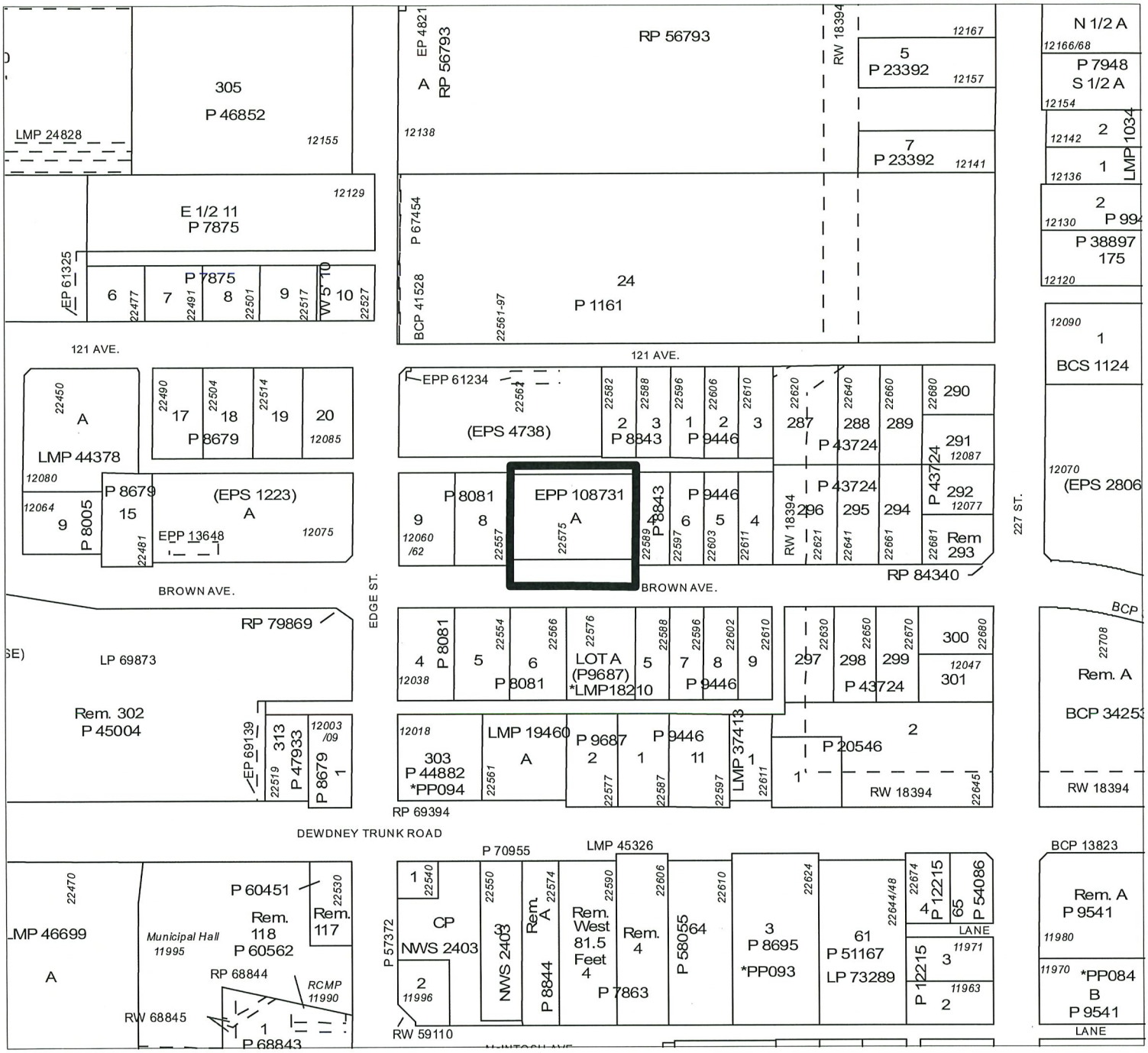
To: RS-1b (Single Detached (Medium Density) Residential)

MAPLE RIDGE
British Columbia

— — Urban Area Boundary

N

SCALE 1:3,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1926

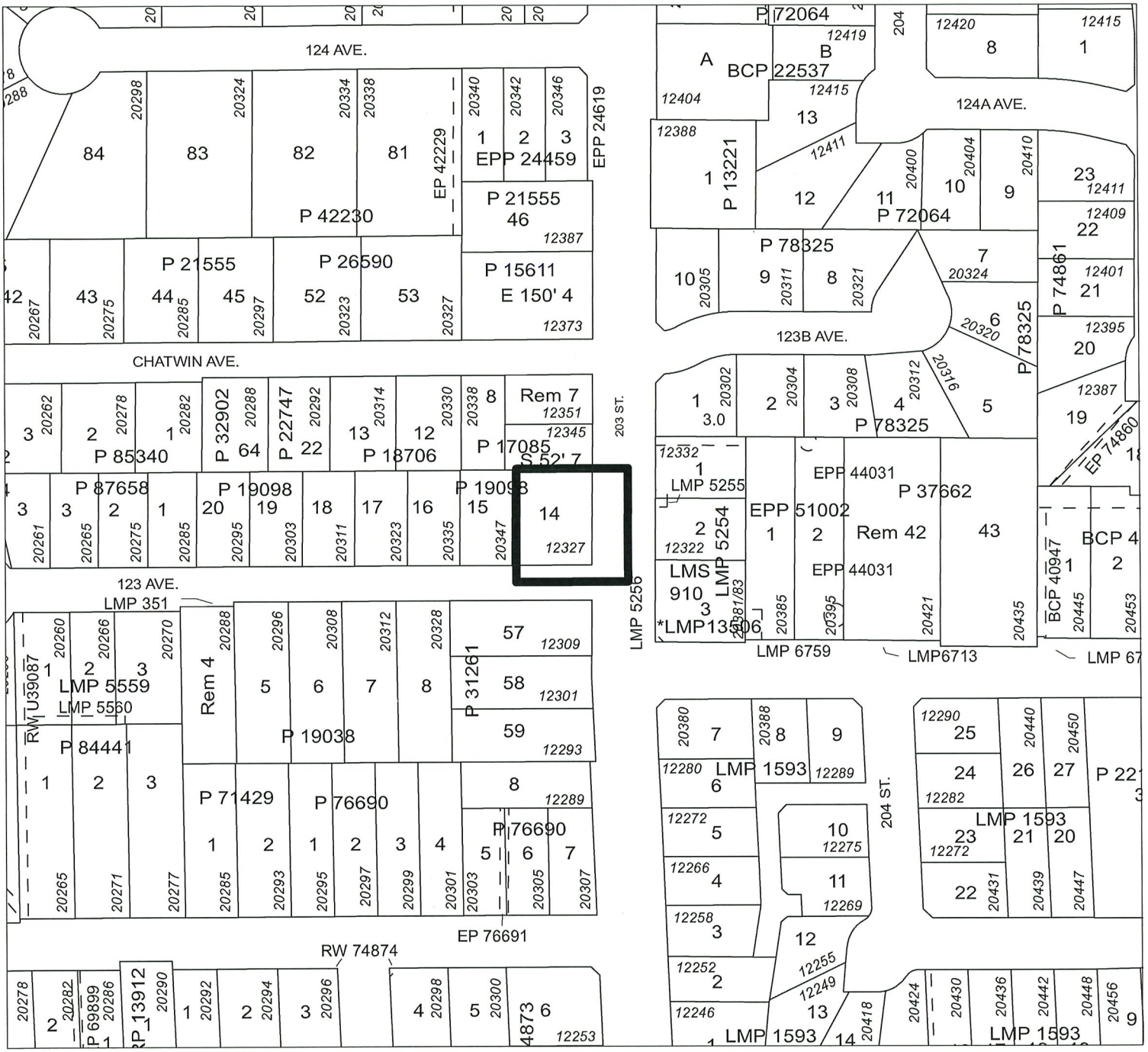
From: RM-2 (Medium Density Apartment Residential)

To: RM-2 (Medium Density Apartment Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1933

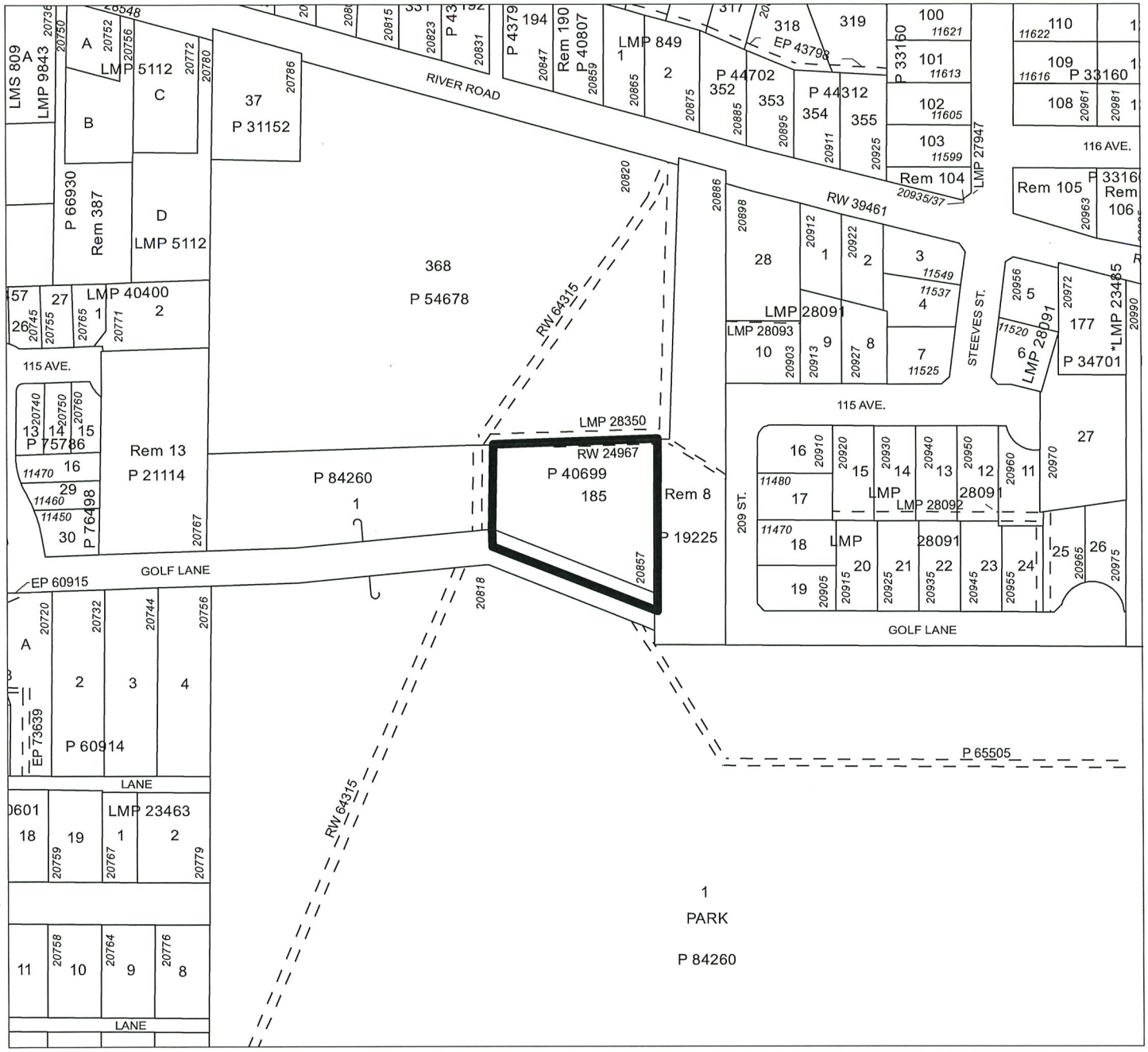
From: R-1 (Residential District)

To: R-1 (Single Detached (Low Density) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,000



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7749-2021

Map No. 1934

From: R-1 (Residential District)

To: R-1 (Single Detached (Low Density) Urban Residential)

MAPLE RIDGE
British Columbia

N

SCALE 1:2,500

Zoning Bylaw No. 7600-2019

Housekeeping Amendments Mark-up – in chronological order:

202.1 IN THIS BYLAW, UNLESS THE CONTEXT OTHERWISE REQUIRES:

AGRICULTURAL, URBAN means a *Use* providing for the growing of plants for the purposes of, including but not limited to, food, fibre, and decorative purposes in ~~a~~ ground, wall, or roof gardens. ~~by a business or non-profit organization, with the garden being managed and maintained by the business or non-profit organization~~. Refer to Section 401 (Permitted Uses of Land, Buildings, and Structures) of this Bylaw.

BUILDING FACE means the vertical plane formed by the extreme outer surface of the *Building*'s exterior walls. ~~but does not include projections exempted under~~ Refer to Section 403 (Siting Exceptions) of this Bylaw. Refer to Section 403 (Highest Building Face) of this Bylaw. ~~The *Building Face* includes the outer face of posts *used for* supporting roofs over patios, decks, porches, balconies and other exterior platforms.~~

CLASSES OF ASSISTED LIVING RESIDENCES are as follows: (a) mental health, for adults receiving assisted living services due primarily to a mental disorder; (b) seniors and persons with disabilities, for adults receiving assisted living services due primarily to chronic or progressive conditions linked to the aging process or a disability; and (c) *Supportive Recovery Housing* and Transitional Housing, for adults receiving assisted living services due primarily to alcohol and drug substance use or for transitioning from temporary to permanent housing, and where assisted living services are as defined in the *British Columbia Community Care Assisted Living Act*.

GRADE, AVERAGE FINISHED means the average of the *Finished Grade* around the *Building*'s perimeter measured at each of the outermost exterior corners of the *Building*. An approved *Comprehensive Lot Grading Plan* may apply. In the case of a *Townhouse Residential Use* or *Street Townhouse Residential Use* the *Average Finished Grade shall* be the average of the *Finished Grade* at the four outermost corners of each *Dwelling Unit*, located where either the outermost side~~wall face~~ *Building Face* or the common wall separations intersect with the frontmost and rearmost *Building Face*~~s~~ of the ~~*Principal Building*~~. *Dwelling Unit.* In the case of an *Apartment Residential Use* or other *Building* constructed on an *Underground Structure* for parking the *Average Finished Grade shall* be the measured at the base of the *Building*.

GRADE, AVERAGE NATURAL means the average of the *Natural Grade* around the *Building*'s perimeter measured at each of the outermost exterior corners of the *Building*. In the case of a *Street Townhouse Residential Use* or *Townhouse Residential Use*, the *Average Natural Grade shall* be the average of the *Finished Grade* at the four outermost corners of each *Dwelling Unit*, located where either the outermost side~~wall face~~ *Building Face* or the common wall separations intersect with the frontmost and rearmost *Building Face*~~s~~ of the ~~*Principal Building*~~. *Dwelling Unit*.

HEIGHT, BUILDING means the ~~greatest~~ vertical distance of a *Building* measured between either the *Average Natural Grade* or *Average Finished Grade*. Refer to Section 403 (Building Height) of this Bylaw.

LOT AREA means the total area of a *Lot* taken in a horizontal plane within the *Lot Line*s of the *Lot*, excluding any portions of the *Lot* required for: *Panhandle*; ~~or~~ dedicated Public Road Allowance; dedicated Public *Park*; and dedicated *Park* for ~~or~~ Conservation Protection. Restrictive Covenant~~s~~, Easement~~s~~, and ~~or~~ Right-of-Way areas *shall* form part of the *Lot Area*.

RESIDENTIAL, ELDERLY CITIZENS means ~~for the~~ a *Residential Use* for the accommodation of elderly persons. (Bylaw 7723-2021)

SETBACK means the horizontal distance from a ~~*designated*~~ *Lot Line* ~~boundary~~ or other feature to a *Building*, *Structure* or other feature on the *Lot*. Refer to Section 403 (Siting Exceptions) of this Bylaw.

SETBACK, FRONT means the *Setback* ~~distance,~~ as *designated* elsewhere in this Bylaw, between the *Front Lot Line* and a parallel line which intersects the side *Lot Line*s.

SETBACK, REAR means the *Setback* ~~distance,~~ as *designated* elsewhere in this Bylaw, between the *Rear Lot Line* and a parallel line which intersects the side *Lot Line*s.

SETBACK, SIDE means the *Setback* ~~distance,~~ as *designated* elsewhere in this Bylaw, between an *Exterior Side Lot Line* or *Interior Side Lot Line* and a parallel line which intersects the *Front Lot Lines* and *Rear Lot Line*s.

SPECIAL NEEDS HOUSING includes *Transitional Housing* for the following classes of *Assisted Living Residences*: Mental Health, Seniors and Persons with Disabilities, *Supportive Recovery Housing* and *Transitional Housing*.

TANDEM PARKING means the placement of one *Off-Street Parking* space behind another *Off-Street Parking* space, such that only one *Off-Street Parking* space has unobstructed access to a drive aisle, driveway or highway.

VAPE RETAIL – means a *Principal Use* ~~*Retail Use*~~ devoted to *Retail* sales of products and devices pertaining to electronic nicotine delivery system (*ENDS*) or electronic non-nicotine delivery systems (*ENNDS*).

302.4 SPLIT ZONED LOT

1. A Split Zoned Lot is a lot that contains more than one Zone. The following requirements for each applicable zone shall apply for the use of each area of the lot for which it is zoned as if the zone boundary were a lot line:
   a. Principal and Accessory Uses;
   b. Density;
   c. Lot Coverage;
   d. Setbacks;
   e. Height;
   f. Landscaping and Screening;
   g. Parking and Loading;
   h. Other Requirements.

2. A Split Zoned Lot shall not be developed as separate lots.

303.4 TRANSPORTATION ACT

1. For *Lots* abutting a controlled access highway, the setbacks, servicing and subdivision regulations of the British Columbia Transportation Act [SBC 2004] *shall* prevail.

401.2 PERMITTED USES OF LAND, BUILDINGS AND STRUCTURES

1. The following *Uses* *shall* be permitted in all *Zones*:
   a. *Accessory Buildings and Accessory Structures;*
   b. *Accessory Off-Street Loading;*
   c. *Accessory Off-Street Parking*;
   d. *Park*;
   e. *Public Service*; and
   f. *Urban Agricultural*.

401.4 ACCESSORY BUILDINGS, STRUCTURES AND USES

3. A *Portable Storage Shelter* *used for* the display or storage of *Vehicles*, goods or materials *shall*:
   b. be sited in compliance with the *Setbacks* for *Accessory Buildings and Accessory Structures* for the *Zone* on which it is located; but *shall* not be located between the front ~~face~~ *Building Face* of *Principal Buildings and Principal Structures* and the *Front Lot Line*;

402.11 DETACHED GARDEN SUITE RESIDENTIAL

2. *Lot Area for a Detached Garden Suite Residential Use*:
   b. for *Lots* with a *Lot Area* less than 0.4 hectares:
      (i) *shall* be located on the *First Storey* of a one *Storey Building*; or
      (ii) for *Lots* with *Lane* access, ~~*shall*~~ may be located on the second *Storey* of a *Building* above an *Accessory Residential Use* or an *Off-Street Parking Use*;

4. *Building Height for a Building with a Detached Garden Suite Residential Use*:
   a. for *Lots* with a *Lot Area* less than 0.4 hectares ~~*Building Height;*~~
   b. for *Lots* with a *Lot Area* greater than or equal to 0.4 hectares ~~*Building Height;*~~
   c. the Height of the ~~*Building Height*~~ *shall* not exceed 7.5 metres specific to the following *Lot*:
      (i) Lot 34, except: part subdivided by Plan BCP13892, Section 24, Township 12, New Westminster District Plan LMP19841. PID: 019-045-824. 26378 126 Avenue

   where the Height is measured, as per Zoning Bylaw No. 3510-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

   BUILDING HEIGHT BASE LINE - means:
   (a) averaging the two front Datum Determination Points on the lot; and

(b) averaging the two rear Datum Determination Points on the lot; and
(c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms.

6. For *Lot*s located within the Agricultural Land Reserve:

~~(i) the *Detached Garden Suite Residential Use shall* be approved by the Agricultural Land Commission;~~

~~(ii)~~ a. the Agricultural Land Commission Act and its Regulations *shall* prevail;

~~(iii)~~ b. the *Detached Garden Suite Residential Use shall* comply with the *Farm Home Plate* requirements. Refer to Section 402 (Farm Home Plate) of this Bylaw.

8. A *Detached Garden Suite Residential Use* is subject to the following provisions:

c. ~~*shall* require that the registered owner of the *Lot* enters into a *Housing Agreement* with the City of Maple Ridge and that a Section 219 Restrictive Covenant in favour of the City of Maple Ridge be registered at the Land Title Office prior to the issuance of a Building Permit for the *Detached Garden Suite Residential Use*. The Section 219 Restrictive Covenant *shall* require that either the *Single Detached Residential Use* or the *Detached Garden Suite Residential Use* be occupied by the registered owner;~~

402.12 FARM HOME PLATE

1. For *Lot*s within the Agricultural Land Reserve and that are subject to the Agricultural Land Commission Act and its Regulations, the following limitations to *Residential Development shall* apply:

402.14 HOME OCCUPATION

9. A *Home Occupation shall* be prohibited for the following *Use*s:

d. external structural alterations to the *Principal Building*, ensuring that there *shall* be no exterior indication that the *Building* is *used for* a purpose other than a *Residential Use*, except for signage permitted in accordance with Maple Ridge Sign Bylaw No.~~4653-1992~~ 7630-2020;

402.24 SECONDARY SUITE RESIDENTIAL

1. *Secondary Suite Residential Use* is subject to the following provisions:

e. ~~*shall* be permitted on the condition that the registered owner of the *Lot* enter into a *Housing Agreement* and a Section 219 Restrictive Covenant with the City of Maple Ridge which *shall* be registered at the Land Title Office prior to the issuance of a Building Permit for the *Secondary Suite Residential Use*. The Section 219 Restrictive Covenant *shall* require that either the *Single Detached Residential Use* or the *Secondary Suite Residential Use* be occupied by the registered owner;~~

402.27 TEMPORARY RESIDENTIAL

3. *Lot*s located within the Agricultural Land Reserve:

   ~~c. *shall* be approved by the Agricultural Land Commission prior to the issuance of a Building Permit.~~

403.2 SITING EXCEPTIONS

3. For cantilevered architectural features that project beyond the ~~face of the *Building*~~, *Building Face*, including but not limited to bay windows, hutches, fireplaces, and entertainment centres, the minimum *Setback* to an adjacent *Lot Line*, as permitted elsewhere in this Bylaw, *shall* be reduced by not more than 0.6 metres provided that:

   a. the *Setback* between the projection and the adjacent *Interior Side Lot Line* *shall* be not less than 0.9 metres;

   b. any single projection *shall* not exceed a horizontal length of 3.0 metres; and

   c. the total length of all projections on each ~~face of a *Building*~~ *Building Face* *shall* not exceed 40% of the total horizontal length of the ~~face of the *Building*~~ *Building Face* where the projection occurs.

4. Above grade stairs may project beyond the building face with no minimum setback to an abutting front lot line or rear lot line, provided that stair landings shall not exceed a maximum dimension of 1.2 metres by 1.2 metres and stair landings shall not exceed a height of 1.5 metres above the finished grade.

5. Where masonry chimneys, chimney enclosures, eaves, sunlight control projections, canopies, ~~above grade stairs~~, porches or un*Enclosed* balconies project beyond the *Building Face*, the minimum *Setback* to:

403.3 GROSS FLOOR AREA EXEMPTIONS

1. For *Building*s in the RM, RST, RST-SV, RT-2, Commercial and CD (Comprehensive Development) *Zone*s, the *Residential Gross Floor Area* *shall* be measured to the ~~exterior surface of the exterior wall~~ *Building Face* but *shall* exclude:

403.4 BUILDING HEIGHT

3. The *Building Height* for a *Townhouse Residential Building* *shall* be measured for each *Townhouse Dwelling Unit* separately as the vertical distance from the *Average Finished Grade* of the four outermost corners of each *Dwelling Unit*, located where either the outermost side~~wall face~~ *Building Face* or the common wall separations intersect with the frontmost and rearmost *Building Face*s of the *Dwelling Unit*.

403.7 HIGHEST BUILDING FACE

2. The highest *Building Face*:

   b. *shall* be established by applying a series of vertical lines, each 7.0 metres in *Height* from the *Finished Grade*, along the exterior of the highest *Building Face* or the outer face of a post that supports a roof over an exterior deck, and then continuing the vertical lines at a 45 degree angle in towards the *Building*. Vertical lines *shall* be required at each change of *Finished Grade* to determine the envelope over the entire *Building Face*. The top plate or top of supporting structure of the wall *shall* be within the measured envelope.

405.2 LANDSCAPE STANDARDS

3. *Landscaping shall* be provided in accordance with other applicable bylaws, including but not limited to the:

   g. Maple Ridge Fraser River Escarpment ~~Policies 6.23 and~~ Policy 6.24.

405.4 FENCE REQUIREMENTS

2. A *Fence* in a Residential *Zone shall:*

   a. not exceed 1.2 metres in *Height* on any portion of a *Lot*, except that a *Fence* not exceeding 2.0 metres in *Height shall* be permitted:

      ~~(i)~~ to the rear of the front ~~face of the *Building*~~ *Building Face* or the *Front Setback*, whichever is greater;

      ~~(ii)~~ to the interior of the exterior side ~~face of the *Building*~~ *Building Face* or the exterior *Side Setback*, whichever is greater; and

      ~~(iii)~~ on any portion of a *Panhandle Lot*, except the *Panhandle*;

3. A *Fence* in a Commercial *Zone shall:*

   a. not exceed 1.2 metres in *Height* on any portion of a *Lot*, except that a *Fence* not exceeding 2.0 metres in *Height shall:*

      (i) be permitted to the rear of the front ~~face of the *Building*~~ Building Face or the *Front Setback*, whichever is greater;

      (ii) be permitted to the interior of the exterior side ~~face of the *Building*~~ Building Face or the exterior *Side Setback*, whichever is greater; and

      (iii) on any portion of a *Panhandle Lot*, except the *Panhandle*;

407.2 MINIMUM LOT AREA AND DIMENSIONS

4. *Lot*s located within the Fraser River Escarpment Area shall comply with Maple Ridge Fraser River Escarpment Area ~~Policies 6.23 and~~ Policy 6.24.

501.7 SETBACKS

2. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Employee Residential*, *Produce Sales*, and all other *Accessory Use*s *shall* be not less than:

   e. from ~~*Residential Use Building*s~~ the Building Face of a Building for a Residential Use — 3.0 metres

3. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Use* and *Forest Resource Use shall* be not less than:

   f. from ~~*Residential Use Building*s~~ the Building Face of a Building for a Residential Use — 15.0 metres

4. The minimum *Setback*s for *Building*s and *Structure*s that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:

   f. from ~~*Residential Use Building*s~~ the Building Face of a Building — 30.0 metres

for a Residential Use

5. The minimum *Setback*s for *Building*s and *Structure*s for greenhouse *Use* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 15.0 metres

6. The minimum *Setback*s for *Building*s and *Structure*s for *Commercial Kennel* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s - same *Lot* the Building Face of a Building for a Residential Use — 15.0 metres

   g. from ~~*Residential Use Building*~~s - adjacent *Lot* the Building Face of a Building for a Residential Use — 91.0 metres

7. The minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres.

502.7 SETBACKS

2. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Employee Residential*, *Produce Sales*, and all other *Accessory* *Use*s *shall* be not less than:
   e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 3.0 metres

3. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural* *Use* and *Forest Resource* *Use* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 15.0 metres

4. The minimum *Setback*s for *Building*s and *Structure*s that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres

5. The minimum *Setback*s for *Building*s and *Structure*s for greenhouse *Use* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 15.0 metres

6. The minimum *Setback*s for *Building*s and *Structure*s for *Commercial Kennel* *shall* be not less than:
   f. from Residential ~~*Use Building*~~s - same *Lot* — 15.0 metres

the Building Face of a Building for a Residential Use

g. from ~~*Residential Use Buildings*~~ - adjacent *Lot* — 91.0 metres; and
the Building Face of a Building for a Residential Use

7. The minimum *Setbacks* for *Buildings* and *Structures* for *Cannabis, Commercial Production shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ — 30.0 metres
   the Building Face of a Building for a Residential Use

503.7 SETBACKS

1. The minimum *Setbacks* for *Buildings* and *Structures* for *Single Detached Residential Use shall* be not less than:
   c. from an *Interior Side Lot Line* — 1.5 metres, ~~however~~ and the sum of the two interior side setbacks *shall* be not less than 3.5 metres

2. The minimum *Setbacks* for *Buildings* and *Structures* for *Agricultural Employee Residential*, *Produce Sales*, and all other *Accessory Uses shall* be not less than:
   e. from ~~*Residential Use Buildings*~~ — 3.0 metres
   the Building Face of a Building for a Residential Use

3. The minimum *Setbacks* for *Buildings* and *Structures* for *Agricultural Use* and *Forest Resource Use shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ — 15.0 metres
   the Building Face of a Building for a Residential Use

4. The minimum *Setbacks* for *Buildings* and *Structures* that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ — 30.0 metres
   the Building Face of a Building for a Residential Use

5. The minimum *Setbacks* for *Buildings* and *Structures* for greenhouse *Use shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ — 15.0 metres
   the Building Face of a Building for a Residential Use

6. The minimum *Setbacks* for *Buildings* and *Structures* for *Commercial Kennel shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ - same *Lot* — 15.0 metres
   the Building Face of a Building for a Residential Use
   g. from ~~*Residential Use Buildings*~~ - adjacent *Lot* — 91.0 metres

the Building Face of a Building
for a Residential Use

7. The minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres

504.7 SETBACKS

1. The minimum *Setback*s for *Building*s and *Structure*s for greenhouse *Use* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 15.0 metres

2. The minimum *Setback*s for *Building*s and *Structure*s for *Single Detached Residential Use* *shall* be not less than:
   c. from an *Interior Side Lot Line* — 1.5 metres and the sum of the two interior side setbacks shall be not less than 3.5 metres

3. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Employee Residential*, *Produce Sales*, and all other *Accessory Use*s *shall* be not less than:
   e. from ~~*Single Detached Residential Use*~~ the Building Face of a Building for a Residential Use — 3.0 metres

4. The minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production Use shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres

505.7 SETBACKS

2. The minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres

601.7 SETBACKS

3. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 1.5 metres.

602.7 SETBACKS

3. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

e. from a *Principal Use*	4.5 metres, measured from the Building Face, or the face of any chimney, bay window, hutch or nook permitted elsewhere in this Bylaw.

603.7 SETBACKS

3. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

e. from a *Principal Use*	4.5 metres, measured from the Building Face, or the face of any chimney, bay window, hutch or nook permitted elsewhere in this Bylaw.

605.7 SETBACKS

2. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	1.5 metres

3. Minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Use* *shall* be not less than:

f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	15.0 metres

4. The minimum *Setback*s for *Building*s and *Structure*s that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:

f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	30.0 metres

5. Minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production* *shall* be not less than:

f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	30.0 metres

606.7 SETBACKS

2. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

a. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	1.5 metres

607.4 LOT AREA and DIMENSIONS

2. Minimum *Lot Area* and dimensions for a Density Bonus from RS-1b to R-1, subject to the Albion Area *Density Bonus* *Amenity Contribution* option *shall* be not less than:

a. in *Lot Area*	371.0 square metres
b. in *Lot Width*	12.0 metres, or 13.5 metres for a *Lot* on a *Street* corner.
c. in *Lot Depth*	24.0 metres
d. Refer to Other Requirements Section of this Zone.	

607.7 SETBACKS

2. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

a. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	1.5 metres

607.11 OTHER REQUIREMENTS

1. This *Zone* is subject to the Albion Area *Density Bonus* *Amenity Contribution* option which provides for a *Density Bonus* that is consistent with the R-1 *Zone* for *Lot*s located within the Albion Area Plan:
   a. the *Zone* requirements consistent with the R-1 *Zone* will apply and will supersede the *Zone* requirements of the RS-1b *Zone* for each *Lot* that is less than 557.0 square metres, but not less than 371.0 square metres, in *Lot Area*; and
   b. refer to Section 402 (Density Bonus for Albion Area) of this Bylaw.

608.7 SETBACKS

2. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:

a. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	1.5 metres

609.4 LOT AREA and DIMENSIONS

2. Minimum *Lot Area* and dimensions for a Density Bonus from RS-1d to RS-1b, subject to the Albion Area *Density Bonus* *Amenity Contribution* option *shall* be not less than:

a. in *Lot Area*	557.0 square metres
b. in *Lot Width*	15.0 metres
c. in *Lot Depth*	27.0 metres
d. Refer to Other Requirements Section of this Zone.	

609.7 SETBACKS

2. Minimum *Setbacks* for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 1.5 metres

609.11 OTHER REQUIREMENTS

1. This *Zone* is subject to the Albion Area *Density Bonus* *Amenity Contribution* option which provides for a *Density Bonus* that is consistent with the RS-1b *Zone* for *Lots* located within the Albion Area Plan:
   a. the *Zone* requirements consistent with the RS-1b *Zone* will apply and will supersede the *Zone* requirements of the RS-1d *Zone* for each *Lot* that is less than 2,000.00 square metres, but not less than 557.0 square metres, in *Lot Area*.
   b. refer to Section 402 (Density Bonus for Albion Area) of this Bylaw.

610.7 SETBACKS

2. Minimum *Setbacks* for *Buildings* and *Structures* for *Agricultural Use* *shall* be not less than:
   a. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 15.0 metres
3. The minimum *Setbacks* for *Buildings* and *Structures* that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 30.0 metres
4. Minimum *Setbacks* *Buildings* and *Structures* for greenhouse *Use* *shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 15.0 metres
5. The minimum *Setbacks* for *Buildings* and *Structures* for *Cannabis, Commercial Production* *shall* be not less than:
   f. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 30.0 metres
6. Minimum *Setbacks* for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Buildings*~~ the Building Face of a Building for a Residential Use — 15.0 metres

610.11 OTHER REQUIREMENTS

5. A *Density Bonus* is permitted on the *Lots* or tracts of land and premises known and described as:
   ~~a. Lot 1 Except: Firstly: Part on Plan 7806, Secondly: Part subdivided by Plan 38973 Section 28 Township 12 New Westminster District Plan 1105; 23598 Dogwood Avenue; and~~

~~b. Parcel One (Exp. Plan 8154) of Parcel "B" (Reference Plan 8155) of the Southeast Quarter of Section 28 Township 12 New Westminster District; 23627 Dogwood Avenue,~~

a. Lots 1 to 12 Section 28 Township 12 New Westminster District Plan EPP 56758; 12872 to 12967 235A Street;

provided that:

~~(i)~~ b. the owner *shall* dedicate *Park* land for the purpose of tree preservation, exclusive of Environmentally Sensitive Area lands and *Park* dedication required by British Columbia Local Government Act Section ~~941~~ 510 – Requirement for Provision of Park Land or Payment for Park Purposes;

~~(ii)~~ c. the owner *shall* dedicate as *Park* land at least 7,759.0 square metres in any subdivision containing one or more *Lot*s with an area of less than 0.4 hectares, as a condition of subdivision approval by the Approving Officer, such area to be acceptable to the Approving Officer for the purpose of preserving mature trees on the *Parent Parcel*.

~~(iii)~~ d. the maximum *Density Bonus* is:

~~(a)~~ (i) minimum *Lot Area* of 1,200.0 square metres;

~~(b)~~ (ii) minimum *Lot Width* of 24.0 metres;

~~(c)~~ (iii) minimum *Lot Depth* of 36.0 metres; and

~~(iv)~~ e. *Zone* requirements for the RS-1c *Zone* *shall* apply and supersede the *Zone* requirements for the RS-2 *Zone* for any subdivision approved for the above described *Lot*s or tracts of land.

6. A *Density Bonus* is permitted on the ~~parcels~~ lots or tracts of land and premises known and described as:

a. Lot 2 of the North West Quarter of Section 22 Township 12 Group 1 New Westminster Plan LMP22485. PID 023-066-733. 12516 240 Street.

b. Lot "A" Except: Parcel "One" (Explanatory Plan 13720) Section 21 Township 12 New Westminster District Plan 9912. PID. 008-159-645. 12599 240 Street;

c. Parcel "One" (Explanatory Plan 13720) Lot A Section 21 Township 12 New Westminster District Plan 9912. PID 011-437-391. 12599 240 Street; and

d. Lot A Section 22 Township 12 New Westminster District Plan LMP9379. PID 018-161-031. 12511 241 Street;

provided that:

e. in addition to *Park* land dedication required by Local Government Act Section 510 - Requirement for Provision of Park Land or Payment for Park Purposes, the owner dedicates *Park* land for the purpose of protection of environmentally sensitive lands and recreational purposes;

f. The base *Density* is a minimum subdivision lot area of 4,000.0 square metres, minimum subdivision lot width of 36.0 metres, and minimum subdivision lot depth of 60.0 metres. A *Density Bonus* is an option in the RS-2 *Zone* as follows:

i. The owner ~~must~~ shall dedicate as *Park* land at least 12,100.0 square metres in any subdivision containing one or more lots with an area of less than 4,000.0 square metres as a condition of subdivision approval by the Approving Officer, such area to be acceptable to the Approving Officer for the purpose of preserving mature trees on the *Parent Parcel*;

ii. The maximum *Density Bonus* is:

(a) minimum *Lot Area* of 1,012.0 square metres

(b) minimum *Lot Width* of 20.0 metres

(c) minimum *Lot Depth* of 30.0 metres

b. *Zone* requirements for the SRS (Special Urban Residential) *Zone* shall apply and supersede the *Zone* requirements for the RS-2 *Zone* for any subdivision.

7. A *Density Bonus* is permitted on the lots or tracts of land and premises known and described as:

   a. Lot 24 Section 28 Township 12 Group 1 New Westminster District Plan NWP38973. PID 008-549-371. 23585 128 Avenue.

   provided that:

   b. the owner shall dedicate Park land for the purpose of tree preservation, exclusive of Environmentally Sensitive Area lands and Park dedication required by British Columbia Local Government Act Section 941 - Provision of Park Land;

   c. the base density is a minimum subdivision lot area of 0.4 hectares, minimum subdivision lot width of 36.0 metres, and minimum subdivision lot depth of 60.0 metres;

   d. a density bonus is an option in the RS-2 zone as follows:
      (i) the owner shall dedicate as Park land at least 2,922.0 square metres in any subdivision containing one or more Lots with an area of less than 0.4 hectares, as a condition of subdivision approval by the Approving Officer, and such area to be acceptable to the Approving Officer for the purpose of preserving mature trees on the Parent Parcel;
      (ii) the maximum Density Bonus is:
         (a) minimum Lot Area of 1,200.0 square metres;
         (b) minimum Lot Width of 24.0 metres;
         (c) minimum Lot Depth of 36.0 metres; and

   e. Zone requirements for the RS-1c Zone shall apply and supersede the Zone requirements for the RS-2 Zone for any subdivision approved for the above described Lots or tracts of land.

611.7 SETBACKS

2. The minimum *Setback*s for *Building*s and *Structure*s for *Agricultural Use shall* be not less than:

f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	15.0 metres

3. The minimum *Setback*s for *Building*s and *Structure*s that involve mushroom growing, or the keeping of swine or poultry *shall* be not less than:

f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use	30.0 metres

4. The minimum *Setback*s for *Building*s and *Structure*s for greenhouse *Use* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 15.0 metres

5. Minimum *Setback*s for *Building*s and *Structure*s for *Cannabis, Commercial Production* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 30.0 metres

6. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 1.5 metres

611.11 OTHER REQUIREMENTS

1. An *Agricultural Use*, including the storage of fuel in tanks~~:~~
   a. *shall* not be permitted on a *Lot* of less than 0.4 hectares~~; and~~ .
   ~~a. *shall* not be permitted unless the *Lot* is *Designated* as "Agricultural" in the Maple Ridge Official Community Plan Bylaw No. 7060-2014.~~

614.7 SETBACKS

2. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 1.5 metres.

615.7 SETBACKS

3. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   f. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 1.5 metres.

616.1 PURPOSE

1. This *Zone* provides for infill ground-oriented *Residential* development as ~~*Courtyard Residential*~~ *Triplex Residential*, *Fourplex Residential* and *Courtyard Residential Use*s.

616.7 SETBACKS

3. Minimum *Setback*s for *Accessory Buildings and Accessory Structures* *shall* be not less than:
   e. from ~~*Residential Use Building*~~s the Building Face of a Building for a Residential Use — 1.5 metres.

617.4 LOT AREA AND DIMENSIONS

1. Minimum *Lot Area* and dimensions for a *Townhouse Residential Use shall* be not less than:

a. in *Lot Area*	1,000.0 square metres
b. in *Lot Width*	~~7.0~~ 27.0 metres
c. in *Lot Depth*	30.0 metres

2. Minimum *Lot Area* and dimensions for a *Residential Use* for a Density Bonus from RM-1 to RM-4, subject to the Albion Area *Density Bonus Amenity Contribution* option (refer to Section 402 (Density Bonus for Albion Area) of this Bylaw) *shall* be not less than:

a. in *Lot Area*	1,115.0 square metres
b. in *Lot Width*	18.0 metres
c. in *Lot Depth*	not applicable

d. Refer to the Other Requirements Section of this Zone.

617.5 DENSITY

1. *Floor Space Ratio shall* not exceed 0.6 times the *Lot Area*, except:

b. *Floor Space Ratio shall* not exceed 0.63 times the *Lot Area* and a maximum of 50.0 square metres of habitable *Basement* area per unit *shall* be excluded from the calculation of *Gross Floor Area* specific to the following *Lot*:

(i) Lot 2 Section 32 Township 12 New Westminster District Plan EPP70286. PID 031-264-875. 23183 136 Avenue; and

c. *Floor Space Ratio shall* not exceed 0.63 times the *Lot Area* specific to the following *Lot*:

(i) Lot 1 Section 21 Township 12 New Westminster District Plan EPP106316. PID 031-318-479. 23785 Dewdney Trunk Road.

617.10 PARKING and LOADING

4. A *Tandem Parking* garage unit shall be limited to one enclosed single-car garage, with a driveway apron length to accommodate a second vehicle, as specified in the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990, as amended. Two-car enclosed *Tandem Parking* garages shall not be permitted.
5. The maximum percentage of single-car *Tandem Parking* garage units within a *Townhouse Residential* development shall be limited to 50%. See Maple Ridge ~~Council~~ Policy 6.35 - ~~on~~ Tandem Parking Garage Units within Townhouse Developments for more information.

617.11 OTHER REQUIREMENTS

5. This *Zone* is subject to the Albion Area *Density Bonus Amenity Contribution* option which provides for a *Density Bonus* that is consistent with the RM-4 *Zone* for *Lot*s located within the Albion Area Plan. The *Zone* requirements consistent with the RM-4 *Zone* will apply and will supersede the *Zone* requirements of the RM-1 *Zone* for each unit when the *Density* exceeds 0.6 times the *Lot Area,* but not more than 0.75 times the Lot Area. Refer to Section 402 (Density Bonus for Albion Area) of this Bylaw.
6. A *Townhouse Residential Use* shall be limited to six (6) attached *Townhouse Dwelling Unit*s in one block, not to exceed a length of 45 metres (147.5 feet).

618.8 HEIGHT

1. *Building Height* for *Principal Buildings and Principal Structures* within the Town Centre Area, excluding the Port Haney and Fraser River Waterfront Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, *shall* not exceed 22.0 metres nor 6 *Storey*s, and *shall* be not less than 11.0 metres, except:

   f. the height of the *Building* shall not exceed 22.0 metres nor 6 *Storey*s specific to the following *Lot*:

      (i) Lot 1 District Lot 401 Group 1 New Westminster District Plan EPP94580. 11641 227 Street.

      where the Height is measured as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

      BUILDING HEIGHT BASE LINE - means:
      (a) averaging the two front Datum Determination Points on the lot; and
      (b) averaging the two rear Datum Determination Points on the lot; and
      (c) longitudinally extending a line joining (a) and (b); and

      DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

      Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms.

2. *Building Height* for *Principal Buildings and Principal Structures* within the Port Haney and Fraser River Waterfront Area or outside the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, *shall* not exceed 15.0 metres nor 4 *Storey*s, and *shall* be not less than 11.0 metres~~, except:~~.

   ~~a. *Building Height shall* not exceed 22.0 metres nor 6 *Storey*s specific to the following *Lot*:~~

      ~~(i) Lot 1 District Lot 401 Group 1 New Westminster District Plan EPP94580. 11641 227 Street.~~

619.8 HEIGHT

1. *Building Height* for *Principal Buildings and Principal Structures* within the Town Centre Area, excluding the Port Haney and Fraser River Waterfront Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, *shall* not exceed 43.0 metres nor twelve (12) *Storey*s, and *shall* be not less than 18.0 metres nor five (5) *Storey*s.

622.8 HEIGHT

1. *Building Height* for *Principal Buildings and Principal Structures* *shall* not exceed 73.0 metres and *shall* be not less than 37.0 metres nor ten (10) storeys.

625.8 HEIGHT

1. *Building Height* for *Principal Buildings and Principal Structures* *shall* not exceed 9.5 metres, except:
   a. ~~*Building*~~ the *Height* for *Principal Buildings and Principal Structures* *shall* not exceed 11.0 metres specific to the following *Lot*s:
      (i) Bareland Strata Lots 1 to 106, Section 11, Township 12, Plan EPS234. Bosonworth Avenue, Godwin Drive, Carmichael Street and 110 Avenue.

   where the Height is measured as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

   BUILDING HEIGHT BASE LINE - means:
   (a) averaging the two front Datum Determination Points on the lot; and
   (b) averaging the two rear Datum Determination Points on the lot; and
   (c) longitudinally extending a line joining (a) and (b); and

   DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

   Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms.

626.1 PURPOSE

1. This *Zone* provides for *Manufactured Home Park* *Use* with a minimum *Lot Area* of ~~0.4~~ 4.0 hectares.

626.10 MANUFACTURED HOME SITE SETBACKS

1. The minimum *Setback*s ~~on a *Manufactured Home Site*~~ for all *Building*s and *Structure*s on a *Manufactured Home Site*, as measured from the ~~wall~~ *Building Face* of a *Manufactured Home*, ~~or~~ from a living area addition to a *Manufactured Home*, from the outer face of the supports ~~of~~ for a carport, ~~or~~ and from the outer face of a deck, *shall* be not less than:

701.8 HEIGHT

1. *Building Height* for a *Building* or *Structure* *shall* not exceed 7.5 metres, except:
   a. ~~Building~~ the *Height* for a *Building* or *Structure* *shall* not exceed 12.0 metres nor 3 *Storey*s specific to the following *Lot*:
      (i) Lot C District Lot 403 Group 1 New Westminster District Plan EPP71200. PID 030-627-788. 11300 Pazarena Place.

   where the Height is measured, as per Zoning Bylaw No. 3510-1985, as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

   BUILDING HEIGHT BASE LINE - means:
   (a) averaging the two front Datum Determination Points on the lot; and
   (b) averaging the two rear Datum Determination Points on the lot; and

(c) longitudinally extending a line joining (a) and (b); and

DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms.

707.8 HEIGHT

1. *Building Height* for a *Building* or *Structure* *shall* not exceed 15.0 metres, except:
   a. ~~Building~~ the Height for a *Building* or *Structure* *shall* not exceed 21.0 metres, specific to the following *Lot*:
      (i) Lot 1, DL 398, GP 1, NWD Plan EPP34022, except Plans EPP34066 and EPP36136. PID: 029-152-861. 22369 116 Avenue.

   where the Height is measured as the greatest vertical distance from the "Building Height Base Line" to the topmost part of the building as determined by the following definitions:

   BUILDING HEIGHT BASE LINE - means:
   (a) averaging the two front Datum Determination Points on the lot; and
   (b) averaging the two rear Datum Determination Points on the lot; and
   (c) longitudinally extending a line joining (a) and (b); and

   DATUM DETERMINATION POINTS - means the two points on a lot created where the frontmost and rearmost wall face of the principal building, or projections thereof, intersect with the outermost sidewall faces, or projections thereof, measured as the lesser of Natural or Finished Grade.

   Refer to Zoning Bylaw No. 3510-1985 for additional information and definition of terms.

803.2 PRINCIPAL USES

1. The following *Principal Uses* *shall* be permitted in this *Zone*:
   q. *Recreational Facilities* ~~or~~ and instructional facilities limited to: *Industrial Trade Schools*; dance *Schools*; arts and culture *Schools*; fitness centres; and gymnastic *Schools*;

1035 CD-1-17 COMPREHENSIVE DEVELOPMENT ZONE

PURPOSE

1. This Zone is intended to accommodate and regulate the development of a medium to high density comprehensively-planned mixed use development in multiple phases in the Town Centre Area.
2. For interpretation purposes of this zone:

a. Refer to the "Phase Plan" identifying the boundaries of each phase in the Other Requirements Section of this Zone;

b. Refer to the "Amenity and Rezoning Offerings by Phase" requirements in the Other Requirements Section of this Zone;

c. "Base density" means the density permitted without the bonus density or the amenity bonus density being added;

d. "This Bylaw" means Maple Ridge Zoning Bylaw No. 7600-2019.

PRINCIPAL USES

1. The following Principal Uses shall be permitted in this Zone:

   a. Apartment Residential, within the Town Centre Area, as identified on Schedule "C" (Town Centre Area Plan) of this Bylaw, excluding Phase 5;

   b. Assembly;

   c. Business Services;

   d. Cannabis Retail;

   e. Civic;

   f. Convenience Store;

   g. Financial Services;

   h. Funeral Services;

   i. Indoor Commercial Recreation;

   j. Licensee Retail Store;

   k. Light Industrial, limited to Microbrewery, Microwinery and Microdistillery;

   l. Liquor Primary Establishment;

   m. Media Production Studio;

   n. Off-Street Parking;

   o. Personal Repair Services;

   p. Personal Services;

   q. Place of Worship;

   r. Private Hospital;

   s. Professional Services;

   t. Public Market;

   u. Refund Container Recycling Depot;

   v. Restaurant;

   w. Retail, excluding Highway Commercial;

   x. Tourist Accommodation; and

   y. Townhouse Residential, in Phases 1, 2, 3, 4 and 6 only

ACCESSORY USES

1. The following shall be permitted as Accessory Uses to one of the permitted Principal Uses in this Zone:

   a. Home Occupation, excluding Phase 5; and

   b. Outdoor Display or sales area.

2. Refer to Sections 401 and 402 of this Bylaw for additional information.

LOT AREA and DIMENSIONS

1. Minimum lot area and dimensions for each phase of the development shall not be less than:

a.	in lot area	1,500.0 square metres
b.	in width	6.0 metres
c.	in depth	27.0 metres

2. Refer to Section 407 (Building Envelope) of this Bylaw for required minimum Building Envelope dimensions.

DENSITY

1. Phase 1:
   a. The Floor Space Ratio of any building or structure shall not exceed a base density of 1.0 times the lot area.
   b. Bonus density may be added to the Floor Space Ratio, up to a maximum of 1.3 times the Lot Area, with the following provisions:
      (i) an amount equal to 0.3 times the lot area times the ratio of concealed off-street parking to required off-street parking, not to exceed 0.3 times the lot area; and
      (ii) an amount equal to 0.25 times the lot area may be added for each storey above the second (2) storey, not to exceed 1.0 times the lot area.
   c. The maximum density in this phase, including any bonus density is 2.3 times the lot area.
   d. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.
2. Phase 2:
   a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.
   b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:
      (i) An amount equal to 0.34 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure; and
      (ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times.
   c. An amenity bonus density, up to a maximum of 0.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 2 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.
   d. The maximum density in this phase, including any bonus density and amenity bonus density is 2.65 times the lot area.
   e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.
3. Phase 3:
   a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 3 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone;

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 3.6 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

4. Phase 4:

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.1 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.2 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

(i) shall include the rezoning offerings indicated for Phase 4 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

c. An amenity bonus density, up to a maximum of 0.3 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 4 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 2.3 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

5. Phase 5:

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.3 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 1.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 5 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 3.5 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

6. Phase 6

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 3.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 6 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 5.5 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

7. Phase 7

a. The floor space ratio shall not exceed a base density of 1.0 times the lot area.

b. A bonus density, up to a maximum of 1.3 times the lot area, may be obtained by providing the following:

(i) An amount equal to 0.4 times the lot area for providing 100% of the required parking within a parking structure or an underground parking structure;

(ii) An amount equal to 0.1 times the lot area for each storey above the second, not to exceed 0.9 times the lot area, based on the tallest structure in this phase.

c. An amenity bonus density, up to a maximum of 3.2 times the lot area, may be obtained by providing all of the amenity offerings indicated for Phase 7 in the "Amenity and Rezoning Offerings by Phase" in the Other Requirements Section of this Zone.

d. The maximum density in this phase, including any bonus density and amenity bonus density, is 5.5 times the lot area.

e. Refer to Section 403 (Gross Floor Area Exemptions) of this Bylaw for Gross Floor Area requirements.

LOT COVERAGE

1. All Buildings and Structures together shall not exceed a lot coverage of 90% in each Phase, however:
   a. lot coverage may be increased to 100% where all required off-street parking is provided in accordance with Part 3 (Off-Street Parking Requirements) of Maple Ridge Off Street Parking and Loading Bylaw No. 4350 – 1990.

SETBACKS

1. Minimum Setbacks for all Buildings and Structures in Phases 1 to 7 shall be not less than:

a.	from a Front Lot Line	0.0 metres
b.	from a Rear Lot Line	0.0 metres
c.	from an Interior Side Lot Line	0.0 metres
d.	from an Exterior Side Lot Line	0.0 metres

2. Minimum Setbacks for all Buildings and Structures shall meet the requirements of Section 403 (Visual Clearance at Intersections) of this Bylaw.

HEIGHT

1. Phases 1 to 4 and Phases 6 to 7:
   a. Building Height for all Buildings and Structures shall be not less than three (3) storeys; and
   b. The maximum building height is not restricted.
2. Phase 5:
   a. Building Height for all Buildings and Structures shall be not less than two (2) storeys; and
   b. The maximum building height is not restricted.
3. Refer to Section 403 (Building Height) of this Bylaw.

LANDSCAPING and SCREENING

1. Landscaping and screening shall be provided in accordance with Section 405 (Landscaping, Screening and Fencing Requirements) of this Bylaw.
2. A continuous landscape strip of not less than 1.5 metres in width shall be provided on the lot adjacent to lot lines on the developed sides of the lot which abut a highway.
3. Phases 2 to 7:
   a. All developed portions of the lot not covered by buildings, structures or paved areas shall be landscaped, including the retention of mature trees where feasible. This landscaping shall be maintained.
   b. The boulevard areas of highways abutting a lot shall be seeded or sodded with grass on the side of the highway abutting the lot, except at driveways, and walkways.
   c. Loading areas, garbage containers and recycling containers shall be screened from any adjacent residential lot or from overlook from upper storeys, to a height of at least 2.5 metres by buildings, a landscaping screen, a solid decorative fence, or a combination thereof.

PARKING and LOADING

1. Off-street parking and off-street loading shall be provided in accordance with Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 – 1990, as amended.
2. All off-street parking shall be concealed parking.
3. Phase 1:
   a. Notwithstanding the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 – 1990:
      (i) a minimum of 50% of required parking spaces shall be provided with roughed-in conduit for future electric charging capabilities; and
      (ii) a minimum of four electric vehicle charging stations shall be provided.
4. Phases 2 to 7, for Apartment Use:
   a. Notwithstanding the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350 – 1990:
      (i) a minimum of four electric vehicle charging stations shall be provided.

OTHER REQUIREMENTS

1. Where permitted in Phases 2 to 7, an Apartment Residential Use shall:
   a. be limited exclusively to storeys above the first storey for a building or a portion thereof along Dewdney Trunk Road, Garden Street in Phase 7, and along the internal public plaza from 224 Street to Garden Street in Phases 6 and 7;
   b. be located within a building above all storeys which are used for a non-residential principal use or off-street parking use;
   c. have a separate and independent access into the building containing the apartment use.
2. Where permitted in Phases 2 – 7, a Townhouse Use shall:
   a. only be permitted on a lot containing an Apartment Use;
   b. have direct pedestrian access to street grade, a pedestrian walkway or a mews for each unit.
3. Phases 1 to 7 Ground Floor requirements:
   a. The ground floor of all buildings shall have not less than:
      (i) 90% of the lot frontage developed for permitted principal uses with public pedestrian or vehicular access; and
      (ii) 25% of the lot area developed for a permitted principal use.
   b. Phase 1, notwithstanding Schedule "E" Ground Floor Commercial Required of this Bylaw, shall not be required to provide ground floor commercial area along Plaza Street or Brown Avenue.
   c. Phases 6 and 7 shall provide Ground Floor Commercial area in accordance with Schedule "E" Ground Floor Commercial Required of this Bylaw, including along both sides of the public pedestrian way and the public plaza.
4. Common Open Area(s) shall be provided as follows:
   a. Phases 1 to 7:

(i) a minimum of 20% of the site area shall be provided as Common Open Area in Phase 1;

(ii) a minimum of 20% of the site area shall be provided as Common Open Area in Phases 2, 4 and 6;

(iii) a minimum of 50% of the site area shall be provided as Common Open Area in Phase 5;

(iv) a minimum of 35% of the site area shall be provided as Common Open Area in Phase 7; and

(v) a portion of the required common open space area may be provided on a roof.

5. Phases 2 to 7 shall provide Indoor Amenity Area(s) and Outdoor Amenity Area(s) as follows:

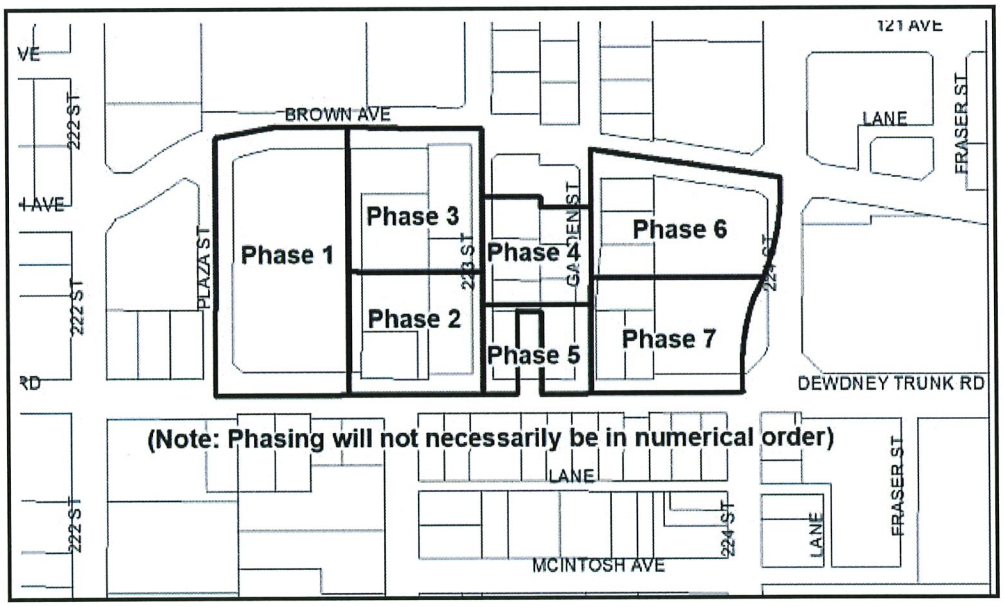
   a. One or more indoor amenity areas shall be provided in each phase based on the following ratio, and this are may form part of the Common Open Area requirements;

      (i) 1.0 square metre per residential dwelling unit;

   b. Phase 2, Phase 3, Phase 4 or Phase 5 shall provide a clubhouse or similar facility as an Indoor Amenity Area or Outdoor Amenity Areas.

6. Every use, except for an Outdoor Amenity Area and an off-street loading use, shall be located and undertaken wholly within an enclosed building.

7. The following "Phase Plan" identifies the boundaries for each Phase:



8. The following "Amenity and Rezoning Offerings by Phase" identifies the amenities to be provided to obtain an Amenity Density Bonus:

   a. Phase 2:

      (i) Continuation of east-west pedestrian way;

      (ii) Minimum four electric vehicle charging stations;

      (iii) BC Energy Step Code;

      (iv) Sustainability measures; and

(v) A Clubhouse (if not provided in another phase).

b. Phase 3:
(i) Continuation of east-west pedestrian way;
(ii) Minimum four electric vehicle charging stations;
(iii) BC Energy Step Code;
(iv) Sustainability measures; and
(v) A Clubhouse (if not provided in another phase).

c. Phase 4:
(i) Continuation of east-west pedestrian way;
(ii) BC Energy Step Code;
(iii) Sustainability measures;
(iv) Seating area and theatre structure at the Central Plaza incorporating potential public art elements; and
(v) A Clubhouse (if not provided in another phase).

d. Phase 5:
(i) Continuation of east-west pedestrian way (including portion of Central Plaza);
(ii) Minimum four electric vehicle charging stations;
(iii) BC Energy Step Code;
(iv) Sustainability measures; and
(v) A Clubhouse (if not provided in another phase).

e. Phase 6:
(i) Continuation of east-west pedestrian way;
(ii) Public plaza;
(iii) Minimum four electric vehicle charging stations;
(iv) BC Energy Step Code; and
(v) Sustainability measures.

f. Phase 7:
(i) Continuation of east-west pedestrian way;
(ii) Public plaza;
(iii) Public art piece (in Public Plaza) having a minimum value of $100,000 adjusted by CPI between the year of this agreement and the year of the development application being made;
(iv) Public message board;
(v) BC Energy Step Code;
(vi) Minimum four electric vehicle charging stations; and
(vii) Sustainability measures.

~~1035.7~~ 1036.7 **SETBACKS**

2. An *Underground Structure* for *Off-Street Parking* ~~will~~ shall not extend more than 0.8 metres above the *Average Finished Grade* and the above grade area is to be landscaped to become a useable part of the yard area. Minimum *Setbacks* for the *Underground Structure shall* be not less than:

~~1035.10~~ 1036.10 **PARKING and LOADING**

1. *Off-Street Parking* and *Off-Street Loading shall* be provided in accordance with Multi-Family Residential RM-2 Zone regulations in the Maple Ridge Off-Street Parking and Loading Bylaw No. 4350-1990.

Part 12 – Schedules

1201 **Schedule "A" – Zoning Map** is amended by the inclusion of 19 map amendments previously adopted under the old Zoning Bylaw No. 3510-1985.

1205 **Schedule "E" – Town Centre Area Plan, Ground Floor Commercial Required** is amended by deleting it and replacing it with the revised Schedule "E" – Town Centre Area Plan, Ground Floor Commercial Required.

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City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2013-087-DVP 2013-087-VP
FROM:	Chief Administrative Officer	**MEETING:**	C o W

SUBJECT: **Development Variance Permit**
Development Permit
23500 and 23550 Larch Avenue

EXECUTIVE SUMMARY:

Development Variance Permit application 2013-087-DVP and Development Permit application 2013-087-DP have been received in conjunction with a rezoning application to rezone the subject properties, located at 23500 and 23550 Larch Avenue, to RM-1 (Townhouse Residential), P-1 (Park and School), RS-3 (Single Detached Rural Residential), and RS-2 (Single Detached Suburban Residential) zones to allow the future development of approximately 19 townhouse units with a future neighbourhood park (2,439 m^2 or 0.60 acres) and conservation lands (1,824 m^2 or 0.45 acres).

The requested variances are to:

1. Reduce the front setback (Larch Avenue) from 7.5 metres (24.6 feet) to 4.5 metres (14.7 feet) for the northwest and northeast building end units;
2. Reduce the rear setback from 7.5 metres (24.6 feet) to 3.0 metres (9.8 feet) for the southwest building end unit and to 4.5 metres (14.7 feet) for the southeast building end unit; and
3. Increase the retaining wall height from 1.2 metres (3.9 feet) to 2.4 metres (7.9 feet).

Council will consider final reading for rezoning application 2013-087-RZ on December 14, 2021.

RECOMMENDATIONS:

1. **That the Corporate Officer be authorized to sign and seal 2013-087-DVP respecting properties located at 23500 and 23550 Larch Avenue; and further**

2. **That the Corporate Officer be authorized to sign and seal 2013-087-DP respecting properties located at 23500 and 23550 Larch Avenue.**

DISCUSSION:

a) Background Context

Applicant:	Bernard A. J. Mottet
Legal Descriptions:	Lot 4 Section 28 Township 12 New Westminster District Plan 24142 Lot 38 Section 28 Township 12 New Westminster District Plan 40978
OCP :	
Existing:	Neighbourhood Park, Conservation and Medium/High Density Residential
Proposed:	Neighbourhood Park, Conservation and Medium/High Density Residential
Zoning:	
Existing:	RS-3 (Single Detached Rural Residential) and RS-2 (Single Detached Suburban Residential)
Proposed:	RM-1 (Townhouse Residential), P-1 (Park and School), RS-3 (Single Detached Rural Residential), and RS-2 (Single Detached Suburban Residential)

Surrounding Uses:

North:	Use:	Vacant and Single Family Residential
	Zone:	RS-3 (Single Detached Rural Residential), R-1 (Single Detached (Low Density) Urban Residential) and RST-SV (Street Townhouse Residential - Silver Valley)
	Designation:	Medium/High Density Residential
South:	Use:	Single Family Residential
	Zone:	RS-2 (Single Detached Suburban Residential)
	Designation:	Medium/High Density Residential and Conservation
East:	Use:	Multi-Family Residential
	Zone:	RM-1 (Low Density Townhouse Residential)
	Designation:	Medium/High Density Residential
West:	Use:	Single Family Residential
	Zone:	RS-3 (Single Detached Rural Residential), RS-2 (Single Detached Suburban Residential) and P-2 (Special Institutional)
	Designation:	Medium/High Density Residential, Conservation and Neighbourhood Park

Existing Use of Property:	Single Family Residential
Proposed Use of Property:	Multi-Family Residential, Neighbourhood Park
Site Area:	1.17 ha (2.9 acres)
Access:	Larch Avenue
Servicing requirement:	Urban Standard
Concurrent Applications:	2016-207-DP (this Wildfire Protection Development Permit has been issued under the Delegation Bylaw).

b) Project Description:

The application is to rezone the subject properties, located at 23500 and 23550 Larch Avenue (see Appendices A and B), in order to construct 19 townhouse units accessed via a private strata road (Appendix C). The 19 townhouses will be grouped in four buildings: one building containing six units, one has five units and two have four units. Each townhouse unit will have its own private back yard.

Access will be by way of a private strata road extending southward from Larch Avenue. Twelve townhouses have 24 side-by-side parking spaces and seven townhouses have 14 tandem parking spaces. A total of 37% of the parking spaces are in tandem arrangement; however, this arrangement is acceptable because:

- This application predates the current Bylaw restrictions adopted in 2021; and
- There are driveway aprons or additional parking spaces in driveways of all the townhouse units. Effectively, the total number of parking, including parking in the aprons, is 69 parking spaces, significantly more than required.

In addition, there are five visitor parking spaces provided, one more than required.

c) Planning Analysis:

Pursuant to section 8.7 of the Official Community Plan, this proposal is subject to the Multi-family Development Permit Area (DPA) Guidelines.

The Key Guideline Concepts and the Architect's and the Landscape Architect's design compliance analysis are as follows:

1. New development into established areas should respect private spaces, and incorporate local neighbourhood elements in building form, height, architectural features and massing.

   The new development features many trees on its perimeter, shielding the neighbours. At the west side there will be the new park on the presently heavily treed piece of land.

   The massing is basically three storey with rather expansive façade features, breaking up the otherwise long row of buildings. The difficult slopes of the property dictate building locations, which follow the contours. Two coloured siding, coloured metal roof and natural stone pilasters give the complex an interesting variety of visual impressions.

2. Transitional development should be used to bridge areas of low and high densities, through means such as stepped building heights, or low-rise ground oriented housing located to the periphery of higher density developments.

   This is a low density, low-rise development with lots of building steps to break up the building mass. Each unit has a very private backyard. At the front is the street with a row of trees on both sides of the road.

3. Large scale developments should be clustered and given architectural separation to foster a sense of community, and improve visual attractiveness.

   Not applicable. This is a small-scale project relative to the streetscape appearance of the development.

4. Pedestrian circulation should be encouraged with attractive streetscapes attained through landscaping, architectural details, appropriate lighting and by directing parking underground where possible or away from public view through screened parking structures or surface parking located to the rear of the property.

   For the pedestrians, there is a sidewalk on the internal roadway, as well as a small gathering area between buildings. A set of steps lead to a larger gathering/play area, as well as to the neighboring future park. The internal strata road has street lights, the set of steps has wall lights to avoid dark places on the development. The townhouses have their own garages. Where there is only a single garage, the outside parking area provides a second space plus apron or a second and third space.

The former Zoning Bylaw No. 3510-1985 provided for the common open space area to be combined with the yards behind each townhouse. This was a particularly useful provision in the case of this site, that effectively deals with slopes and retaining walls. To ensure the development is family friendly, the developer offered a voluntary contribution of $80,000 to allow the child play area to be moved from the development site and to be built by the City in the future park to the west. This arrangement was acceptable to the Parks, Recreation and Culture Department and made one of the terms and conditions to be fulfilled as part of the rezoning approval. This play area would also serve the entire neighbourhood.

d) Variance Analysis:

The Zoning Bylaw establishes general minimum and maximum regulations for development. A Development Variance Permit allows Council some flexibility in the approval process. The following variances are requested (Appendix D):

1. **Maple Ridge Zoning Bylaw No. 7600-2019, Part 4, section 403 is to be varied as follows:**
   a. **Subsection 403.9 1.: The maximum height of a retaining wall height is increased from 1.2 metres (3.9 feet) to 2.4 metres (7.7 feet).**

2. **Maple Ridge Zoning Bylaw No 7600-2019, Part 6, Section 617 RM-1 Low Density Townhouse Residential Zone is to be varied as follows:**
   a. **The front setback (Larch Avenue) is being reduced from 7.5 metres (24.6 feet) to 4.5 metres (14.7 feet) for the northwest and northeast building end units; and**
   b. **The rear setback is being reduced from 7.5 metres (24.6 feet) to 3.0 metres (9.8 feet) for the southwest building end unit and to 4.5 meters (14.7 feet) for the southeast building end unit.**

These variances are supportable to allow for this sloping site to be developed, to accommodate a suitable transition for the lands to the east where a taller retaining wall is needed over a 10 metre segment (Appendix D), to allow for better useable back yard spaces, and for the design of the private strata road.

e) Advisory Design Panel:

The application was submitted for review by the Advisory Design Panel (ADP) on June 20, 2018. The motion passed by the ADP and a description of how the Architect and Landscape Architect addressed these concerns is attached (Appendix E). Staff are satisfied that the design concerns have been addressed.

f) Environmental Implications:

On July 22, 2021, Development Permit 2016-208-DP governing steep slopes and natural features was issued for this project, as delegated to the Director of Planning. This form and character Development Permit 2013-087-DP now under consideration is in accordance with any applicable provisions of 2016-208-DP.

g) Citizen/Customer Implications:

In accordance with the *Development Procedures Bylaw No. 5879-1999,* notice of Council consideration of a resolution to issue a Development Variance Permit was mailed to all owners or tenants in occupation of all parcels, any parts of which are adjacent to the property that is subject to the permit.

h) Financial Implications:

In accordance with Council's Landscape Security Policy, a refundable security equivalent to 100% of the estimated landscape cost will be provided to ensure satisfactory provision of landscaping in accordance with the terms and conditions of the Development Permit. Based on an estimated landscape cost, the security will be $214,952.05.

CONCLUSION:

It is therefore recommended that this application be favourably considered and the Corporate Officer be authorized to sign and seal Development Variance Permit 2013-087-DVP and Development Permit 2013-087-DP.

"Original signed by Adrian Kopystynski"

Prepared by: **Adrian Kopystynski M Sc, MCIP, RPP, MCAHP**
Planner

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA**
Director of Planning

"Original signed by Christine Carter"

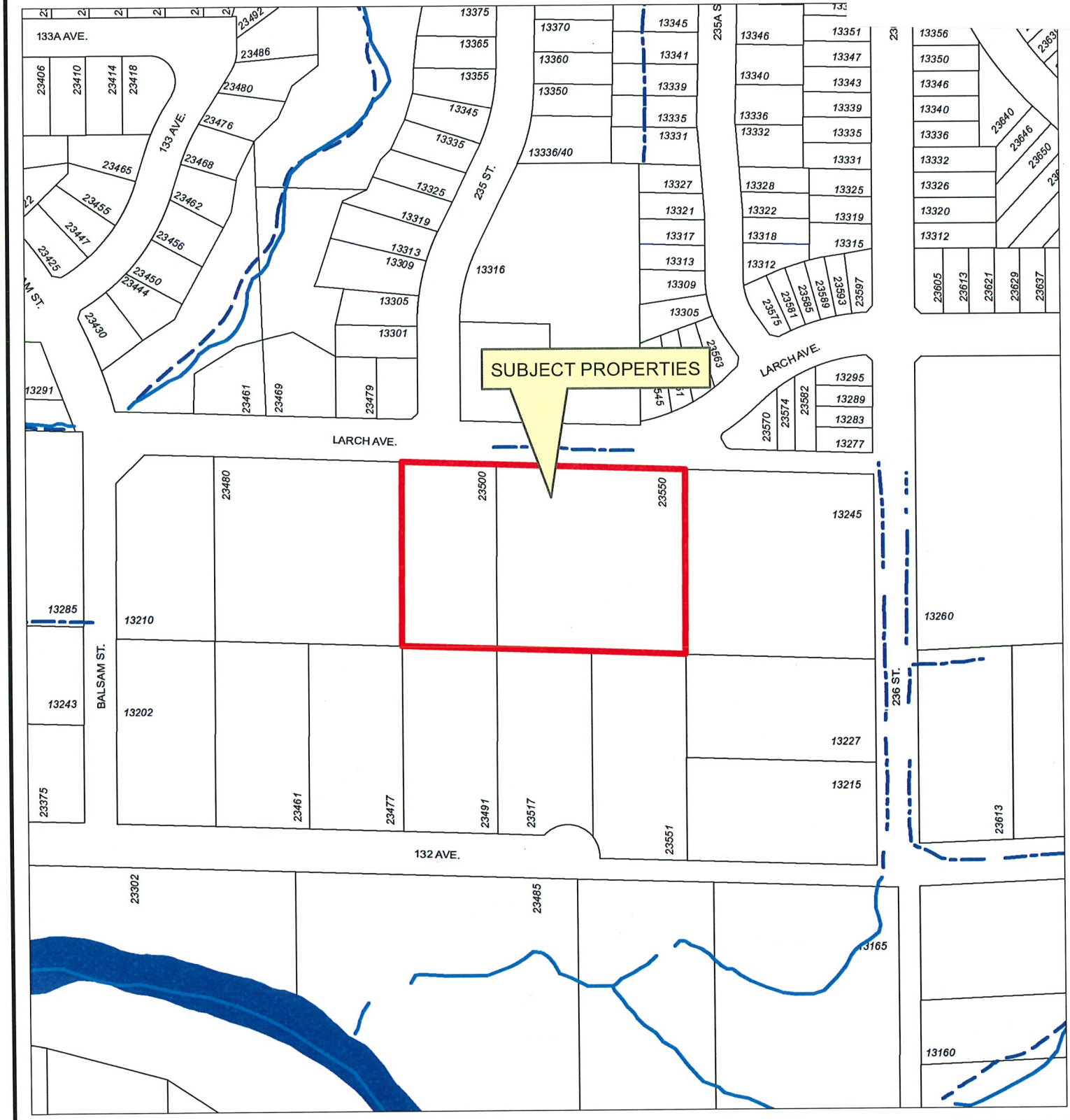
Approved by: **Christine Carter, M.PL, MCIP, RPP**
GM Planning & Development Services

"Original signed by Scott Hartman"

Concurrence: **Scott Hartman**
Chief Administrative Officer

The following appendices are attached hereto:
Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Site Plan; Architectural & Landscaping Plans
Appendix D – Proposed Variances
Appendix E – Advisory Design Panel Resolution and Responses

APPENDIX A



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Scale: 1:2,500

Legend

- Stream
- Indefinite Creek
- River Centreline
- Major Rivers & Lakes

23500 & 23550 Larch Ave

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

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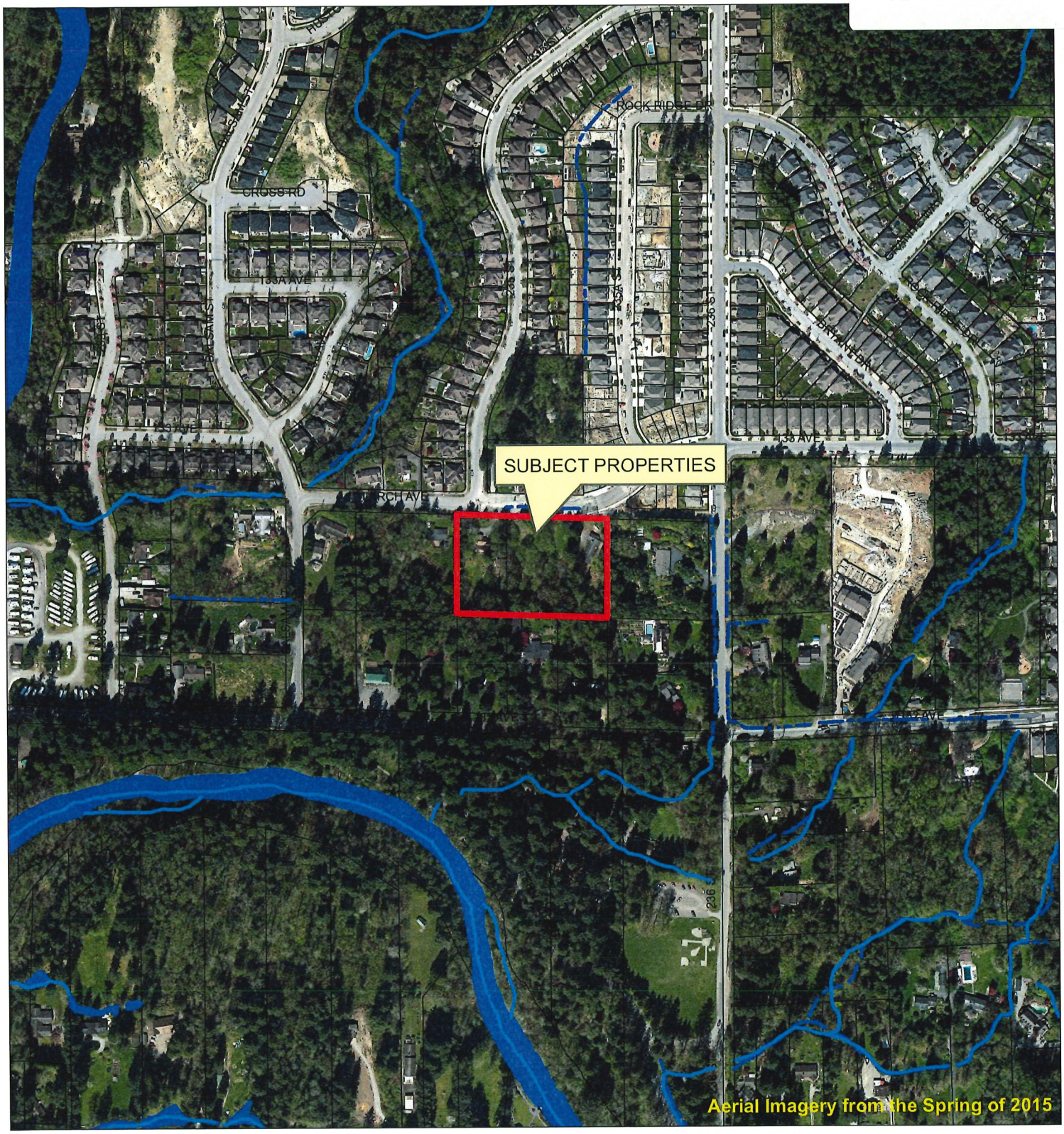
2013-087-DP

DATE: Jun 14, 2016

BY: JV

APPENDIX B



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Legend

- Stream
- Indefinite Creek
- River
- Major Rivers & Lakes

Legend

23500 & 23550 Larch Ave

PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

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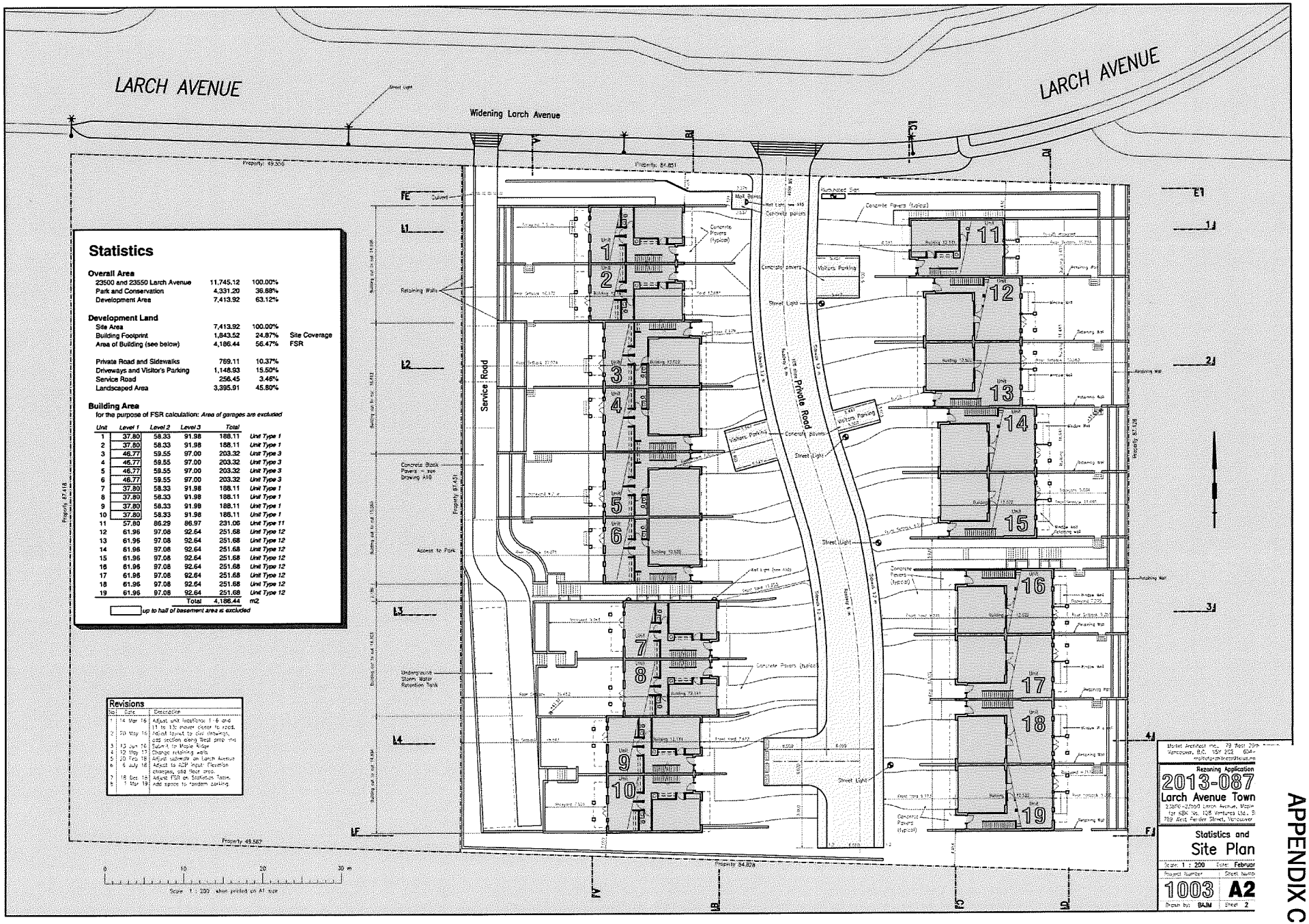
2013-087-VP

DATE: Jun 14, 2016 BY: JV



Statistics

Overall Area

23500 and 23550 Larch Avenue	11,745.12	100.00%	
Park and Conservation	4,331.20	36.88%	
Development Area	7,413.92	63.12%	

Development Land

Site Area	7,413.92	100.00%	
Building Footprint	1,843.52	24.87%	Site Coverage
Area of Building (see below)	4,186.44	56.47%	FSR
Private Road and Sidewalks	769.11	10.37%	
Driveways and Visitor's Parking	1,148.93	15.50%	
Service Road	256.45	3.46%	
Landscaped Area	3,395.91	45.80%	

Building Area

for the purpose of FSR calculation: *Area of garages are excluded*

Unit	Level 1	Level 2	Level 3	Total	
1	37.80	58.33	91.98	188.11	*Unit Type 1*
2	37.80	58.33	91.98	188.11	*Unit Type 1*
3	46.77	59.55	97.00	203.32	*Unit Type 3*
4	46.77	59.55	97.00	203.32	*Unit Type 3*
5	46.77	59.55	97.00	203.32	*Unit Type 3*
6	46.77	59.55	97.00	203.32	*Unit Type 3*
7	37.80	58.33	91.98	188.11	*Unit Type 1*
8	37.80	58.33	91.98	188.11	*Unit Type 1*
9	37.80	58.33	91.98	188.11	*Unit Type 1*
10	37.80	58.33	91.98	188.11	*Unit Type 1*
11	57.80	86.29	86.97	231.06	*Unit Type 11*
12	61.96	97.08	92.64	251.68	*Unit Type 12*
13	61.96	97.08	92.64	251.68	*Unit Type 12*
14	61.96	97.08	92.64	251.68	*Unit Type 12*
15	61.96	97.08	92.64	251.68	*Unit Type 12*
16	61.96	97.08	92.64	251.68	*Unit Type 12*
17	61.96	97.08	92.64	251.68	*Unit Type 12*
18	61.96	97.08	92.64	251.68	*Unit Type 12*
19	61.96	97.08	92.64	251.68	*Unit Type 12*
			Total	4,186.44	m2

up to half of basement area is excluded

Revisions

No.	Date	Description
1	14 Mar 16	Adjust unit locations 1-6 and 11 to 13; move closer to road.
2	20 May 16	Adjust layout to civil drawings, add section along West property line
3	13 Jun 16	Submit to Maple Ridge
4	12 May 17	Change retaining walls
5	20 Feb 18	Amend sidewalk on Larch Avenue
6	6 July 18	Adjust to ADP input. Elevation changes, add floor areas
7	18 Dec 18	Adjust FSR on Statistics Table.
8	1 Mar 19	Add space to tandem parking

Rezoning Application

2013-087 Larch Avenue Town

23500-23550 Larch Avenue, Maple
for KBK No. 108 Ventures Ltd., 9
769 West Pender Street, Vancouver

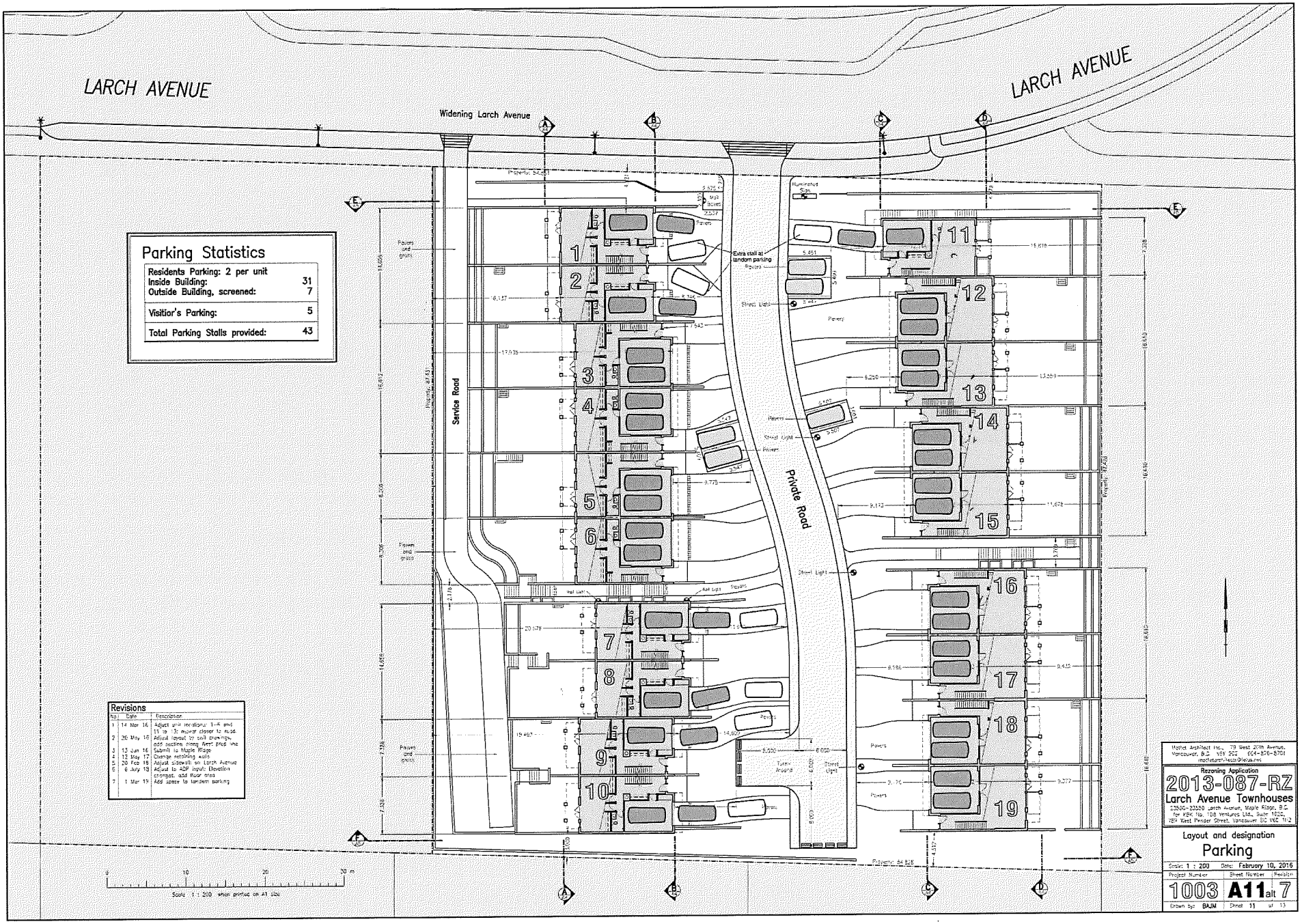
Statistics and Site Plan

Scale: 1 : 200 Date: Februar

Project Number: 1003 Sheet Numb: A2

Drawn by: BAJM Sheet: 2

APPENDIX C



Parking Statistics

Residents Parking: 2 per unit	
Inside Building:	31
Outside Building, screened:	7
Visitior's Parking:	5
Total Parking Stalls provided:	43

Revisions

No.	Date	Description
1	14 Mar 16	Adjust unit locations 1-6 and 11 to 13; move closer to road.
2	26 May 16	Adjust layout to suit drawings, add section along West PROP line
3	13 Jun 16	Submit to Maple Ridge
4	12 May 17	Change retaining walls
5	20 Feb 18	Adjust sidewalk on Larch Avenue
6	6 July 18	Adjust to ADP input: Elevation changes, add floor area
7	1 Mar 19	Add space to tandem parking

0 10 20 30 m

Scale 1 : 200 when printed on A1 size

Hadet Architect Inc., 79 West 20th Avenue, Vancouver, B.C. V5Y 2G2 604-876-8701
mail@stamm.haus@telus.net

Rezoning Application

2013-087-RZ

Larch Avenue Townhouses

23500-23530 Larch Avenue, Maple Ridge, B.C.
for KBK No. 108 Ventures Ltd., Suite 1020, 789 West Pender Street, Vancouver BC V6C 1H2

Layout and designation

Parking

Scale: 1 : 200	Date: February 10, 2016	
Project Number	Sheet Number	Revision
1003	A11 alt	7
Drawn by: BAJM	Sheet 11 of 13	

Mottet Architect Inc., 79 West 20th Avenue,
Vancouver, B.C. V5Y 2C2 604-876-8701
mottetarchitects@shaw.ca

Rezoning Application

2013-087-RZ

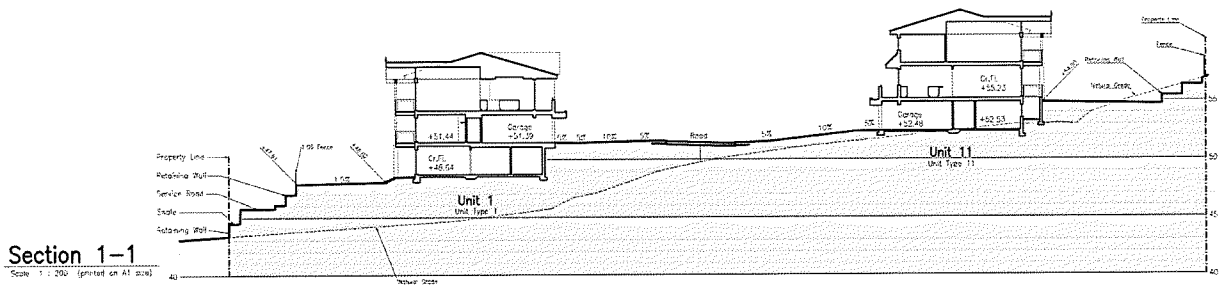
Larch Avenue Townhouses

23500-23550 Larch Avenue, Maple Ridge, B.C.
for KBK No. 108 Ventures Ltd., Suite 1020,
769 West Pender Street, Vancouver BC V6C 1H2

Rendered

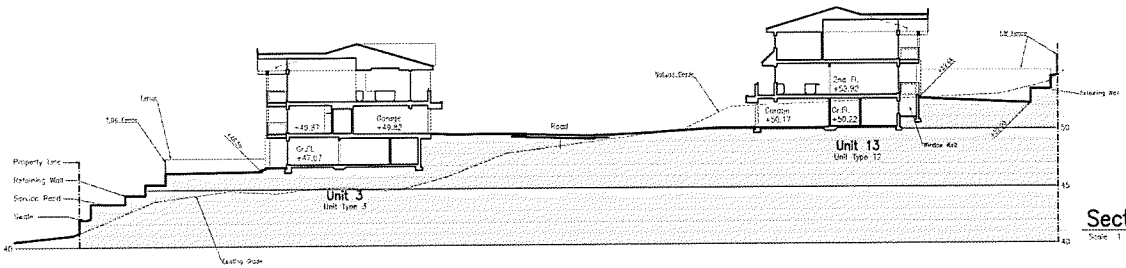
Elevations

Scale:	Last Revision: July 6, 2018	
Project Number	Sheet Number	Revision
1003	Ac	6
Drawn by: BAJM	Sheet 1 of 13	



Section 1–1

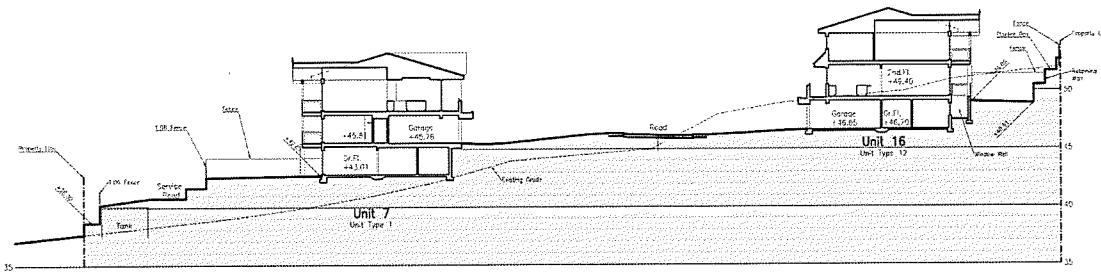
Scale 1 : 200 (printed on A1 size)



Section 2–2

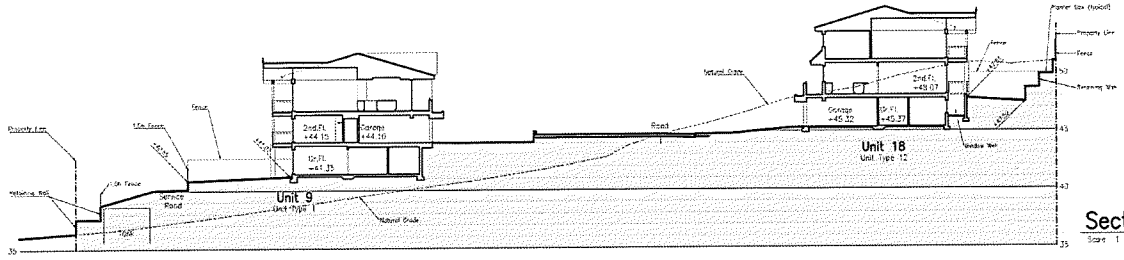
Scale 1 : 200 (printed on A1 size)

Revisions		
No.	Date	Description
1	14 Mar 16	Adjust unit locations: 1–6 and 11 to 12, moved closer to road.
2	20 May 16	General updates
3	13 Jun 16	Submit to Maple Ridge
4	12 May 17	Change Retaining Walls
5	6 July 18	Adjust to ASP input Elevation changes, add floor area.



Section 3–3

Scale 1 : 200 (printed on A1 size)



Section 4–4

Scale 1 : 200 (printed on A1 size)

Matter Architect Inc., 70 West 20th Avenue, Vancouver, B.C. V5Y 2C3 604-876-8701
mail@matterarchitect.com

Rezoning Application

2013-087-RZ

Larch Avenue Townhouses

23500-23560 Larch Avenue, Maple Ridge, B.C.
for KBK No. 104 Ventures Ltd., Suite 1003, 789 West Pender Street, Vancouver BC V6C 1H2

Sections 1 to 4

Cross Sections

Scale: 1 : 200	Date: February 10, 2016	
Project Number: 1003	Sheet Number: A3	Revision: 6
Drawn by: BAJM	Sheet: 3 of 11	

Elevation A–A

Scale 1 : 200 (printed on A1 size)

Revisions

No.	Date	Description
1	14 Mar 16	Add D–D, adjust unit locations
2	20 May 16	General updates
3	13 Jun 16	Submit to Maple Ridge
4	12 May 17	Change retaining walls
5	6 July 18	Adjust to ADP input: Elevation changes, add floor area

Elevation C–C

Scale 1 : 200 (printed on A1 size)

Elevation D–D

Scale 1 : 200 (printed on A1 size)

Mohet Architect Inc., 79 West 20th Avenue, Vancouver, B.C. V5Y 2C2 604-876-8701
mohetarchitects@shaw.ca

Rezoning Application

2013-087-RZ

Larch Avenue Townhouses

23500-23550 Larch Avenue, Maple Ridge, B.C.
for KBK No. 108 Ventures Ltd., Suite 1020, 789 West Pender Street, Vancouver BC V6C 1H2

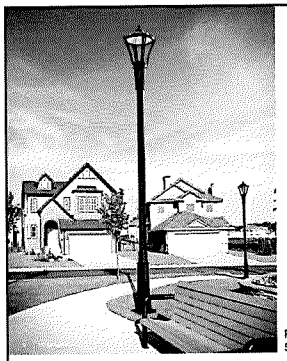
Longitudinal Site Sections

Elevations

Scale: 1 : 200 Date: February 10, 2016

Project Number	Sheet Number	Revision
1003	A4	6

Drawn by: BAJM Sheet 4 of 13

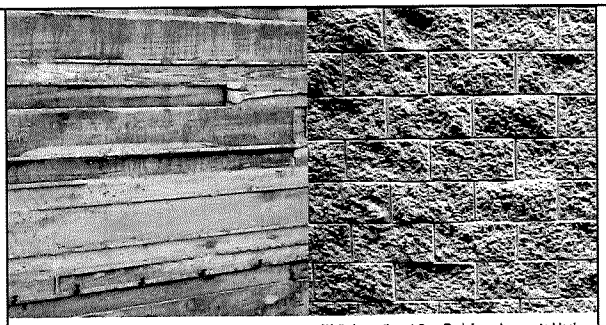


Philips Lumec LED Street Light

Street Lights

Where shown on Drawing A7

For Mail Shelter and two fixtures for walkway between Units 6 and Unit 7



Walls higher than 1.2 m: concrete

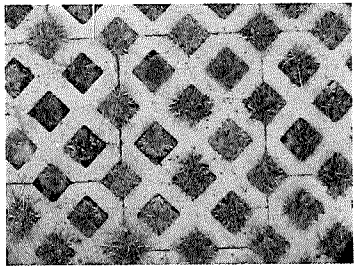
Walls lower than 1.2 m: Re-inforced concrete block

Exterior LED

Wall Lights

Controlled by photo cell

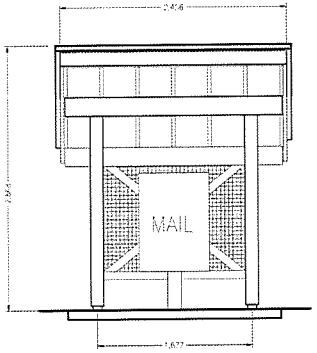
for Mail Shelter and Passage Way, Drawing A7



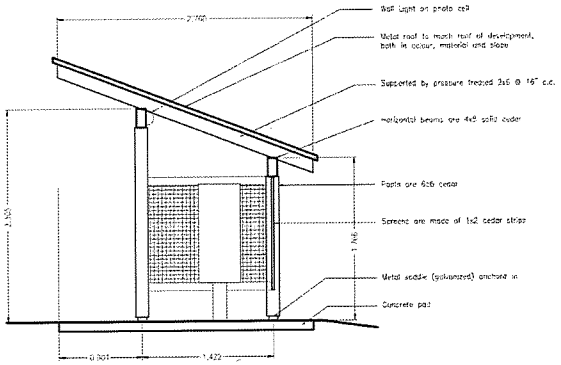
View looking down

Service Road Surface

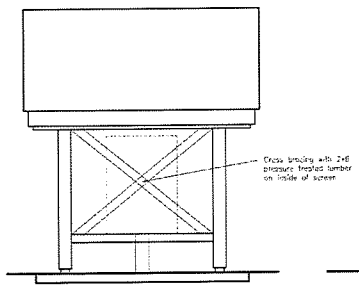
Not to Scale



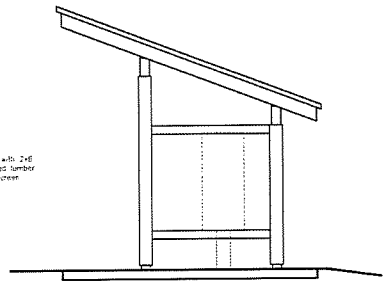
Front View (East Elevation)



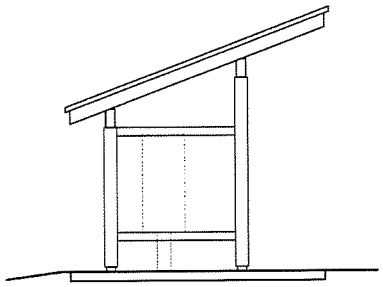
Cross Section



Rear View (West Elevation)



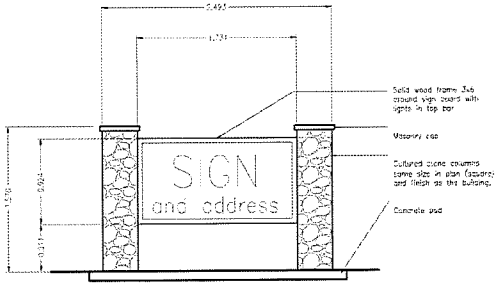
Side View (North Elevation)



Side View (South Elevation)

Mail Box Shelter

Scale 1 : 25 (printed on A1 size)



Site Entrance Sign

Scale 1 : 25 (printed on A1 size)

Revisions

No.	Date	Description
1	14 Mar 16	Add T-2, adjust unit locations
2	20 May 16	General updates
3	15 Jun 16	Submit to Maple Ridge
4	6 July 16	Adjust to ADP layout. Elevation changes, add float area

Mallet Architect Inc., 79 West 20th Avenue, Vancouver, B.C. V5Y 2G1 (604)-876-8731
mattstarck@telus.net

Rezoning Application

2013-087-RZ

Larch Avenue Townhouses

23500-23550 Larch Avenue, Maple Ridge, B.C.
for KBK No. 198 Ventures Ltd., Suite 1020, 789 West Pender Street, Vancouver BC V6C 1H2

Site Sign, Street Lights and

Mail Shelter

Scale: 1 : 25 Date: February 10, 2016

Project Number: 1003 Sheet Number: A10 Revision: 6

Drawn by: BAJM Sheet 10 of 13

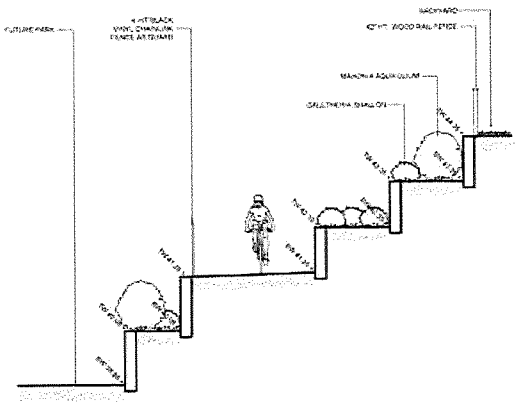
PLANT SCHEDULE

PMG PROJECT NUMBER 16-020

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREES				
	1	ACER CAPPADOCICUM	CAPPADOCIAN MAPLE	2.5M HT., 1.5M STD. LOW BRANCHED
	7	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	2.5M HT. MIN., UPRIGHT FORM
	16	CHAMAECYPARIS N. 'PENDULA'	WEEPING CYPRESS	2.5M HT. B&B
	43	CORNUS EDDIE'S WHITE WONDER	EDDIE'S WHITE WONDER DOGWOOD	50MM CAL. STD. AS NEW B&B
	43	CORNUS KOUSA	KOUSA DOGWOOD	2M HT. MULTI STEM FORM B&B
	12	MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	80MM CAL. * 3.5M STD. B&B
	13	PICEA OMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	2.5M HT. B&B
	9	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	70MM CAL. * 3.5M STD. B&B

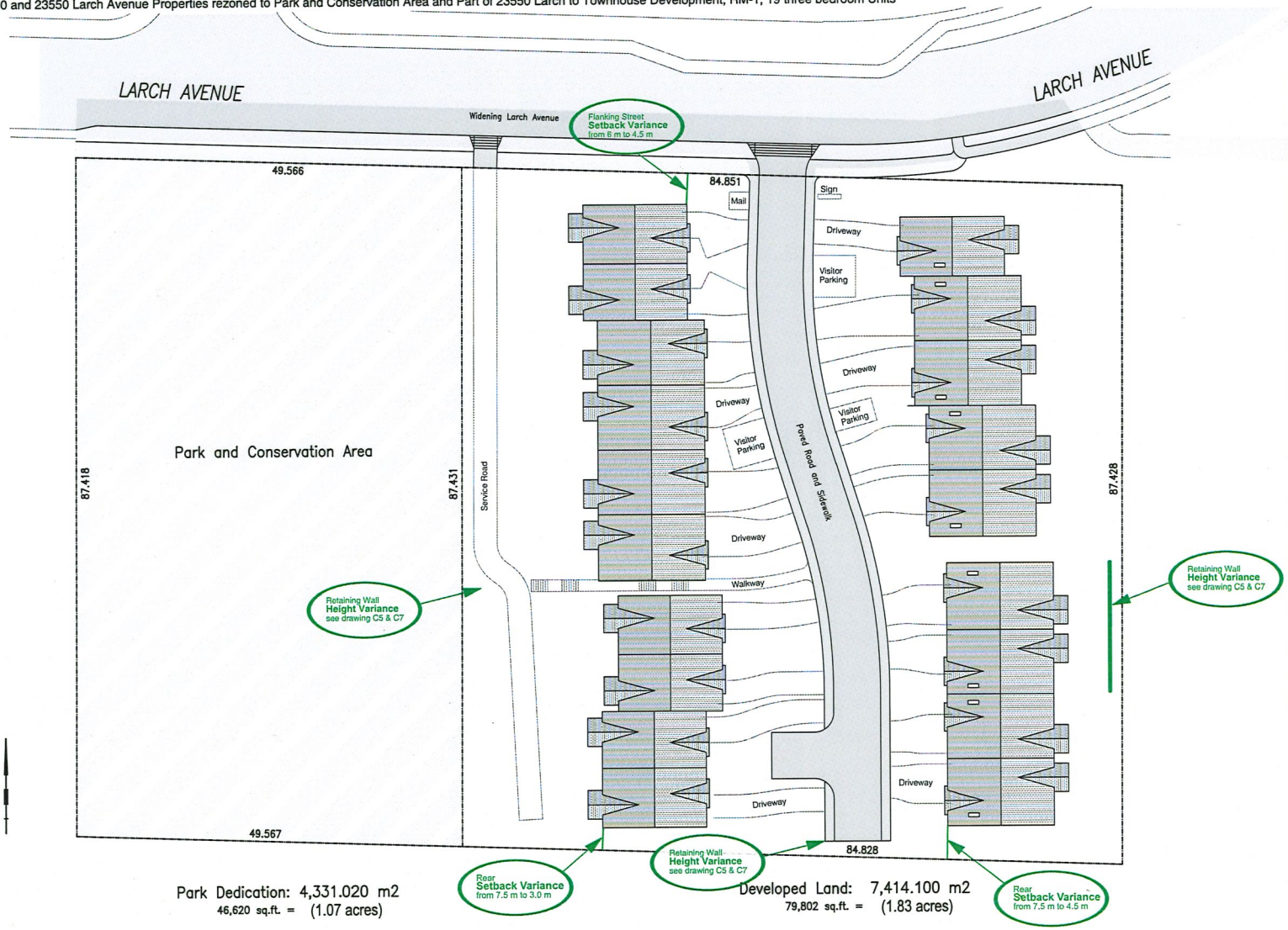
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR ON SITE PLANT MATERIAL REQUIREMENTS. * SIZE AND QUALITY OF PLANT MATERIAL SUBSTITUTIONS MAY ONLY BE CONSIDERED WHEN LANDSCAPE ARCHITECT IS NOT SHOWN OR SUPPLY A RANGE OF SIZES TO INCLUDE LOWER AND LARGER VALUES WHERE AVAILABLE. * ANY ADDITIONAL PLANT ITEMS LANDSCAPE ARCHITECT IS NOT SHOWN OR SUPPLY A RANGE OF SIZES TO INCLUDE LOWER AND LARGER VALUES WHERE AVAILABLE. * ANY SUBSTITUTIONS FROM THIS LANDSCAPE ARCHITECTS PRIOR TO ORDERING AND SUBSTITUTIONS TO THE SPECIFIED MATERIAL SHALL BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT PRIOR TO ORDERING ANY SUBSTITUTIONS. NO UNAUTHORIZED SUBSTITUTIONS WILL BE ACCEPTED. ALL WITH A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR INTEREST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AN ACCEPTABLE * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED BY CAN CERTIFIED ORGANIC FREE NURSERY.

NOTES: AS PART OF THE * STORMWATER MANAGEMENT, ALL LANDSCAPED AND LAWN AREAS WILL HAVE A MINIMUM OF 450MM DEPTH OF GROWING MEDIUM. ALL PAVERS IN DRIVEWAY AND VISITOR PARKING STALLS WILL BE PERMEABLE PAVERS SUCH AS AQUAPAVE OR EQUAL.


FUTURE PARK
6' HT BLACK VINYL CHAINLINK FENCE AS REQUIRED
BACKYARD
6' HT. WOOD RAIL FENCE
MAGNOLIA AQUA OLIUM
GALATHEA SMALLII
PLANTING
PLANTING
PLANTING

2013-087-RZ Rezoning and Development Permit Application

23500 and 23550 Larch Avenue Properties rezoned to Park and Conservation Area and Part of 23550 Larch to Townhouse Development, RM-1, 19 three bedroom Units



Park Dedication: 4,331.020 m2
46,620 sq.ft. = (1.07 acres)

Developed Land: 7,414.100 m2
79,802 sq.ft. = (1.83 acres)

Subdivision Plan

Scale: 1 : 250

Content

of this revised rezoning and development permit application

Architectural *Mattet Architect Inc.*

Ac Rendered Elevations
A0 Coloured Site Plan and Surround
A1 Subdivision Plan and Content (this sheet)
A2 Site Plan and Statistics
A3 Sections of Site
A4 Elevations of Site
A5 Elevations of Site
A6 Unit 1, Plans, Sections, Elevations
A7 Unit 3, Plans, Sections, Elevations
A8 Unit 11, Plans, Sections, Elevations
A9 Unit 12, Plans, Sections, Elevations
A10 Mail Shelter, Site Sign, Street Lights & Miscellaneous
A11 Parking: Site Plan with highlighted parking stalls

Landscaping *PMG Landscape Architects Ltd.*

Lc Coloured Landscape Plan

L1 Landscape Plan
L2 Landscape Shrub Plan
L3 Site Grading Plan

Legal Description

Development Area:
Lot 38, Plan 40978, Greater Vancouver Regional District, Municipality of Maple Ridge

Park and Conservation Area:
Lot 4, Plan 24142 and part of Lot 38, Plan 40978, both lie within the Greater Vancouver Regional District, Municipality of Maple Ridge

Revisions

No	Date	Description
1	14 Mar 16	Add D-D, adjust unit locations
2	20 May 16	General updates
3	13 Jun 16	Submit to Maple Ridge
4	8 May 17	Change retaining walls and the location of units
5	20 Feb 18	Adjust sidewalk & road
6	5 July 18	Adjust to ADP input: Elevation changes, add floor area.
7	1 Mar 19	Add space to tandem parking.
8	23 Aug 21	Adjust setback variance figures

Mattet Architect Inc., 79 West 20th Avenue, Vancouver, B.C. V5Y 2C2 604-876-8701
mattetarchitects@telus.net

Rezoning Applicatio
2013-087
Larch Avenue Tow
23500-23550 Larch Avenue, Map
for KBK No 108 Ventures Ltd.,
789 West Pender Street, Vancouve

Information, Conten
Subdivision

Scale: 1 : 250 Date: Febru
Project Number Sheet Nun
1003 A
Drawn by: BAJM Sheet 1

APPENDIX D

pmg LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

July 12, 2018

City of Maple Ridge
11995 Haney Place
Maple Ridge, BC V2X 6A9

via Email : akopystynski@mapleridge.ca

Attention: Adrian Kopystynski, MCIP, RPP, MCAHP
Planner

Re: Townhouse Development – 23500-23550 LARCH AVENUE
File No.2013-087-DP

The following are PMG's responses to your comments via Email June 25, 2018. Numbers refer to specific numbers from the Email:

1) Reduce the mass of the fence along the East property line through a combination of reduced fence height, lattice and/or other feature and vary the type, colour and height of landscaping along the upper tiered wall;
   i) Replace the fence along the East property line with 4' ht. perimeter wood fence. (See both L1 and L4)
   ii) Landscaping along the upper tiered wall are redesigned with a variety of shrubs.(See L2)
2) Consider adding a fence with a locked gate between the pathway of buildings 15 and 16 to address CPTED concerns at the dead end;
   i) Gate is added between building 15 and 16.
3) Provide units 7, 8, 9 and 10 with stair access to the service road so it can function more as a trail and reduce CPTED concerns;
   i) Stairs added for units 7, 8, 9 and 10 which provide access to the service road.
4) Move the backyard tree for units 16 -19 to the corner of the yard to provide more useable lawn space;
   i) Backyard trees of units 16-19 are moved to the corner.
5) If possible, provide seating or other amenity features with paving bump out and benches. For example, planting between units 3, 4, 5 could be cut back at the service road to provide a seating/amenity area;
   i) Planting in front of unit 6 is moved back and seating is provided.
6) Show location of the future access from the development to the adjacent park;
   i) Future access of the adjacent park is labelled.
7) Show guardrail or fencing along the edge of the retaining walls where required for safety;
   i) 1.2m ht. chain link fence is added along the edge of the retaining walls.
8) Include a section of the West property line showing conditions between the service road and the adjacent park.
   i) Included

pmg LANDSCAPE ARCHITECTS

Project: 16020

July 12, 2018

Please contact Mary at 604-294-0011 Mary@pmglandscape.com and Ru Jia at Ru@pmglandscape.com if you have any questions or comments.

Sincerely yours,

Ru

Mottet Architect Inc.
79 West 20th Avenue, Vancouver, British Columbia, V5Y 2C2 tel: 604-876-8701

City of Maple Ridge
11995 Haney Place
Maple Ridge BC V2X 6A9
Attn: Mr. Adrian Kopystynski

December 18, 2018

Dear Adrian,

Re: 2013-087-DP Larch Avenue Townhouse Development
Addressing ADP concerns

Below please find the comments on the ADP concerns in **RED**:

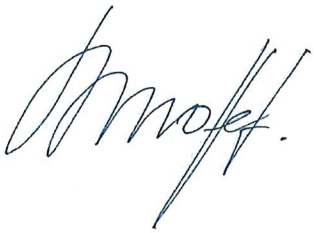
Landscape Comments as per attached letter by PMG.

Architectural Comments:

Develop the elevations on the facades facing Larch Avenue. For example, articulation of varying materials; The north elevations have changed dramatically by bringing different façade treatment and elements around to this side and create a pattern of shapes and materials.
Provide an improved materials palette and composition; The dominant red roof has been reduced and more varied textures and colours have been introduced for the interior facing elevations.
Revise the roof exposure facing the interior street to reduce the amount; The lower portions of the red roof has been changed to a flat roof, with the increased wall exposure getting different patterns.
Consider a gate or fence to unite the Eastern and Western sections; A fence has been added with the opening only for sidewalk and road. It does unite the two sides nicely.
Provide a better balance between the stone pedestal and wood columns above; The proportions has been drastically changed. The stone pedestal (pillars) are now much shorter.
Review the location of the door for the powder rooms; All the doors to the powder room have been moved to the side, out of sight from the kitchen and living area. It required to add a bit of floor space, which at the same time provides protection to the entrance below.
Improve weather protection at front entrances. Each entrance has now proper protection at the 8' level.

Enclosed also find the updated FSR tabulation with highlighted changes.

Yours truly,
Mottet Architect Inc.



per: Bernard A.J. Mottet, MAIBC MRAIC
1003 Maple Ridge/Maple Ridge 18dec2018.docx

Encl. PMG letter
FSR calcuation

MAPLE RIDGE
British Columbia
mapleridge.ca

City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	2018-464-DVP 2018-464-DP
FROM:	Chief Administrative Officer	**MEETING:**	C o W
SUBJECT:	**Development Variance Permit Development Permit 11907 223 Street**		

EXECUTIVE SUMMARY:

Development Variance Permit application 2018-464-DVP and Development Permit application 2018-464-DP have been received in conjunction with a rezoning application to rezone the subject property, located at 11907 223 Street, from RM-3 (Medium/High Density Apartment Residential) zone to RM-2 (Medium Density Apartment Residential) zone to allow the future development of a six-storey apartment building with approximately 57 apartment units.

The requested variances are to:

1. Reduce the setbacks from 7.5 metres to:
   - 4.0 metres from the Front Lot Line (223 Street) and from the Exterior Side Lot Line (119 Avenue), with further reductions to allow for balcony and roof line feature projections; and
   - 3.0 metres from the Rear Lot Line and from the Interior Side Lot Line (Lane on the north side of the site), with further reductions to allow for balcony and roof line feature projections.

In addition, an In-lieu Parking Contribution for eight parking spaces is proposed at a rate of $8,000 per parking space.

Council will consider final reading for rezoning application 2018-464-RZ on December 14, 2021.

RECOMMENDATIONS:

1. **That the Corporate Officer be authorized to sign and seal 2018-464-DVP respecting property located at 11907 223 Street; and**

2. **That the Corporate Officer be authorized to sign and seal 2018-464-DP respecting property located at 11907 223 Street; and further**

3. **That an In-Lieu Parking Contribution of $64,000, for eight parking spaces at a rate of $8,000/space, has been received respecting property located at 11907 223 Street as provided in the Off-Street Parking and Loading Bylaw No. 4350-1990.**

1110

DISCUSSION:

a) Background Context

Applicant:		Bissky Architecture and Urban Design Inc.
Legal Description:		Lot 4 District Lot 398 Group 1 New Westminster District Plan 8380
OCP:		
Existing:		Low-Rise Apartment
Proposed:		Low-Rise Apartment
Zoning:		
Existing:		RM-3 (Medium/High Density Apartment Residential)
Proposed:		RM-2 (Medium Density Apartment Residential)
Surrounding Uses:		
North:	Use:	Apartment
	Zone:	RM-3 (Medium/High Density Apartment Residential)
	Designation:	Low-Rise Apartment
South:	Use:	Single Family Residential
	Zone:	RM-3 (Medium/High Density Apartment Residential)
	Designation:	Low-Rise Apartment
East:	Use:	Commercial
	Zone:	C-3 (Town Centre Commercial)
	Designation:	Flexible Mixed-Use
West:	Use:	Apartment
	Zone:	RM-3 (Medium/High Density Apartment Residential)
	Designation:	Low-Rise Apartment
Existing Use of Property:		Vacant
Proposed Use of Property:		Multi-Family Apartment
Site Area:		0.18 ha (0.43 acres)
Access:		Lane on the north side of the site
Servicing requirement:		Urban Standard

b) Background:

Council considered rezoning application 2018-464-RZ and granted first reading for Zone Amending Bylaw No. 7563-2019 on July 9, 2019. Council granted first and second reading for Official Community Plan Amending Bylaw No. 7631-2020 on April 14, 2020, and second reading for Zone Amending Bylaw No. 7563-2019 on April 14, 2020. The subject application was presented at Public Hearing on May 19, 2020, and Council granted third reading on May 26, 2020. Under the Development Procedures Bylaw, the Director of Planning granted an extension on October 21, 2021.

The subject property (Appendices A and B) has historical RM-3 (High Density Apartment Residential District) zoning that is intended for dense, high-rise buildings. The applicant is seeking to rezone the subject site to the RM-2 (Medium Density Apartment Residential District) zone, that contains the bonus density provision allowing density to be increased through payment of a cash contribution of $161.46 per square metre ($15.00 per square foot) for additional Floor Space Ratio (FSR) between 1.8 and 2.4.

Since third reading was granted on May 26, 2020, the property was transferred to new owners, that changed the unit mix to reflect more current market demands. The project was changed from 51 to 57 apartments, without increasing the amount of floor area or increasing the FSR. The FSR actually was slightly reduced from 2.36 FSR to 2.25 FSR.

Also, some minor changes mainly related to the colour pallet were incorporated into the final design. The project continues to align with the Town Centre area guidelines and the acceptance by the Advisory Design Panel.

The main outcome of this change in the number of dwelling units includes:

- Increasing the requested number of parking spaces to be subject to in-lieu parking payment from one to eight spaces;
- Increasing the Community Amenity Contribution from $158,100.00 ($3,100/unit x 51) to $176,700 ($3,100/unit x 57); and
- Decreasing the bonus density contribution to reflect the change in the FSR exceeding 1.8, from $147,994.24 (0.56 FSR x $161.46 per square metre) to $123,420.02 (0.45 FSR x $161.46 per square metre).

c) Project Description:

The proposed building is six-storeys with 57 apartment units and 59 concealed parking spaces (Appendix C). Two levels of parking are provided: one is an underground structure and the other at ground level oriented to the lane and shared with apartment units facing 119 Avenue and 223 Street. This ground level parking area will have a rooftop amenity space. Access to the parking will be by separate driveways (one being a ramp) from the lane along the northern edge of the site.

d) Planning Analysis:

This development project complies with the applicable development permit area guidelines for the Downtown West Precinct. A review of the Key Guideline Concepts applied by the applicant's project architect is as follows:

1. Provide a gateway to the Town Centre
   While not necessarily a gateway site, this project will especially signal a new beginning for the west side of our downtown area and hopefully encourage others to continue the regeneration of our downtown.

2. Enhance the quality, character and vibrancy of the Town Centre
   This development is vibrant in its colour and clean in form.

3. Create a pedestrian-oriented, boutique-style shopping district
   While there is no commercial space in this building, the pedestrian zone is activated with ground floor entries, gates and identifying features aimed at creating a pleasant walking experience along its frontage.

4. Reference traditional architectural styles
   As Maple Ridge does not have a traditional architectural style per se that reflects a 6 storey form, it does have a long heritage of the production of brick. Hence, we have detailed masonry along the base of the building in an appropriate lower scale out of respect for this long gone, yet important part of our history.

5. Capitalize on important views
   Views will be captured towards the Golden Ears to the north and south to the Fraser on the upper floors. The lower ones will enjoy the streetscapes and their associated activities.

6. Provide public outdoor space
   The main frontages of our development create a pleasant and welcoming public experience, although no public spaces have been provided onsite. A generous outdoor amenity space for the residents is locate to the south side above the main floor parking.

7. Provide climate appropriate landscaping and green features
   The landscape architect has carefully selected hardy climate appropriate plants and green features throughout the site along all edges and on the upper outdoor space.

8. Maintain street interconnectivity
   This development will invigorate this long quiet and vastly underused site, finally being able to provide much needed and desperately wanted homes for both our existing and new community members. Its close proximity to all of the downtown amenities, services and rapid transit will create an instant interconnection between these residents and the streets both adjacent and beyond.

e) Variance Analysis:

The Zoning Bylaw establishes general minimum and maximum regulations for single family development. A Development Variance Permit allows Council some flexibility in the approval process.

The requested variances and rationale for support are described below:

Maple Ridge Zoning Bylaw No 7600-2019, Part 6, *618 Zone: RM-2 Medium Density Apartment Residential is varied as follows:*

1. **Section 618.7 Setbacks Subsection 1 is varied by reducing the Front Lot Line (223 Street) and the Exterior Side Lot line (119 Avenue) setbacks from 7.5 metres to 4.0 metres; and the Rear Lot Line and the Interior Side Lot line (Lane on the north side of the site) setbacks from 7.5 metres to 3.0 metres.**

   This relaxation supports the building form being proposed, brings the building closer to the sidewalks to animate the public space and permit the open space on a portion of the lower roof top at the northwest part of the site.

f) Advisory Design Panel:

This application was reviewed by the Advisory Design Panel (ADP) on January 22, 2020. Their comments and the applicant's responses can be seen in Appendix D.

Since this approval, there were some minor changes mainly related to the colour pallet that were incorporated into the final design. The project continues to align with the Town Centre area guidelines and the acceptance by the Advisory Design Panel.

g) Citizen/Customer Implications:

In accordance with the *Development Procedures Bylaw No. 5879-1999,* notice of Council consideration of a resolution to issue a Development Variance Permit was mailed to all owners or tenants in occupation of all parcels, any parts of which are adjacent to the property that is subject to the permit.

h) Financial Implications:

In accordance with Council's Landscape Security Policy, a refundable security equivalent to 100% of the estimated landscape cost will be provided to ensure satisfactory provision of landscaping in accordance with the terms and conditions of the Development Permit. Based on an estimated landscape cost, the security will be $102,727.00.

CONCLUSION:

The proposed development permit and development variance permit are supported as the form and character of the proposed six-storey apartment building is in compliance with the Downtown West Precinct Key Guidelines and the setback variances are consistent with the Key Guidelines respecting street-orientation and interconnectivity within the Town Centre Area.

It is therefore recommended that this application be favourably considered and the Corporate Officer be authorized to sign and seal Development Variance Permit 2018-464-DVP and Development Permit 2018-464-DP.

"Original signed by Mark McMullen" for

Prepared by: **Adrian Kopystynski MSc, MCIP, RPP, Planner**

"Original signed by Charles Goddard"

Reviewed by: **Charles R. Goddard, BA, MA Director of Planning**

"Original signed by Christine Carter"

Approved by: **Christine Carter, M.PL, MCIP, RPP GM Planning & Development Services**

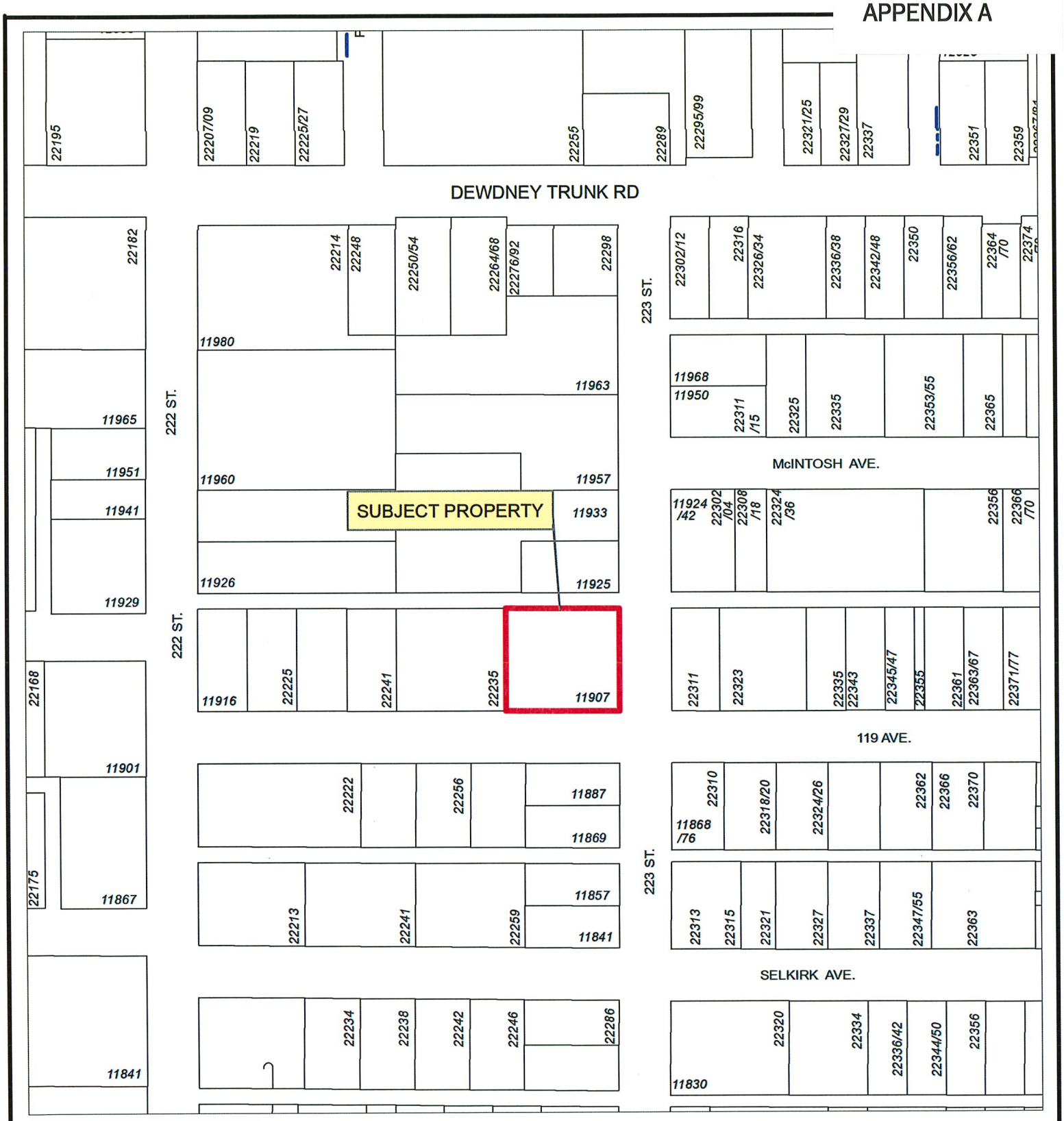
"Original signed by Scott Hartman"

Concurrence: **Scott Hartman Chief Administrative Officer**

The following appendices are attached hereto:

Appendix A – Subject Map
Appendix B – Ortho Map
Appendix C – Site, Architectural and Landscaping Plans
Appendix D – Proposed Variances
Appendix E – Response to ADP

APPENDIX A



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Scale: 1:2,000

Legend

Ditch Centreline

11907 223 St

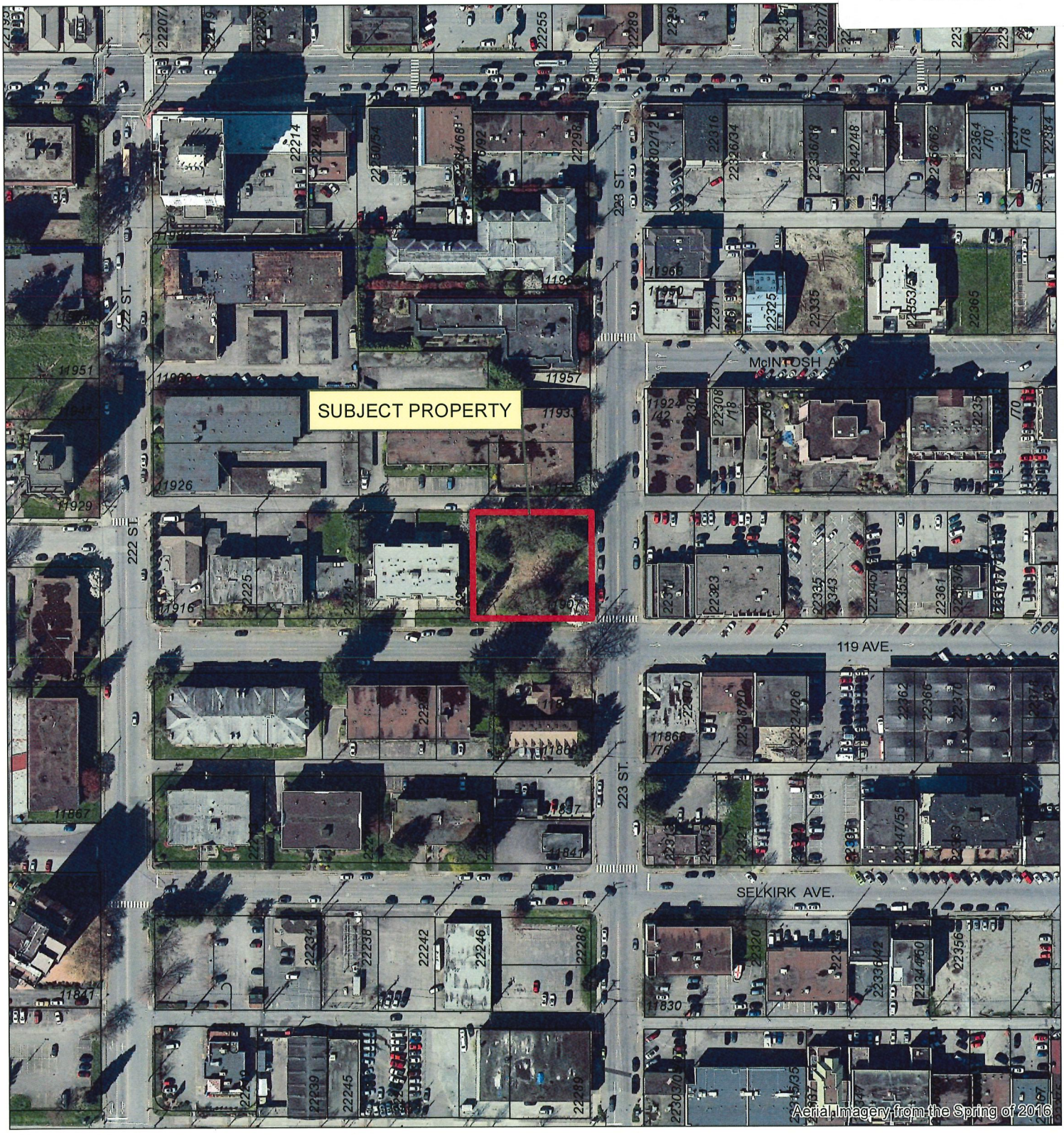
PLANNING DEPARTMENT

MAPLE RIDGE British Columbia

mapleridge.ca

FILE: 2018-464-RZ
DATE: Nov 8, 2018
BY: LP

APPENDIX B



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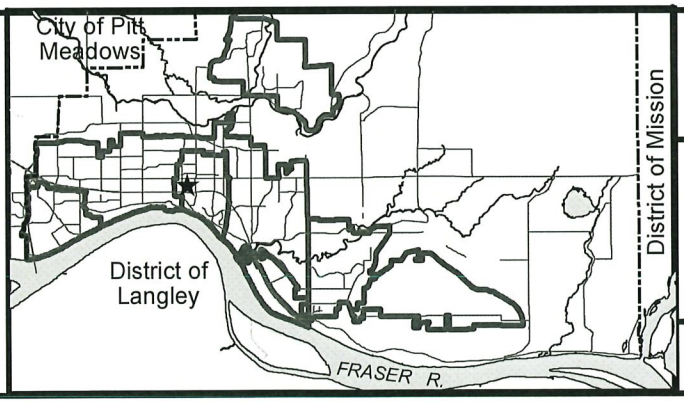

11907 223 St

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2018-464-RZ
DATE: Nov 8, 2018
BY: LP

PRELIMINARY, NOT FOR CONSTRUCTION

The Thomas

Proposed 6 Storey Residential Building

1 View to N-W From 119th & 223rd
Scale: 1:24

BUILDING SPRINKLERED TO NFPA 13

Sheet List

A0.1	Cover Sheet
A0.2	Project Data
A0.3	Assemblies
A0.4	Window Schedule
A0.5	Door Schedule
A0.6.0	Fire Fighting
A0.6.1	Code Compliance Sheet
A0.6.2	Code Compliance Sheet
A0.6.3	Code Compliance Sheet
A1.0	Site Plan
A1.1	Site Plan w/ Survey
A1.2	Sections Locations Plan
A2.0	P-1 Parking Floor Plan
A2.1	1st Floor Plan
A2.2	2nd Floor Plan
A2.3	3rd Floor Plan
A2.4	4th Floor Plan (Crossover)
A2.5	5th Floor Plan
A2.6	6th Floor Plan
A2.7	Roof Plan
A2.8	FSR Plan
A2.9	CEA Plan
A3.0	Unit Plans
A3.1	Unit Plans
A3.2	Unit Plans
A3.3	Unit Plans
A4.0	Elevations
A4.1	Elevations
A5.0	Sections
A5.1	Sections
A6.1	Perimeter Wall Sections
A6.2	Perimeter Wall Sections
A6.3	Perimeter Wall Sections
A7.0	Stair 1 Plans
A7.1	Stair 2 Plans
A7.2	Site Exit Stairs
A7.3	Site Stair/Elevator Shaft Section
A8.0	Construction Details
A8.1	Construction Details

Owner
Carla Kasemi
Mobile: (604) 862-8833
Email: carla@tidecca.com

Architect
Wayne Stephen Bissky Architecture
204 - 22320 Lougheed Highway
Maple Ridge, BC V2X 2T4
Wayne Bissky, Architect AIBC
Tel: 604-467-8300
Cell: 778-288-6730
Fax: 604-467-8305
Email: bissky@telus.net
Bill Breen
Cell: (778) 838-1971
Email: billbreen@shaw.ca

Municipal Planner
Maple Ridge Planning Department
11995 Haney Place
Maple Ridge, BC V2X 6A9
Contact: **Adrian Kopystynski**
Fax: (604) 466-4327
Ph: (604) 467-7401
Email: planningtech@mapleridge.ca

Project Manager
Tidecca Project Management Inc.
Contact: **Aaron Chan**
Ph: 778-574-0721
Email:aaron@tidecca.com

Civil Engineer (pending)
Weider Engineering LLP
204 - 2790 Gladwin Road
Abbotsford BC V2T 4S8
Kelly Kerr & Stan Reid
Tel: 1 (604) 852-7300 107
Cell: (604) 302-1656
Fax: (604) 852-7302
email: kkerr@weidler.com

Surveyor
Wade & Associates Land Surveying Ltd.
22713 119 Ave.
Maple Ridge BC V2X 8S5
Their Job # MS024-01
Stan Wade, Jay Van Noorlwyk 1st, S.TECH
Tel: (604) 463-4753
Fax: (604) 463-9115
email: stanw@wadesurvey.com
email: jay@wadesurvey.com

Arborist
Koome Urban Forestry Ltd.
ISA Certified Arborist, PN-5962A
ISA Tree Risk Assesment Qualified
Kelly J Koome | Principal Arborist
Tel. 778-855-4777
Fax 604-941-4466
www.koomeurbanforestry.ca

Geotechnical Engineer (Their Job #18-7823)
Geotechnical Engineer
Braun Geotechnical Ltd.
102 - 19049 95A Avenue
Surrey, BC V4N 4P3
James Wetherill, P.Eng.
Tel: 604-513-4190
Cell: 604-551-5911
email: jamesl@braungeo.com

Structural Engineer
London Moh & Associates Ltd.
#103 – 1847 West Broadway
Vancouver, BC. V6J 1Y6
Jim Moh , P.Eng, Rolando Syjuco, P.Eng.
Tel: 604-739-8544
Fax: 604-739-1468
email: londonmoh@telus.net

Landscape Architect
Greenway Landscape Architecture
2280 Park Crescent
Coquitlam BC. V3J 6T4
Paul Whitehead BCSLA
tel: 604-836-9167
email: paul@greenwayla.ca

Legal Consultant
Andrea Rasmussen of Wilson Rasmussen LLP,
Guildford Landmark,
15127 100 Ave Suite 300, Surrey, BC V3R 0N9
Andrea Rasmussen
Tel. 604-583-7917 (#41)
Fax 604-583-7139 (fax)
email: arasmussen@wilsonrasmussen.com

Fire Protection Engineer
Cardinal Engineering Ltd.
709 - 610 Granville St.
Contact: Ryan Povey
Tel: 604-329-8050
Email: info@cardinalfire.ca

Quantity Surveyors
Concept
709 - 610 Granville St.
Contact: Ryan Povey
Tel: 604-329-8050
Email: info@cardinalfire.ca

Mechanical/Electrical Engineer:
their project # P1782
SRC Engineering Consultants LTD.
100-4240 Manor Street, Burnaby, BC V5G 1B2
T: 604-268-9091 F: 604-268-9092
Bill Khangura, P. Eng. (Mech'l)
email: bill@src-eng.com
Tel: 604-268-9091
Dir: 236-521-4919 Cell: 604-485-9173
Mike Shehata, P.Eng (Elec'l)
236-521-4916
email: mike@src-eng.com

Marketing
Trevor Street
CEO/Founding Partner
The Partners Marketing Group
Keller Williams Elite Realty
A123 – 2099 Lougheed Hwy
Port Coquitlam, BC, V3B 1A8
T: 604 468 0010
C: 778 846 9096
www.thepartnersmarketinggroup.com

ISSUED:	DATE:
Issued to Geotech	2021-04-01
Issued to Civil	2021-09-13
Issued for coordination	2021-09-23
Issued for Pricing	2021-10-06

REVISED:	DATE:

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Proposed RM-2 Multi-Family Dev't
Civic Address: 11907-223 Street, Maple Ridge,BC
Legal Address: LT 4, DL 398, NWD, PL NWP8360
PID #: 011-308-881

Cover Sheet

WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#204 22320 Lougheed Highway,
Maple Ridge B.C. V2X 2T4
Tel. 604-467-8300 Fax. 604-467-8305
Email bissky@telus.net
Website: www.bissky-architecture.ca

Date: 2019-06-18
Scale
Drawn
Project ID
Sheet A

APPENDIX C

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings For The Thomas 11907 223 ST BP 2021-09-14.vwx

Exterior Dimension are shown to face of concrete, face of exterior sheathing.
Interior dimensions are shown to face of stud.
Interior Shear walls are dimensioned to face of stud.
Dimensions are shown to Centre of columns or face of columns.

Zoning Information

Property:

Civic Address:	11907 - 223rd Street, Maple Ridge BC	
PID:	011-306-681	
Legal Description:	Lot 4, DL 398, NWD, Plan NWP6380	
Existing Zoning:	RM-3 (High Density Apartment Residential District)	
Proposed Zoning:	RM-2 (Medium Density Apartment Residential District)	
OCP:	APTL	
	111.2 sq.m	Including area along the south side of lane & the west side of 223rd
Easement:	No	
Covenant Area:	No	
Environmental Dedication:	No	
Gross Lot Area	1746.9 sq m	18,825.1 sq ft
Net Lot Area (after lane dedication)	1707.9 sq m	18,383.2 sq ft

Zoning Information for RM-2 (Medium Density Apartment Residential District

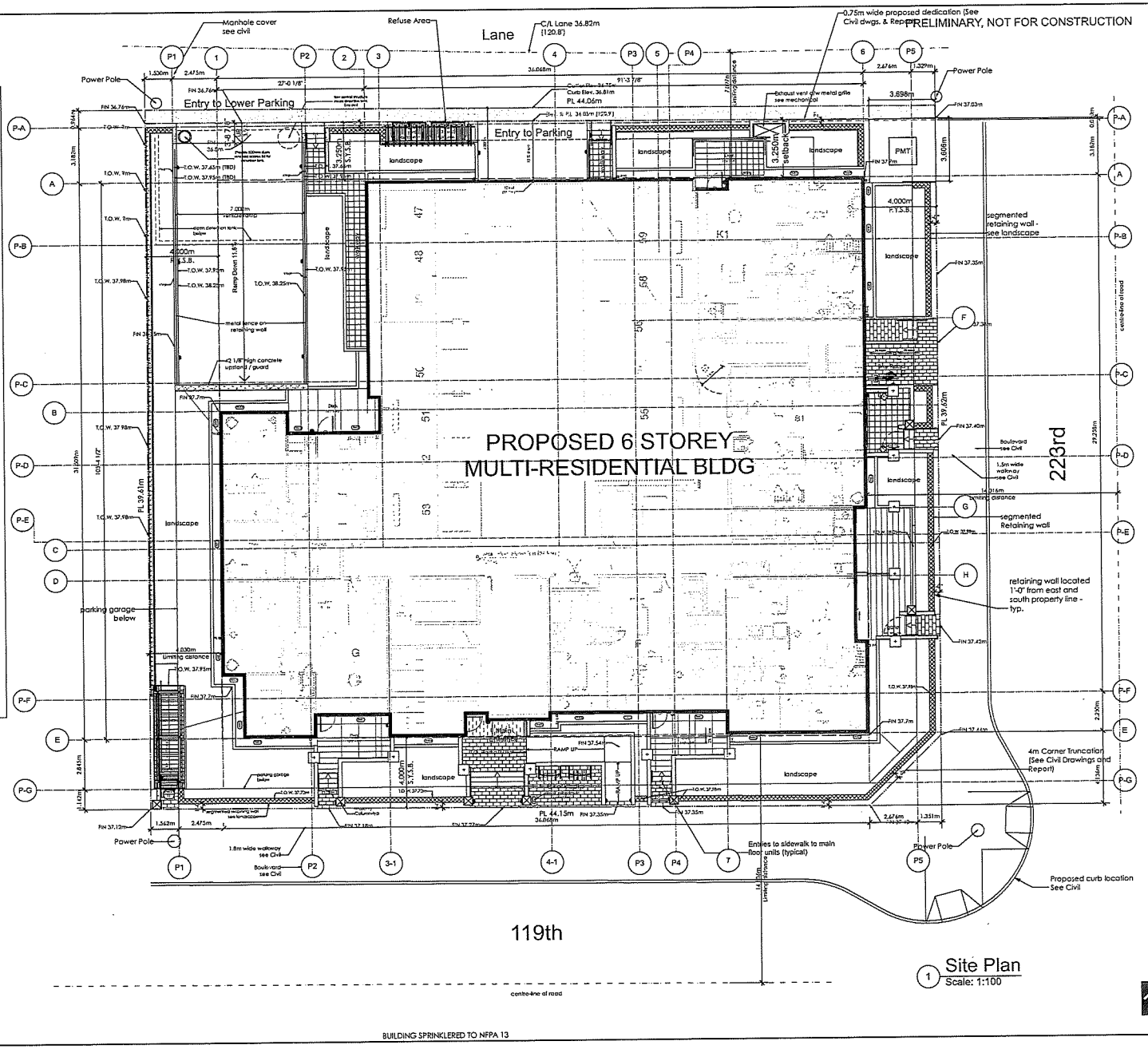
	Required:	Provided:
Lot Width:	30m	44m
Lot Depth:	N/A	40m
Lot Area:	1,300 m2	1707.9 sq m
Max. Dwelling Height:	15m nor 4 storeys	See list of Variances
Max. Accessory Height:	N/A	
Siting:	**Required:**	**Provided:**
Front Setback:	= 7.5 m	4.0m along 223rd
Rear Setback:	= 7.5 m	4.0m along the west side 4.0m along 119th and
Exterior Side Yard Setback:	= 7.5 m	3.250m along the North
Interior Side Yard Setback:	= 7.5 m	N/A
Common Activity Area:	1 m2 / Dwelling Unit	51 m2
Usable Open Space:	20% Lot area	34.3%

Maple Ridge Town Centre Parking Standards	Stalls per Unit:	Required:	Provided:
6 Studio Suites	1	6	
11 One Bedroom Suites	1.1 Stalls	12.1 Stalls	
40 Two Bedroom Suites	1.2 Stalls	48.0 Stalls	
	Total:	67 Stalls	59 Stalls
Pay in lieu $8000 per stall	8 stalls	$8,000	$ 64,000
Visitor Component (included in total) : 0.10 space/unit – where on-street supply available.	0.1	5.7 Stalls	6 Stalls
Handicap Accessible Parking =	1/75	1 Stall	1 Stall
Small Parking Stalls Allowed =	10%	6.7 Stalls	4 Stalls
Long Term Bike Parking	1 per 4 units	14.3 Stalls	15 Stalls
Short Term Bike Parking	6 per 20 units	17.1 Stalls	18 Stalls

Density Calculation	Permitted:	Provided:	
FSR in RM2 (1.8 x Site Area) =	3074.1 sq m	3838.5 sq m	41,317.1 sq ft
Density Bonusing Requested =		764.4 sq m	8,227.5 sq ft
Total FSR Requested		2.25 FSR	
Floor Area (As defined by Zoning Bylaw for FSR Calculation)			
Floor 1	453.6 sq m	Plan-Floor1	
Floor 2	673.4 sq m	Plan-Floor2	
Floor 3	677.9 sq m	Plan-Floor3	
Floor 4	677.9 sq m	Plan-Floor4	
Floor 5	677.9 sq m	Plan-Floor5	
Floor 6	677.9 sq m	Plan-Floor6	
Total FSR	3838.5 sq m		
Estimated Bonus Density Contribution psf beyond 1.8 FSR		$15 psf	$123,412

	Permitted:	Provided:
Lot Coverage	N/A	993.1 sq m 58.1%

Number of Dwelling Units	
Studio Suite	6 units
1 Bedroom	11 units
2 Bedroom	40 units
Total	57 units



BUILDING SPRINKLERED TO NFPA 13

ISSUED:	DATE:
Street, Prelim Columns	2020-10-13
Issued to Planning Dept.	2020-10-15
Issued for Coordination	2021-02-05
Issued to Geotech	2021-02-09
Issued to Civil	2021-04-19
Issued for Construction	2019-06-28
Issued for Pricing	2021-10-05
REVISED:	**DATE:**

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Proposed RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge BC

Legal Address: LT 4 DL 398 NWD PL NWP6380

PID #: 011-306-681

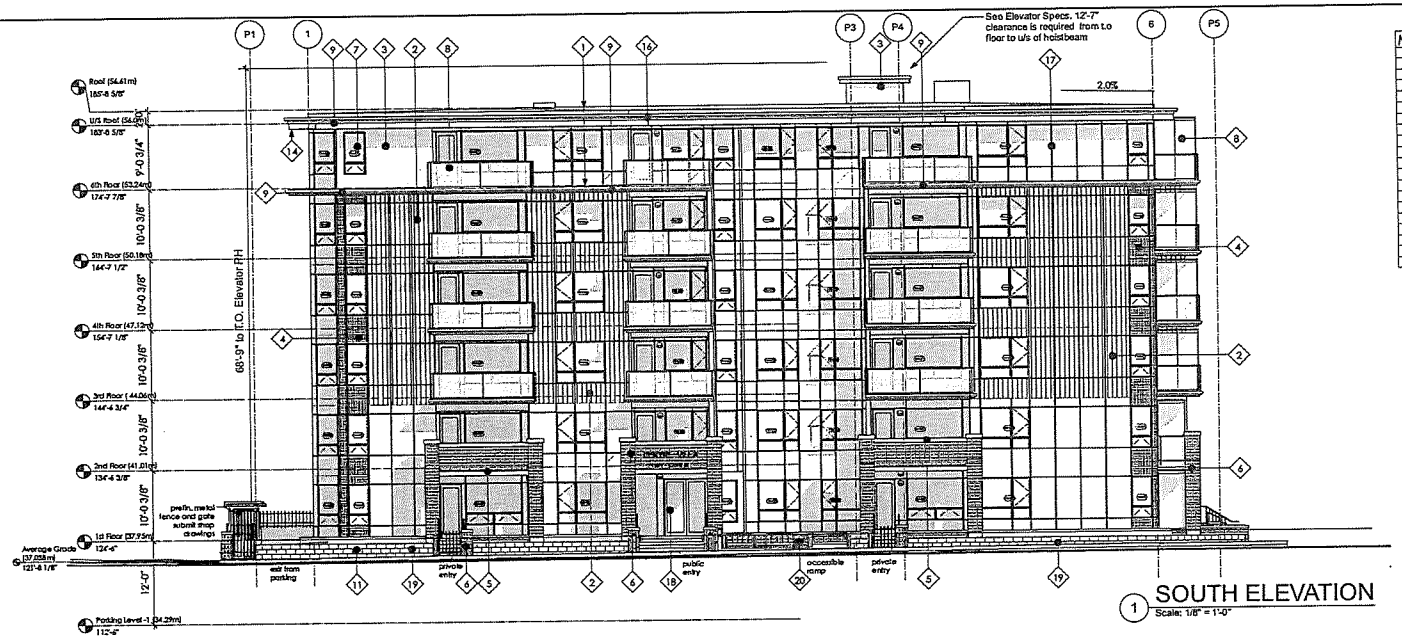
Site Plan

WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#214 2339 Langdon Highway
Abbotsford, BC V2T 3L1
Cell: 604-857-8305 Fax: 604-857-8355
E-mail: wbissky@telus.net

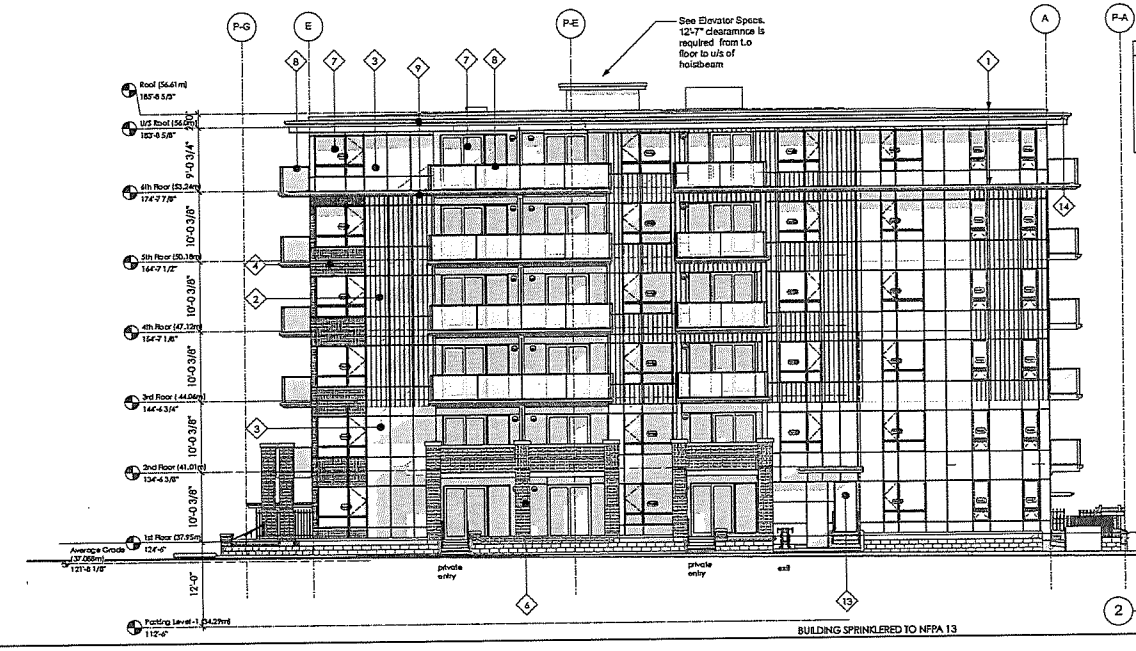
Date:	2019-06-18
Scale	1:100
Drawn	WB / BT
Project ID	1810
Sheet	A1.0

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for the Thomas 11907-223 ST 2021-02-14.vwx

PRELIMINARY NOT FOR CONSTRUCTION



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"

BUILDING SPRINKLERED TO NFPA 13

MATERIAL LEGEND

1	ROOF MEMBRANE
2	FIBRE-CEMENT 8" VERTICAL PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA TAUPE
3	FIBRE-CEMENT SMOOTH PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA SNOW
4	FIBRE-CEMENT SMOOTH PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA FLAGSTONE
5	ARCHITECTURAL CONCRETE
6	BRICK VENEER - 10L KLAYCOAT CHARCOAL
7	DOUBLE GLAZED WINDOWS AND DOORS - WHITE FRAME
8	TEMPERED GLASS GUARD RAIL / PRIVACY GUARD WITH ALUMINUM POSTS
9	5/4 FIBRE-CEMENT FASCIA - COLOUR - ALLURA FLAGSTONE
10	STEEL TREILLIS - PAINT FINISH - BLACK
11	PREFINISHED METAL PICKET RAILING - BLACK
12	OVERHEAD GARAGE DOOR
13	EXTERIOR DOOR - PAINT FINISH - WHITE
14	FIBRE-CEMENT SOFFIT - COLOUR - ALLURA SNOW
15	METAL LOUVERED GRILLE
16	PREFINISH METAL GUTTER AND DOWNSPOUTS - COLOUR TO MATCH ALLURA FLAGSTONE
17	EASYTRIM REVEAL SYSTEM - ANODIZED FINISH
18	ALUMINUM STOREFRONT ENTRY DOOR - ANODIZED FINISH
19	SEGMENTED LANDSCAPE RETAINING WALL - SEE LANDSCAPE
20	CONCRETE WALL WITH THIN BRICK VENEER - 10L KLAYCOAT CHARCOAL

SPATIAL SEPARATION:

WALL:	UNIT	LIMITING DISTANCE	AREA EXPOSING BLDG FACE	L/H RATIO	% OPENING ACTUAL	% OPENING ALLOWED	TYPE OF CONSTRUCTION	FIRE RATING	CLADDING
NORTH	Parking	7.10 m	63.0	1:5.3	41.7%	100%	COMB	45 min.	COMB/NONC
SOUTH	F	14.11 m	29.8	1:3.19	44.3%	100%	COMB	45 min.	COMB/NONC
EAST	B3	14.02 m	32.7	1:3.5	43.1%	100%	COMB	45 min.	COMB/NONC
WEST	J2	4.03 m	26.4	1:3.46	19.0%	78%	COMB	45 min.	COMB/NONC

ISSUED:	DATE:
Struct. Prelim Columns	2019-10-11
Issued to Electrical for Hydro/Utilities	2019-10-15
Issued to Geotech	2019-10-18
Issued to Civil	2019-10-18
Issued for construction	2019-10-18
Issued for Pricing	2019-10-18

REVISED: DATE:

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Proposed RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge, BC

Legal Address: LT 4, DL 398, NWD, PL NWP8380

PID #: 010-105-681

Elevations

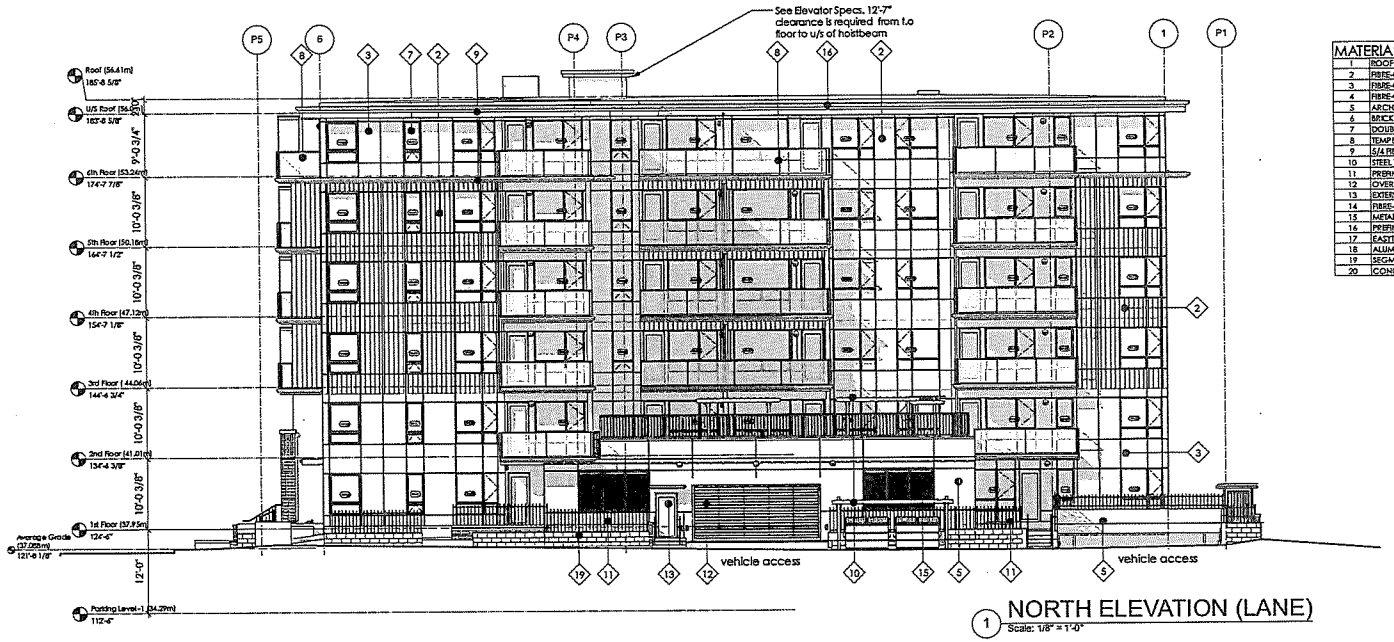
WAYNE STEPHEN BISSKY ARCHITECT INC. & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
Mailing Address:
Ph.
Fax:
Email:
Website: www.bisskyarchitects.ca

Date: 2019-05-18
Scale: 1/8" = 1'-0"
Drawn: WB / ST
Project ID: 1810

Sheet: A4.0

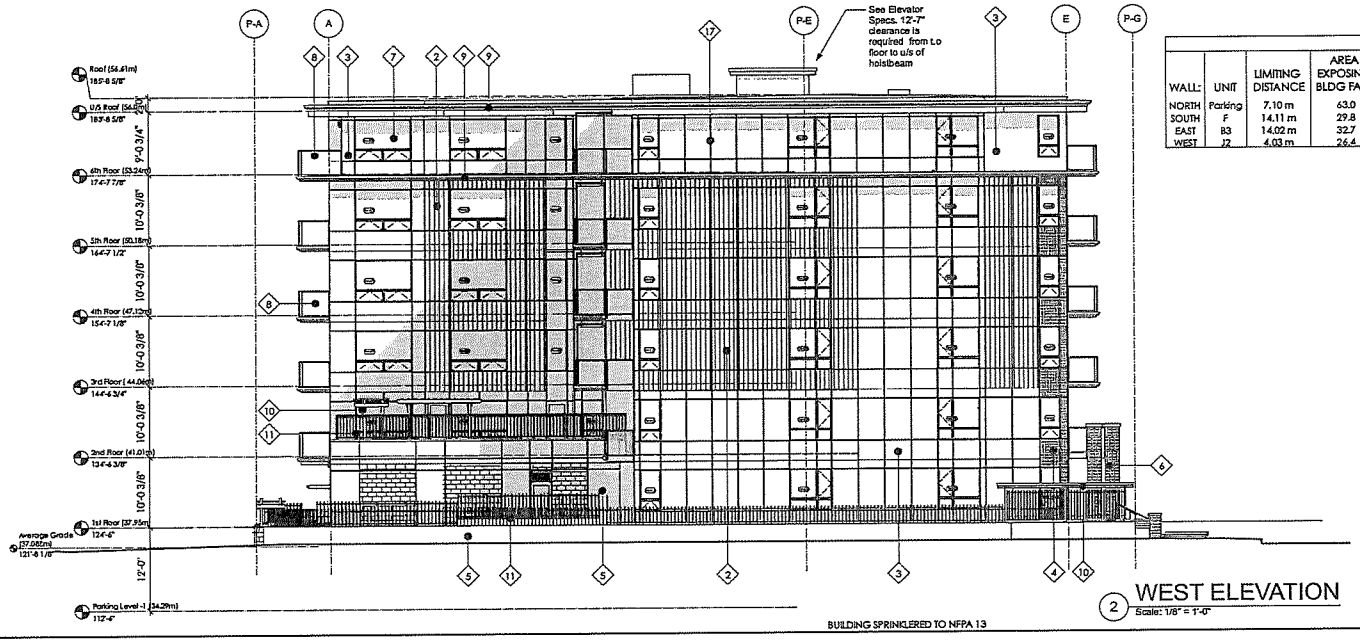
Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for the Thomas 11907-223 ST 2020-09-14.vwx

PRELIMINARY, NOT FOR CONSTRUCTION



1 NORTH ELEVATION (LANE)
Scale: 1/8" = 1'-0"

MATERIAL LEGEND	
1	ROOF MEMBRANE
2	FIBRE-CEMENT 8" VERTICAL PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA TAUPE
3	FIBRE-CEMENT SMOOTH PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA SNOW
4	FIBRE-CEMENT SMOOTH PANEL SIDING C/W REVEAL SYSTEM - COLOUR - ALLURA FLAGSTONE
5	ARCHITECTURAL CONCRETE
6	BRICK VENEER - IXL KLAYCOAT CHARCOAL
7	DOUBLE GLAZED WINDOWS AND DOORS - WHITE FRAME
8	TEMPERED GLASS GUARD RAIL / PRIVACY GUARD WITH ALUMINUM POSTS
9	5/4 FIBRE-CEMENT FASCIA - COLOUR - ALLURA FLAGSTONE
10	STEEL TRELLIS - PAINT FINISH - BLACK
11	PREFINISHED METAL PICKET RAILING - BLACK
12	OVERHEAD GARAGE DOOR
13	EXTERIOR DOOR - PAINT FINISH - WHITE
14	FIBRE-CEMENT SOFFIT - COLOUR - ALLURA SNOW
15	METAL LOUVERED GRILLE
16	PREFINISH METAL GUTTER AND DOWNSPOUTS - COLOUR TO MATCH ALLURA FLAGSTONE
17	EASTRIM REVEAL SYSTEM - ANODIZED FINISH
18	ALUMINUM STOREFRONT ENTRY DOOR - ANODIZED FINISH
19	SEGMENTED LANDSCAPE RETAINING WALL - SEE LANDSCAPE
20	CONCRETE WALL WITH THIN BRICK VENEER - IXL KLAYCOAT CHARCOAL



2 WEST ELEVATION
Scale: 1/8" = 1'-0"

SPATIAL SEPARATION:									
WALL:	UNIT	LIMITING DISTANCE	AREA EXPOSING BLDG FACE	L/H RATIO	% OPENING ACTUAL	% OPENING ALLOWED	TYPE OF CONSTRUCTION	FIRE RATING	CLADDING
NORTH	Parking	7.10 m	63.0	1:5.3	41.7%	100%	COMB	45 min.	COMB/NONC
SOUTH	F	14.11 m	29.8	1:3.19	44.3%	100%	COMB	45 min.	COMB/NONC
EAST	B3	14.02 m	32.7	1:3.5	43.1%	100%	COMB	45 min.	COMB/NONC
WEST	J2	4.03 m	26.4	1:3.46	19.0%	78%	COMB	45 min.	COMB/NONC

BUILDING SPRINKLERED TO NFPA 13

ISSUED: DATE:
Stvd. Prelim Colours 2019-10-18
Issued to Electrician for re... 2019-10-25
Issued to Geotech 2019-11-08
Issued to Civil 2019-12-13
Issued for coordination 2020-03-03
Issued for Pricing 2020-11-03

REVISED: DATE:

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Proposed RM-2 Multi-Family Dev't
Civic Address: 11007-223 Street, Maple Ridge, BC
Legal Address: LT 41 DL 398 NWD PL NWP8380
PID #: 011-308-061

Elevations

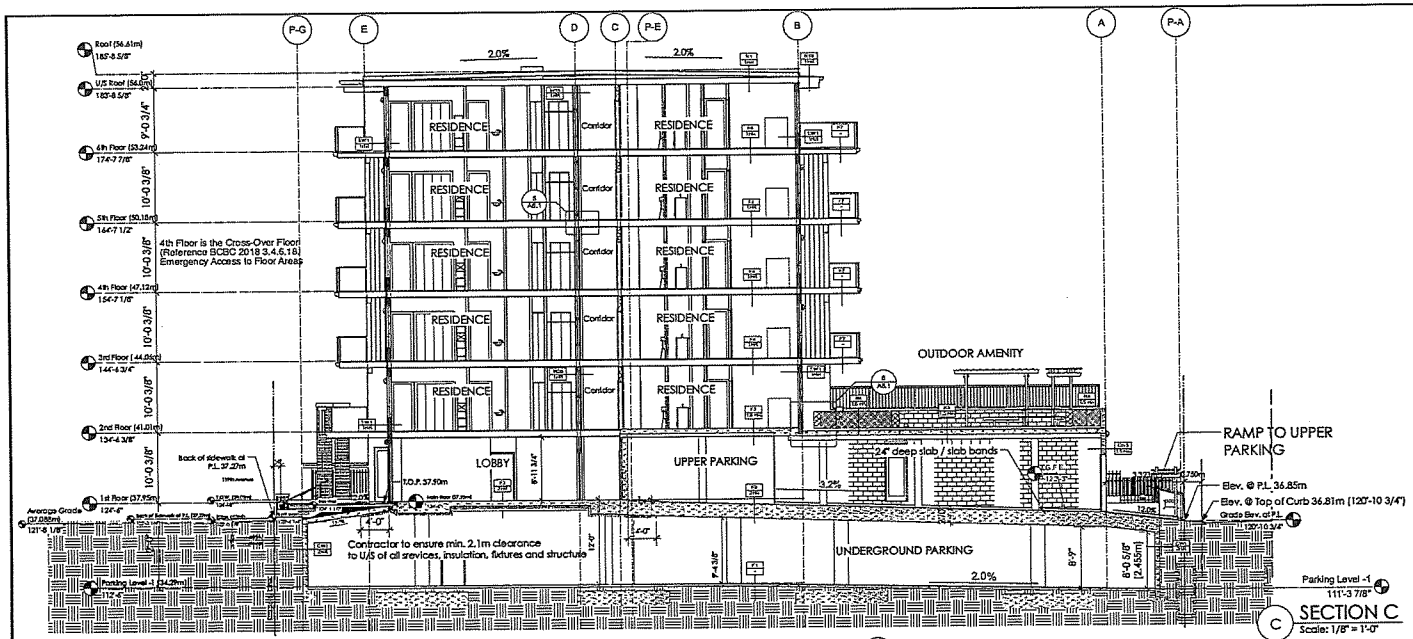
WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#203 20200 Lougheed Hwy.,
Port Hope Ontario, Canada
Ph: 604-374-3001 fax 604-467-6561
E-mail:
Website: www.bisskyarchitecture.ca

Date: 2019-09-18
Scale: 1/8" = 1'-0"
Drawn: WB / BT
Project ID: 1810

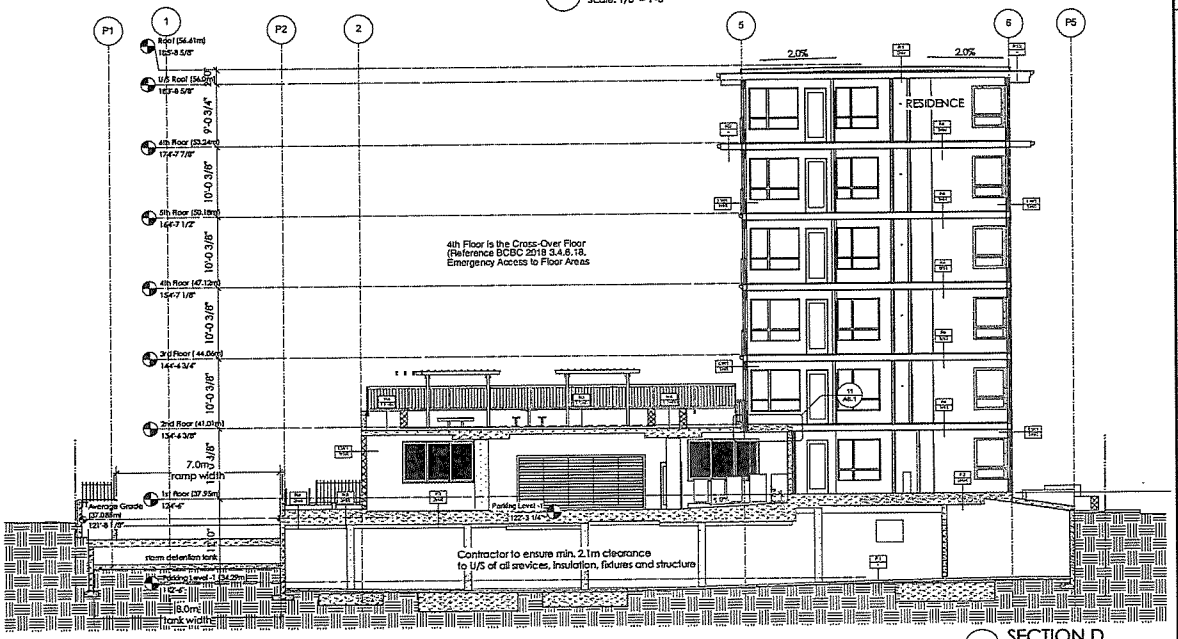
Sheet: A4.1

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for Re Rezoning 11007-223 ST 2020-09-14.rvt

PRELIMINARY, NOT FOR CONSTRUCTION



C SECTION C
Scale: 1/8" = 1'-0"



D SECTION D
Scale: 1/8" = 1'-0"

BUILDING SPRINKLERED TO NFPA 13

ISSUED:	DATE:
Issued for Rezoning	2019-10-10
Issued to Geotech	2021-03-05
Issued to Civil	2021-03-17
Issued for construction	2021-03-23
Issued for Pricing	2021-11-08

REVISED:	DATE:

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Proposed RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge BC

Legal Address: LT 4 DL 396; NWD; PL NWP8380

PID #: 011-308-681

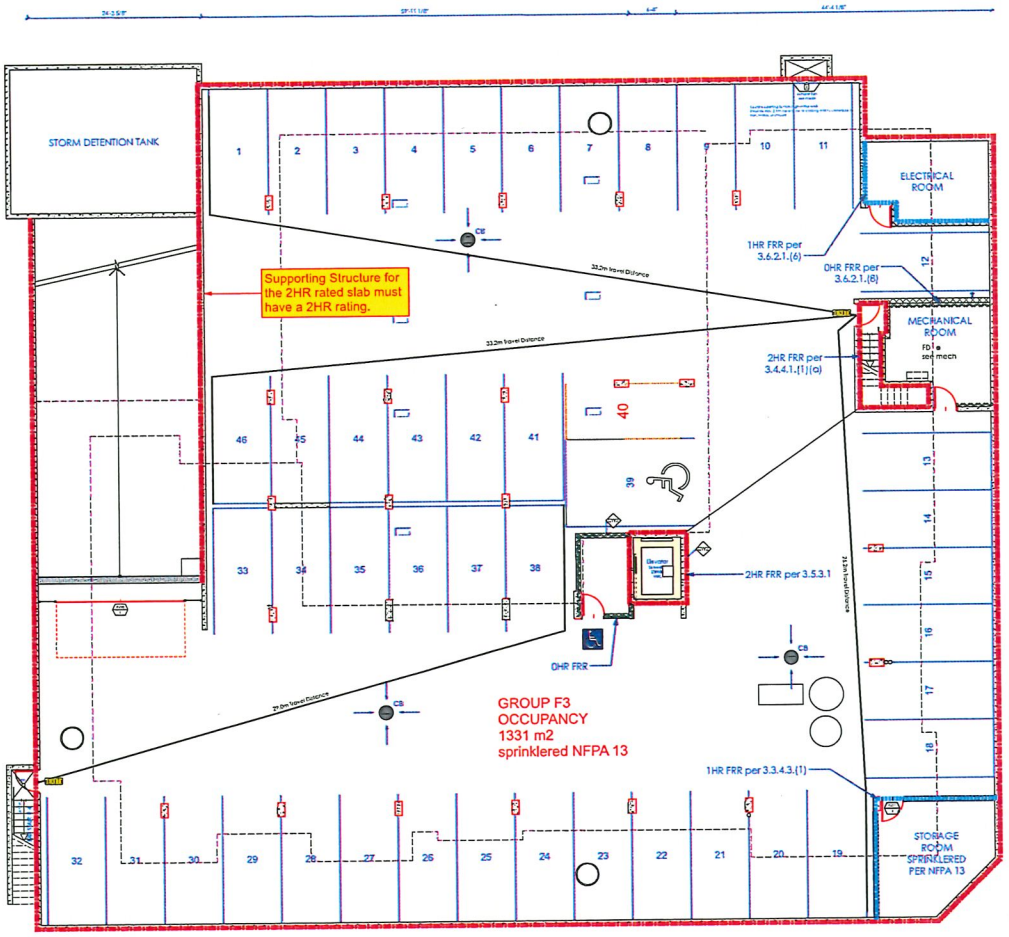
Sections

WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#24-2329 Lougheed Hwy,
Port Coquitlam, BC V3B 0G4
Tel: 604-469-9030
Email:
www.wsbarchitecture.ca

Date:	2019-05-18
Scale	AS NOTED
Drawn	WB / BT
Project ID	1810
Sheet	A5.1

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for Re Permit 11907-223 ST BT 2021-03-14.vwx

PRELIMINARY, NOT FOR CONSTRUCTION



1 P-1 Floor Plan
Scale: 1/8" = 1'-0"

BUILDING SPRINKLERED TO NFPA 13

Code Compliance Legend

Fire Separations

0 hr FRR	
1 hr FRR	
1 1/2 hr FRR	
2 hr FRR	
Travel Distance	
Exit Location	EXIT
Fire Hydrant	FH
Fire Department Connection	FDC
Annunciator Panel	AP
Strobe Light	
Handicap Access	

BCBC 2018 CODE ANALYSIS

Building Area	92.3 m2	993.1 sq ft	
No. of Storeys	6		
3.2.2 CLASSIFICATION	OCCUPANCY 1	OCCUPANCY 2	
Group	C	F3	
Code Reference	3.2.2.50	3.2.2.82 / 3.3.5.6	
Sprinklered	yes NFPA 13	yes NFPA 13	3.2.5.12 (2)(a)i
Max. Area	1500 m2	7200 m2	
Construction	Comb	Noncomb.	
Roof Rating	1 hr	0 hr	
Floor Rating	1 hr	1 hr	
Mezz. Rating	1 hr	1 hr	
Loadbearing Structure	* S.A.S.A.	* S.A.S.A.	
* S.A.S.A. = same as supported assembly			
Major Occupancy Fire Separations			
F3 - C occupancies	1 HR	Table 3.1.3.1	1 1/2 HR NONC PROVIDED
C - C occupancies	1 HR	3.3.4.2.(1)	
F3 to remainder of Bldg	1 1/2 HR	3.3.5.6	Main Floor Parking
F3 to C Occupancies	2 HR	3.2.1.2	Underground Parking
Electrical Rooms	1 HR	3.6.2.1.(6)	
Single Exit Requirements	OCCUPANCY 1	OCCUPANCY 2	
- Table 3.4.2.1.B	C	F3	
Max flr area	150 m2	300 m2	
Travel distance less than 25m - 3.4.2.1.(2)(b)			
Exit Width	Stair	Corridor	Doorways
Table 3.4.3.2.A	1100 mm	1100 mm	800 mm
	900 mm parking		
Fire Alarm Required	N.F.P.A. 13 / 13R	3.2.4.1.(1)	
Fire Walls	No		
Closures	Fire Separation	Closure Fire Protection Rating	
	1 hr	3/4 hr	
	1 1/2 hr	1 hr	
	2 hr	1 1/2 hr	
Resid. suite / 1 h corridor		20 min	
Service Penetrations	Fire Separation	Fire Protection Rating	
Conc. Slab	2 hr	2 hr FT	3.1.9.1.(2)
Other Separations	F rating of not less than the fire protection rating required for closures in the fire separation		

ISSUED:	DATE:
Issued to Geotech	2021-04-08
Issued to Civil	2021-04-13
Issued for coordination	2021-04-23
Issued for Pricing	2021-04-28
REVISED:	DATE:

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Proposed RM-2 Multi-Family Dev't

Civic Address: 11901-223 Street, Maple Ridge, BC

Legal Address: LT 4 DL 399 NWD PL LMP76380

PID #: 011-306-681

Code Compliance Sheet

Parking Plan

WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#214 20320 Logan Ave, Langley
Maple Ridge B.C. V2X 2J1 Tel 604-467-6035
604-467-6035 Fax
Email bissky@shaw.ca
Website www.bissky-architecture.ca

Date: 2019-05-18

Scale 1:1

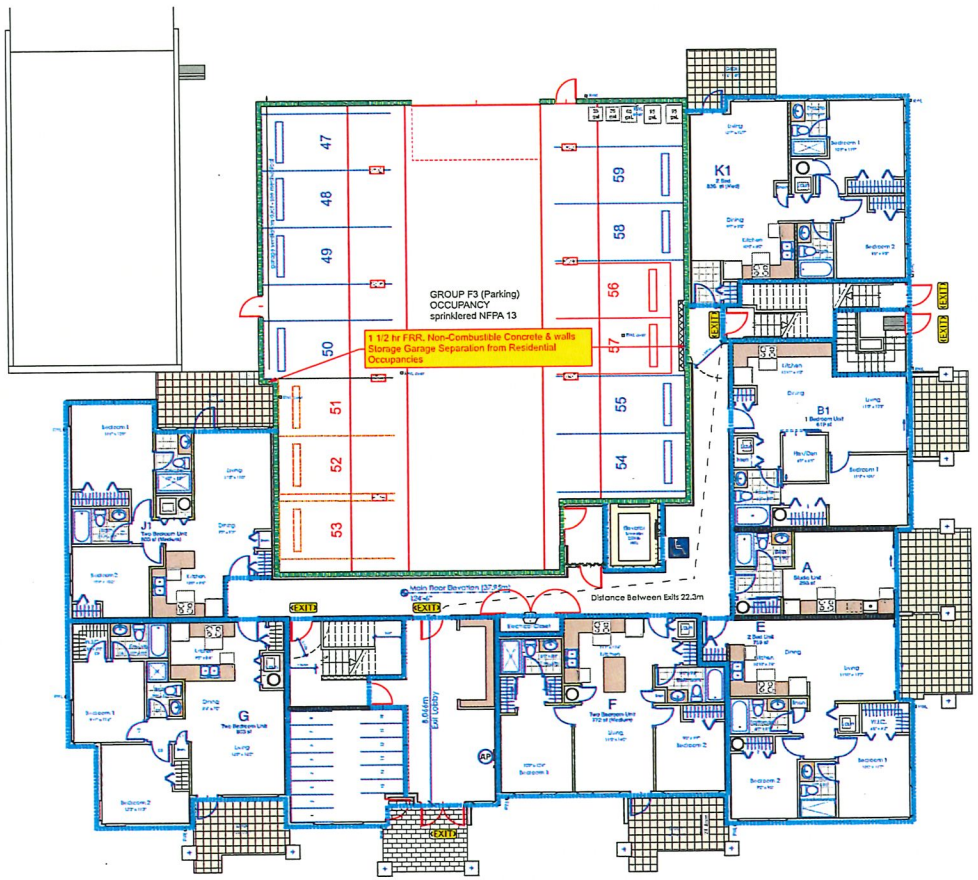
Drawn WB / BT

Project ID 1810

Sheet A0.6.1

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for the Thomas 11901-223 St BT 2020-09-14.vwx

PRELIMINARY, NOT FOR CONSTRUCTION



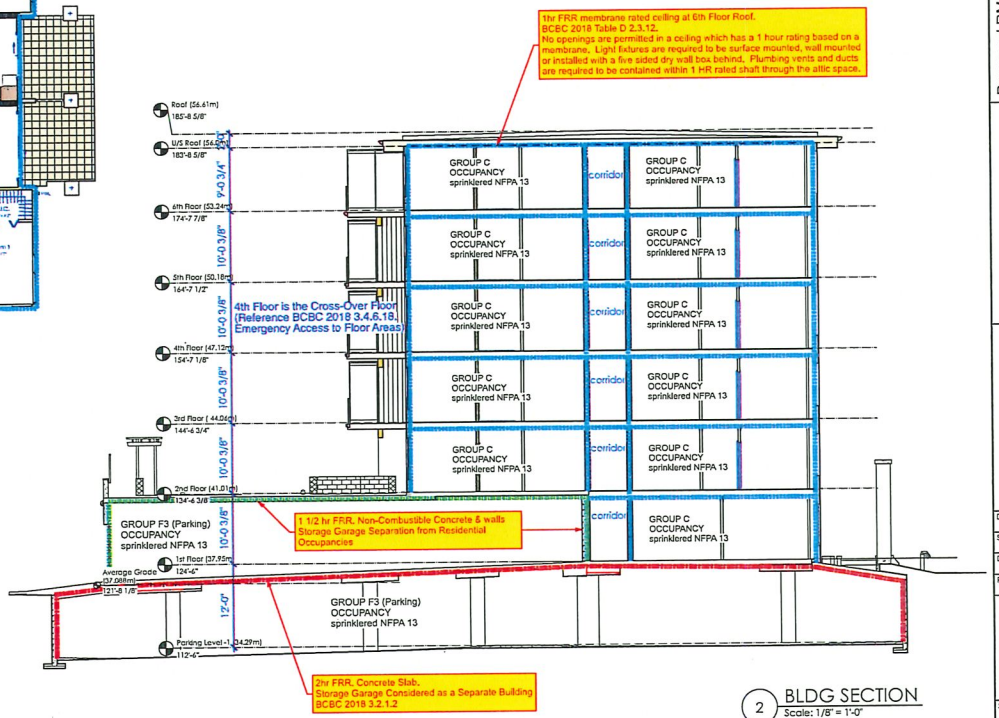
1 FIRST FLOOR
Scale: 1/8" = 1'-0"

Code Compliance Legend

Fire Separations

0 hr	FRR	
1 hr	FRR	
1 1/2 hr	FRR	
2 hr	FRR	

Travel Distance	
Exit Location	
Fire Hydrant	FH
Fire Department Connection	FDC
Annunciator Panel	AP
Strobe Light	
Handicap Access	



2 BLDG SECTION
Scale: 1/8" = 1'-0"

BUILDING SPRINKLERED TO NFPA 13

ISSUED:	DATE:
Issued to Geotech	2021-04-06
Issued to Civil	2021-04-13
Issued for coordination	2021-04-23
Issued for Pricing	2021-10-05

REVISED:	DATE:

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Proposed RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge, BC

Legal Address: LT 4; DL 399; NWD; PL NWP9390

PID #: 011-309-691

Code Compliance Sheet

First Floor / Section

WAYNE STEPHEN BISSKY
ARCHITECTURE & URBAN DESIGN INC.
PLANNING INTERIOR DESIGN
#205 22320 Lougheed Highway,
Maple Ridge, B.C. V2X 2S5 tel 604-467-8305
E-mail
Website

Date:	2019-05-16
Scale	1:1
Drawn	WB / BT
Project ID	1810
Sheet	A0.6.2

Plot Date: Dec 11, 2020
File Name: 1810 Working Drawings for Pre Thomas 11907-223 51 BT 2021-09-14.vwx

PRELIMINARY ONLY NOT FOR CONSTRUCTION

Refuse area
Trellis structure for screening

FOR PLANT LIST
REFER TO SHEET L3.1

adjacent
apartment
bldg

Landscape on Roofdeck
Planter walls to support 450 to 750
depth growing medium.
Trees, shrubs and perennials for
seasonal interest and screening.
Refer to typical details - sheet L3.0

Metal fence on retaining wall

Extent of parkade structure below

Resident entry and patios
Brick clad columns and walls
Concrete stairs with metal handrails
Recessed pathway light with louvres
Unit paving with soldier course
Patio paved with 300 square slabs

Building entry area
Brick clad columns and walls
Concrete stairs with metal handrails
Unit paving with soldier course
Bike Racks (8): Cora 'Expo' black
Turfstone with coloured aggregate

Rain Garden
To receive rain water from
Building roof.
Pebble lined depression to
collect and store water with
overflow to storm system.
Provides interim holding and
additional delayed discharge.

ISSUED DRAWINGS

Rev.24 27Sep '19 / ADP REVISIONS
Rev.15 19Dec'19 DEVELOPMENT PERMIT

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153 Unit RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge,BC
Legal Address: LT 4, DL 398, NWD, PL NWP8380
PID # 011-208-681

Ground Level
Landscape

Greenway
Landscape Architecture
2-2071 Dunlop Street
Coquitlam BC V3J 6T4
T 604 461 9120
E paul@greenway.ca

Date: Nov 2018
Scale As Noted
Drawn PACW
Project ID 1829

Sheet
L1.0

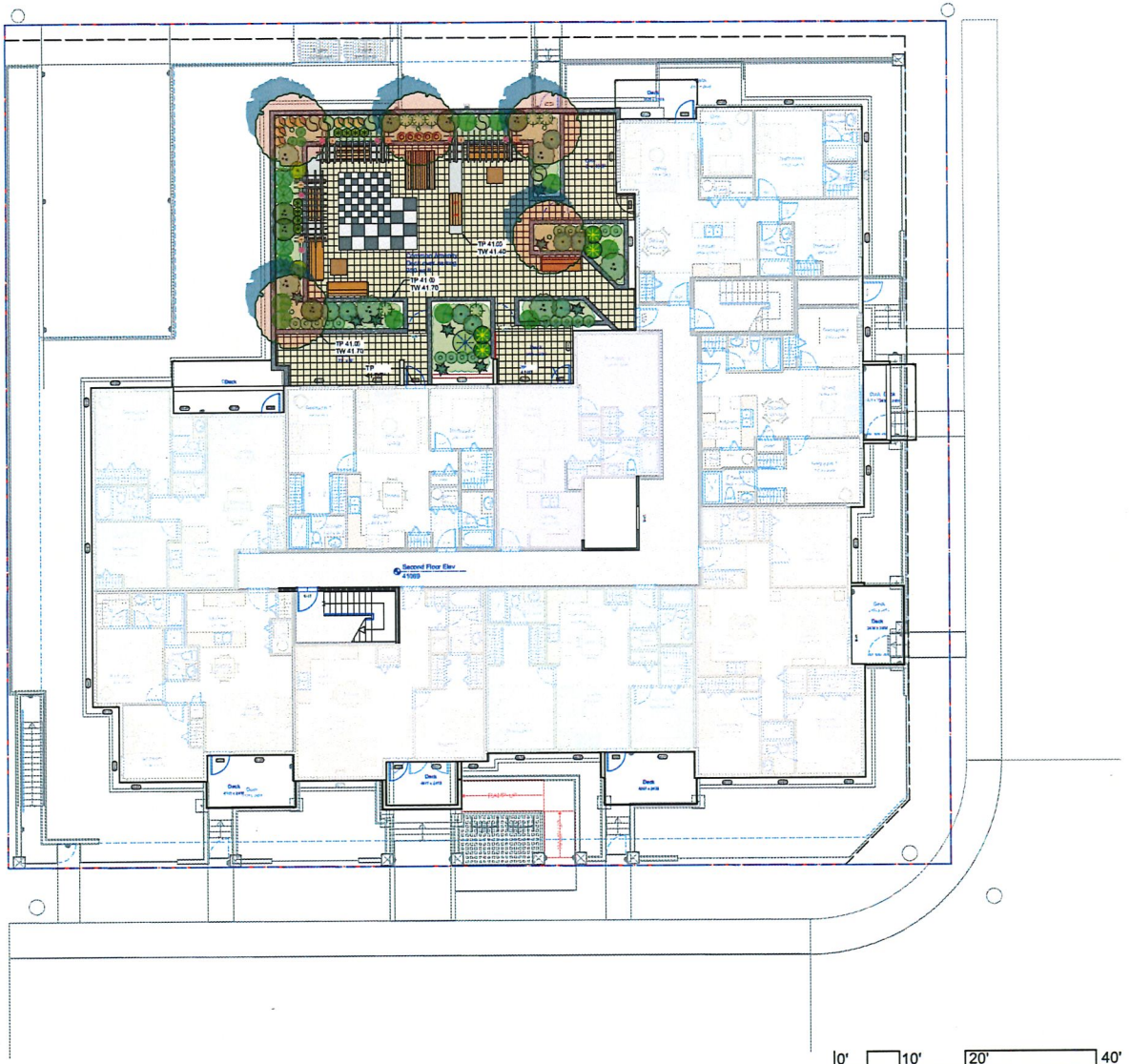
File name: 1810 223Apt Feb24_2020.vwx

DIMENSIONS AND SPACES ARE NOT FINAL SUBJECT TO CHANGE TO SCALE WHEN PRINTED ON ARCH D (36" x 24")

PRELIMINARY ONLY NOT FOR CONSTRUCTION

Rooftop social and activity area
Family space for children's use, with seating pedestals, benches, rubber play surface, and activity/dinner table.
Social seating nodes with benches and coffee tables.
Planters with ornamental trees, ornamental shrubs, and perennials.
Resident patios separated from main plaza with planters for privacy, with gated paths.
Timber trellis with climbing vines for screening and space definition - refer to detail sheet L3.0
Concrete planter walls
Concrete patio slab paving

FOR PLANT LIST
REFER TO SHEET L3.1



ISSUED DRAWINGS

24.2?DP / ADP REVISIONS
?DEVELOPMENT PERMIT

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153 Unit RM-2 Multi-Family Dev't

Civic Address: 11907 223 Street, Maple Ridge,BC
Legal Address: LT 4, DL 398, NWD, PL NWP8380
PID.# 011-308-681

Roofdeck Landscape

Greenway
Landscape Architecture
202-4444 Chatterton Way
Coquitlam BC V3J 1G4
T 604 491 9120
E paul@greenway.ca

Date: Nov 2018
Scale As Noted
Drawn PACW
Project ID 1829

Sheet L2.0

File name: 1810 223Apl Feb24_2020.vwx

DIMENSIONS AND SPACES ARE NOT FINAL SUBJECT TO CHANGE TO SCALE WHEN PRINTED ON ARCH D (36" x 24")

PRELIMINARY ONLY NOT FOR CONSTRUCTION

Table and bench seating

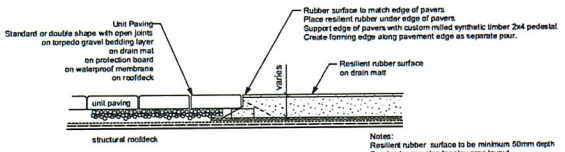
Coffee table

Bench seating

Synthetic wooden slats and grey metal frame
As manufactured by Wishbone Industries or alternate

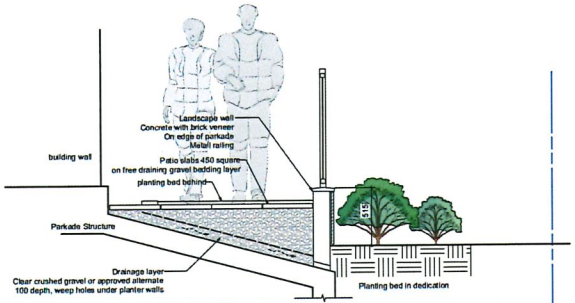
1 Furnishings

Not to scale



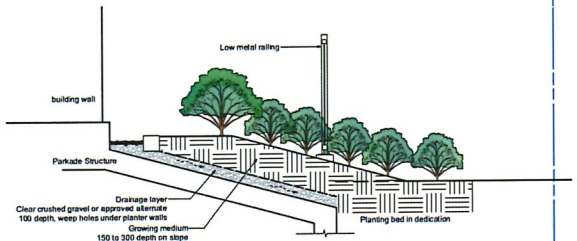
2 Play Surface on Roofdeck

1 : 10 metric



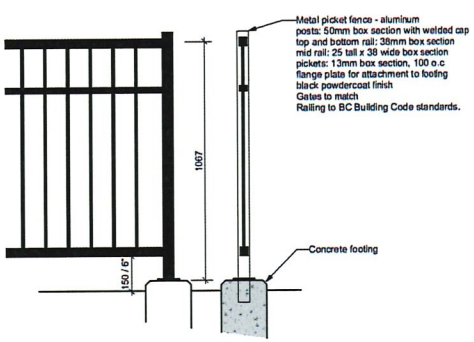
3 Typical Section at patio

1cm = 20cm



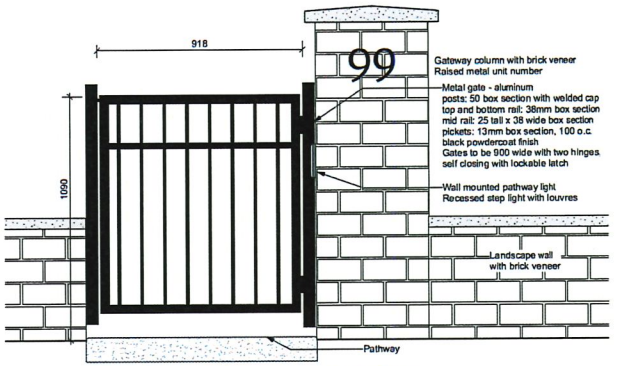
4 Typical Section at planting bed

1cm = 20cm



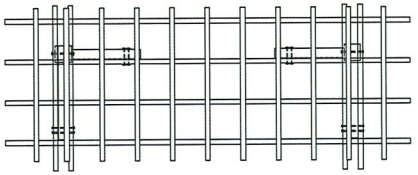
5 Low Metal Fence

1cm = 10cm

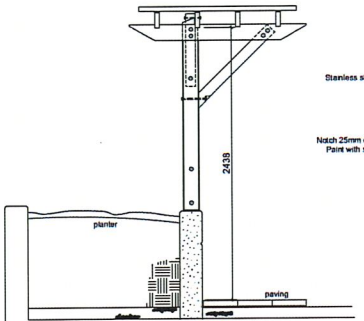


6 Gateway Column and Metal Gate

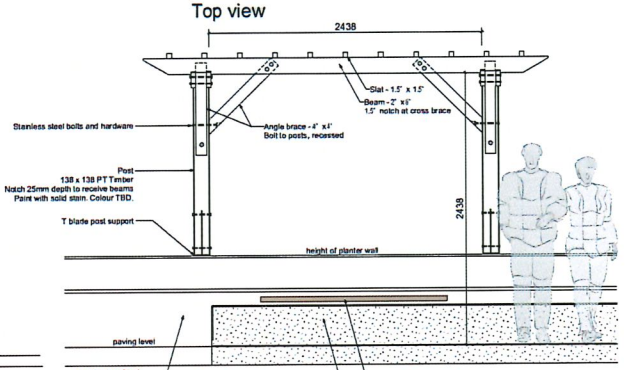
1cm = 10cm



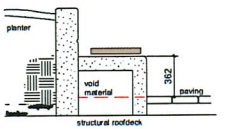
Top view



Side view / Section



Front View



Section at Pedestal

7 Planter Wall, Trellis, Pedestal Seat

1 : 20

ISSUED DRAWINGS

No. 2-22 DP / ADP REVISIONS
No. 01 DEVELOPMENT PERMIT

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153 Unit RM-2 Multi-Family Dev't

Civic Address: 11907-223 Street, Maple Ridge BC

Legal Address: LT 4, DL 398, NWD, PL NWP8360

PID # 011-308-661

Landscape Details

Greenway
Landscape Architecture
2300 Chilco Road
Coquitlam BC V3J 6T4
T 604 461 9120
E paul@greenwayla.ca

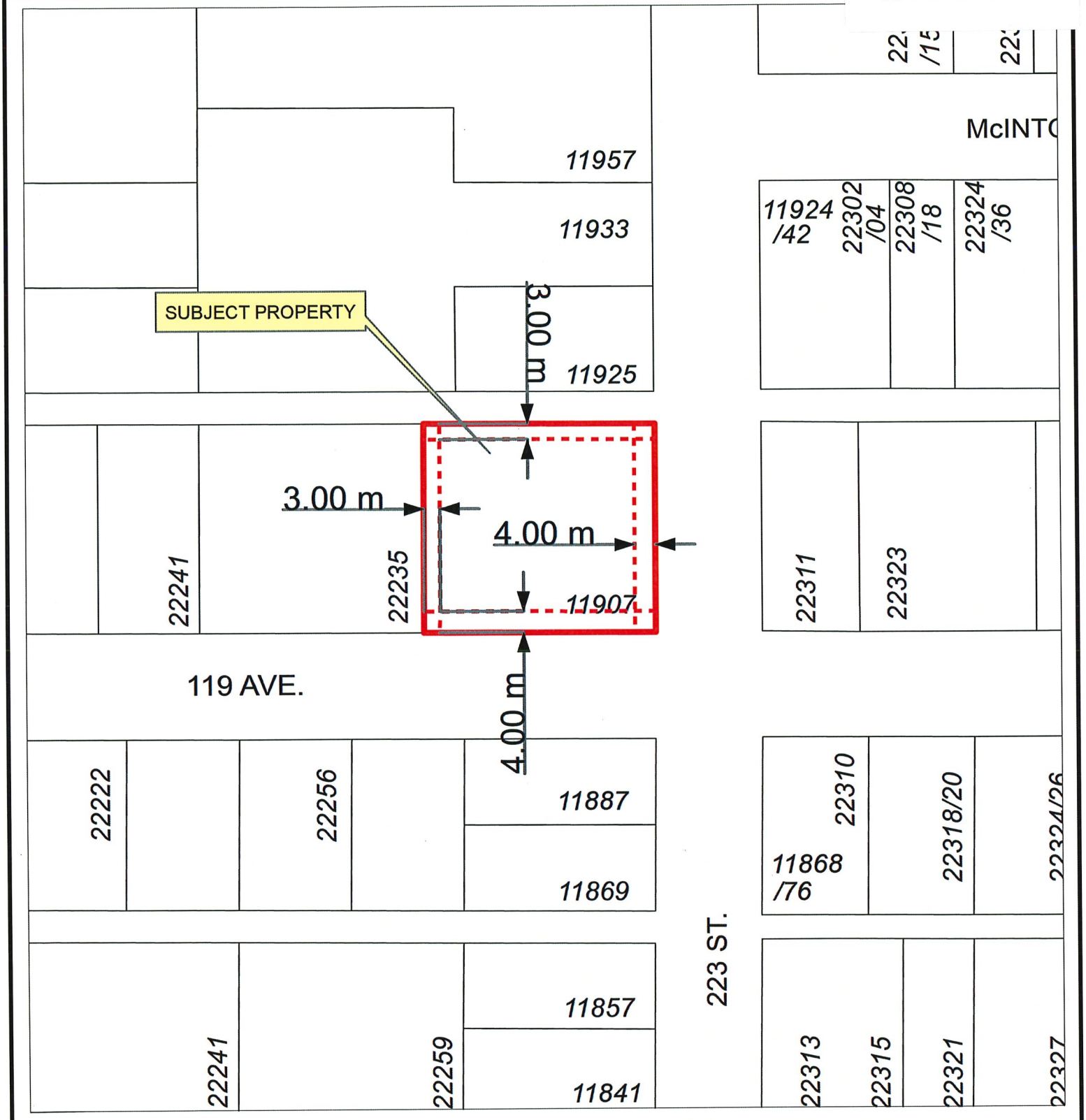
Date:	Nov 2018
Scale	As Noted
Drawn	PACW
Project ID	1829

Sheet
L3.0

File name: 1810 223Apl Feb24_2020.vwx

DIMENSIONS AND SPACES ARE NOT FINAL SUBJECT TO CHANGE TO SCALE WHEN PRINTED ON ARCH D (36" x 24")

APPENDIX D



N

Scale: 1:1,000

11907 223 St
Reduced Setback Variances

PLANNING DEPARTMENT

MAPLE RIDGE
British Columbia
mapleridge.ca

FILE: 2018-464-VP
DATE: Nov 18, 2021
BY: DT

WAYNE
STEPHEN
BISSKY
ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN
204 - 22320 LOUGHEED HIGHWAY MAPLE RIDGE BC V2X 2T4 PH 604-467-8300 FAX 604-467-8305

RESPONSE TO ADP RESOLUTION

Adrian Kopystynski
City of Maple Ridge Planning Department
11995 Haney Place
Maple Ridge, BC
V2X 6A9

Monday, February 24, 2020

Response to ADP Comments for:

Properties	Civic Address	Legal Description
1	11907-223 Street	Lot 4 ; DL 398; NWD PL NWP 8380; PID 011-308-681 (From Ridgeview)

Our Project No.: 1810
City Ref No.: 2018-464-RZ:

Dear Adrian;

We have adjusted the architectural and landscape plans in response to the resolutions following. Please note that I have commented how each one has been dealt with. The PDF files can be viewed and/or downloaded at the dropbox links following. Can you please let us know whether you need hard copies of each in addition to these links and we can have those printed and delivered to you asap.

Architectural: https://www.dropbox.com/s/plwn2j92d4ua95p/1810%20%20Wayne%20%20ADP%20Apt%20at%2011907-223%20St%20BT%202020-02-18%20%28RM-2%29.pdf?dl=0

Landscape:https: //www.dropbox.com/s/x5audnavy9kx9rs/1810%20%2011907-223Apt%20DP%20Landscape%20Feb24_2020.pdf?dl=0

Please see our itemized response as follows with regard to : *" The following resolution was passed in regards to File No. 2018-464-RZ at the January 22, 2020 Advisory Design Panel meeting. Please forward this information on to the applicant. That the following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further that Planning staff forward this on to the Advisory Design Panel for information."*

No.	Comment	Response
ADP General Resolutions		
		Landscape Comments
1.	Consider materials or additional plantings for the bike rack area to soften the main entrance.	Turfstone with coloured aggregate fill has been added to the bike rack area. Grass was considered, but may be problematic for maintenance and long term viability, so was substituted with aggregate as it will soften the appearance, yet provide more utility and is easier to maintain.
2.	Consider adding an element to the street frontage to create a more prominent entry at lobby.	The entry canopy has been extended is now supported by architectural columns, which will improve the prominence of the main entrance. Gateway columns now include recessed lighting, so they will provide more utility and become more prominent at night. The paving has been enhanced with a pattern and colour unique to the main entry, which was noted but not correctly shown on the original submission.
3.	Coordinate landscape and architectural drawings for unit entries on eastside.	Drawings have been updated with revised path, patio, and column locations. Note that balconies are supported by architectural columns, which have been added to the landscape drawing.
4.	Review gate and column locations and scale in conjunction with architectural elevations and relationship to the street.	Gate and column detail has been updated to reflect size shown on architectural drawing.
5.	Consider adding a light or an address plate to the residential entry columns.	Light are included on gate columns. Raised metal numbering (unit and /or street address plate to be determined) has been added to residential entry column.

WAYNE
STEPHEN
BISSKY
ARCHITECTURE URBAN DESIGN PLANNING INTERIOR DESIGN
204 - 22320 LOUGHEED HIGHWAY MAPLE RIDGE BC V2X 2T4 PH 604-467-8300 FAX 604-467-8305

No.	Comment	Response
6.	Consider adding a vertical play element in the courtyard or additional activities to engage children.	In consideration of the amount of amenity furnishings provided and the limited space of the courtyard, the additional play element was not added. Incorporating an additional fixed play element would require either deleting furnishings or placing within an open space. The element would need to be quite small, so it may be of limited play value compared to the furnishings it would replace or space it would occupy. The preference is to allow parents/children to provide their own play elements, which could be both shared and replaced depending on changing needs.
	Architectural Comments:	
1.	Consider providing stairs from the courtyard to the outside space to activate the area.	We have discussed this with the landscape architect. We don't think the stairs would be as successful as the ADP may hope, for these reasons: We are anxious to keep keeping the upper courtyard as a safe destination accessible only through the building. A stair raises the potential for determined unwanted intruders accessing this area. Parents would need to supervise kids more as they could now exit to the lane. We see it as a security risk, as now the roofdeck courtyard patios would be accessible from the lane, as would the patio adjacent to the ramp. Too, the unit/patio adjacent to the ramp would be looking at the underside of the stairs. The path and a second set of stairs would also be need to connect to the lane, as the planting bed beside the ramp is 1.2m above the lane. Amenity activity at the roofdeck courtyard would be reduced/altered to accommodate the stair access.
2.	All elevations would benefit from pedestrian scale design elements.	We have added masonry entry features for the units facing the streets to help anchor the building and emphasize the pedestrian scale at the main floor . We have also raised the fencing and brick pilasters to 42" high create a more distinct and strong line at the lower level. See Elevations on A.11 and A.12. as well as the perspectives.
3.	Provide coverage for all exterior doors.	All unit entries and the main entry have coverage for weather protection and emphasis. We have not added coverings for exit doors to ensure they are not confused with main access points into the building. These exit doors will get very little use.
4.	Provide more emphasis on the entry to the building.	See notes above.
5.	Evaluate CPTED in the laneway.	Raising the fencing around the building not only emphasizes the pedestrian experience as per above but will also more strongly distinguish the semi-private areas onsite from the adjacent public areas and discourage unwanted activity onsite. Lights are provided throughout the exterior of the building and will be placed on photocells; Turing one at twilight and off at daybreak.
6.	Provide articulation for colour and/or material transitions.	In addition to the above addition of masonry , we have selected a darker colour to compliment to darker siding accents already selected. We have also adjusted some of the exterior materials around the building to ensure consistency of use in particular along both the east and west facades.
7.	Consider architectural elements for daylight control on the south and west elevation.	We will be specifying shades and sun control film on this project . https://www.newcosolarsolutions.ca/window-shades?_vsrefdom=tp-newco-solar&_vsrefdom=p.8254.c.44632&trkid=V3ADW523203_81758784227_kwd-299222912833__420681591330_g_c__&gclid=EAIaIQobChMIp7L-I-Lq5wIVkchkCh2aMgOwEAAYAyAAEgLnEvD_BwE
8.	Consider using bird-friendly glazing.	
9.	Review rooflines and overhangs for consistency	We have adjusted the roof overhangs to 3.0m overhangs everywhere for consistency. See A.17 as an example although all elevations and perspectives show the change.

Sincerely,

Wayne S. Bissky
Architect, AIBC, MRAIC

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City of Maple Ridge

TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	11-5255-50-096
FROM:	Chief Administrative Officer	**MEETING:**	CoW

SUBJECT: **Increased Contract Value for ITT-EN17-27: Engineering Design and Construction Services for South Slope Forcemain Upsizing and 225 Street Sanitary Pump Station Upgrades**

EXECUTIVE SUMMARY:

The South Slope Forcemain Upsizing and 225 Street Sanitary Pump Station Upgrades is a multi-phased project that includes pump station upgrades and expansion and the installation of a larger forcemain to convey the sewage to the Greater Vancouver Sewerage and Drainage District (GVS&DD).

Phase 1 of the project included the installation of a sanitary sewer forcemain under the Haney Bypass to Cliff Avenue east of 221 Street, which was completed in 2020. Phase 2 includes the 225 Street sanitary pump station upgrades, and is currently under construction and is anticipated to be complete in spring of 2022. Phase 3 includes the forcemain installation from Cliff Avenue to 221 Street along Lougheed Highway to Steeves Street and River Road, where it will connect to the existing trunk sewer. This phase is currently in the design stage with construction anticipated to commence in spring of 2022.

The City required the services of a qualified engineering firm to prepare the preliminary and detailed designs, prepare tender documents and provide construction services for this project. A Request for Proposal (RFP) was issued in April 2017. The scope of services included civil, mechanical, electrical, structural, geotechnical, archaeological, environmental and optional construction services (contract administration and inspection services) during construction.

Following a detailed evaluation of the proposals submitted, Associated Engineering (B.C.) Ltd. (AE) was selected as the successful engineering firm. AE provided the costs for design as well as construction services, however, given the multiple phases of construction anticipated over a number of years, it was recommended that only the design services be awarded to AE initially, while consideration of contract administration and inspection services be deferred to align with construction timelines. Since all three phases of the project were interdependent, it is recommended to retain the same consultant for the design and construction of all phases. This is standard industry practice to require the construction management consultant to oversee construction of a design they have prepared. Accordingly, Council approved the request to award design services to AE for the amount of $534,853 excluding taxes, and a contingency of $55,000 at the June 12, 2017 meeting.

A second request was approved on August 7, 2018 for $22,088 to facilitate an Archeological Impact Assessment.

For Phase 1 of the project, the required contract administration and inspection services were added to the AE contract in the amount of $77,276 excluding taxes, which was approved on June 21, 2019.

Subsequently, on June 23, 2020, a change order for construction services (contract administration and inspection services) for Phase 2 was approved by Council for AE in the amount of $258,000 excluding taxes, and a contingency of $100,000 for unanticipated additional work items.

Phase 3 is now nearing construction stage, and in a similar manner of the project requires an approval of $435,000 for construction services (contract administration and inspection services) for Phase 3. Based on the change order value, Council approval is required as per the Procurement Policy.

The overall multi-year project is largely funded through the Sewer Utility Fund with the balance from Development Cost Charges (DCCs) and a Clean Water and Wastewater Fund grant. The current budget for Phases 1 to 3 is $21,000,000 and the current estimate to complete all phases of the project is $19,858,000.

The purpose of this report is to obtain Council approval to increase the value of Associated Engineering (B.C.) Ltd.'s contract by $435,000. The additional scope includes administration and inspection services for Phase 3. This expense was anticipated and can be accommodated within existing project budgets; however, Council approval is required as per the Procurement Policy.

RECOMMENDATION:

That the Associated Engineering (B.C.) Ltd. Contract for ITT-EN17-27: Engineering Design and Construction Services for South Slope Forcemain Upsizing and Pump Station Modifications, be increased by $435,000 for construction services (contract administration and inspection services) for Phase 3.

DISCUSSION:

a) **Background Context:**

The 225 Street Sanitary Pump Station, built in 1979, is located at the intersection of 225 Street and the Haney Bypass. It receives approximately 40% of the City's sewage flows, serving the areas east of 222 Street and south of Dewdney Trunk Road, including the entire Downtown and Albion areas. The pump station conveys sewage via the existing South Slope Forcemain west along River Road to Best Street where it discharges into a GVS&DD trunk sewer.

The pump station is at a point in its lifecycle where capital renewal is required and, to meet growth demands and the long-term needs of the City, as set out in the Official Community Plan (OCP). Both the pump station and forcemain need to be upgraded to reliably convey increasing sewerage flows. The upgrades will double the capacity of the pump station and forcemain to convey sewage.

The pump station upgrades include the replacement of all four pumps. In March of 2017, the City received provincial grant funding in the amount of $998,905 that was used to pre-purchase the new pumps.

The existing forcemain is located within the Fraser River Escarpment and the intent is to re-route the new south slope forcemain north of the existing setback areas. The City plans to keep the existing forcemain as back up and to allow for additional capacity should it be required in the future. When the project is complete, the flow capacity will be doubled.

It is noted that the GVS&DD is also undertaking improvements to the regional sewer system; expanding the Northwest Langley Wastewater Treatment Plant and constructing a storage tank to increase sewage handling capacity. This work further improves the system and facilitates further growth in Maple Ridge and the Region.

The overall consulting fees for the project align with industry standards.

b) **Desired Outcome:**
The desired outcome is to obtain Council approval to increase the Associated Engineering (B.C.) Ltd Contract value by $435,000 for construction services (contract administration and inspection services) for Phase 3.

c) **Strategic Alignment:**
Council's Strategic Plan provides direction to manage municipal infrastructure under various initiatives such as the Master Sewer Plan and the Development Cost Charge (DCC) Bylaw. Increasing forcemain size and providing pump station upgrades to the 225 Street Pump Station is in line with Council's Strategic Plan.

d) **Citizen/Customer Implications:**
Construction of Phase 3 is scheduled to commence in spring of 2022, and anticipated to be complete in eight months. An Open House will be held to inform the general public of construction, and progress and updates will be available through the City's website and social media sources.

e) **Interdepartmental Implications:**
The Engineering Operations Department has provided input during the design stage and will assist and provide support during construction.

f) **Business Plan/Financial Implications:**
The project budget is based on estimates provided by the consultant. The project is largely funded through DCCs and the Sanitary Sewer Reserve Fund. In March 2017, the City received a grant of $998,905 from the Province under the Clean Water and Wastewater Fund.

The current contract extension request will not impact the Financial Plan. Award of this change order can be accommodated within the current approved budget.

Existing Funding			
Total Existing Project Funding (Phases1-3)		$	21,000,000
Costs			
Phase 1 Construction		$	2,900,000
Phase 2 Construction		$	4,100,000
Phase 3 Construction	(Estimated)	$	11,375,000
Associated Engineering Consulting and Construction Services		$	1,483,000
Total Costs		**$**	**19,858,000**

CONCLUSIONS:

It is recommended that Council approve an increase in the Associated Engineering (B.C.) Ltd. Contract value by $435,000 for Contract ITT-EN17-27: Engineering Design and Construction Services for South Slope Forcemain Upsizing and Pump Station Upgrades, for additional design and construction services (contract administration and inspection services) for Phase 3.

Prepared by: Altaf Durrani, P.Eng.
Manager of Design & Construction

Financial Concurrence: Trevor Thompson, BBA, CPA, CGA
Chief Financial Officer

Reviewed by: Forrest Smith, P.Eng.
Director of Engineering

Approved by: David Pollock, P.Eng.
General Manager Engineering Services

Concurrence: Scott Hartman
Chief Administrative Officer

City of Maple Ridge

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TO:	His Worship Mayor Michael Morden and Members of Council	**MEETING DATE:**	December 7, 2021
		FILE NO:	11-5320-20-50-068
FROM:	Chief Administrative Officer	**MEETING:**	CoW

SUBJECT: **Local Area Service - 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021**

EXECUTIVE SUMMARY:

In late 2019, Council authorized staff to prepare a bylaw to establish a Local Area Service (LAS) to extend the municipal sanitary sewer to three properties on the 23300 block of Tamarack Lane.

The extension of the sanitary sewer is now complete and is in the one-year maintenance period. The total cost of the LAS project, including construction and consulting engineering services, has been finalized and totals $128,869.78.

This report seeks Council's adoption of the applicable LAS bylaw to apply the costs to the properties.

RECOMMENDATION:

That 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021 be given first, second and third readings.

DISCUSSION:

a) **Background Context:**

Three properties in the 23300 block of Tamarack Lane were not provided with a sanitary sewer service when developed, being serviced by aging septic fields that will require replacement in the near future.

The property owners at 23364, 23380, and 23386 Tamarack Lane expressed their interest in extending the sanitary sewer service through the LAS process by returning a formal petition to the City. As shown on Schedule A to the attached bylaw, the sanitary sewer was constructed from the frontage of 23386 Tamarack Lane to approximately 112m west and was tied into the existing downstream sanitary sewer.

The cost for the design and construction to extend the sanitary sewer to the three properties on Tamarack Lane was first estimated at $115,862.50.

Upon completion of the engineering design and the tendering of the construction contract, a revised formal petition was sent to property owners who approved a revised estimate of $144,990.00.

Now that construction is complete, the final cost has been certified at $128,869.78, which will be split equally among the three properties.

b) **Desired Outcome:**
The desired outcome of this report is to obtain Council's approval and adoption of a LAS bylaw for the City to start billing the property owners.

c) **Strategic Alignment:**
Council's Strategic Plan directs staff to provide high quality municipal services to our customers in a cost effective and efficient manner and to continue to use a user-pay philosophy. Utilizing the LAS legislation and process is one method that the City can use to partner and provide services with neighborhoods in alignment with Council's Strategic Plan.

d) **Citizen/Customer Implications:**
This project has provided approximately 112m of sanitary sewer main on Tamarack Lane and a sanitary sewer service connection for each of the three lots. Owners are responsible for extending the service connection from property line to their dwellings.

The final cost of the extension is $128,869.78. The final individual commuted cost for each of the three benefiting property owners is $42,956.59.

The property owners may elect to pay the entire amount of their share in full, without interest, by doing so before May 2, 2022 or pay by 15 annual installments, amortized at an interest rate of 3.62% with an option of paying off the balance plus applicable interest at any time during the term without incurring a penalty. This long-term interest rate is based on prevailing market borrowing rates that are available to the City.

e) **Interdepartmental Implications:**
Finance Department staff will receive and process the commuted payment or add the 15 installments to the property owners' annual taxes (should the property owner choose to make annual payments).

f) **Business Plan/Financial Implications:**
The City has financed the project through the Local Area Service reserve. The final cost of the project, $128,869.78, will be borne by the property owners.

CONCLUSION:

This LAS project has provided municipal sanitary service to three property owners in Maple Ridge. The cost of the project has come in under the revised estimate at a final cost of $128,869.78 and will be borne by the property owners through the adoption of the 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021.

Prepared by: **Altaf Durrani, P.Eng., M.Sc.**
Manager of Design & Construction

Financial Concurrence: **Trevor Thompson, BBA, CPA, CGA**
Chief Financial Officer

Reviewed by: **Forrest Smith, P.Eng.**
Director of Engineering

Approved by: **David Pollock, P.Eng.**
General Manager Engineering Services

Concurrence: **Scott Hartman**
Chief Administrative Officer

Attachment:
(A) 23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021

CITY OF MAPLE RIDGE

BYLAW NO. 7805-2021

A Bylaw to establish a Local Area Service for the
23300 Block of Tamarack Lane Sanitary Sewer Extension

WHEREAS Council has been petitioned to provide a municipal service pursuant to Section 210, Division 5 of the Community Charter S.B.C. 2003, c.26 (the "Community Charter");

AND WHEREAS the Corporate Officer has certified that the petition received for the municipal service does constitute a sufficient petition signed by majority of the property owners, representing at least half of the value of the parcels that are liable to be specially charged;

AND WHEREAS Council has deemed it expedient to proceed with the works;

AND WHEREAS the "Maple Ridge Local Area Service Policy," as amended, provides that the cost of providing a municipal service shall be recoverable from each of the existing parcels of land that will benefit from the service.

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

1. This Bylaw shall be cited for all purposes as the "23300 Block of Tamarack Lane Sanitary Sewer Extension Bylaw No. 7805-2021."

2. The Local Area Service is described as an extension of the municipal sanitary sewer to service the 23300 Block of Tamarack Lane (as outlined in Schedule A, attached) complete with 112m of 200mm sanitary sewer and associated sanitary service connections.

3. The Local Area Service has been completed and the final cost of the Works is contained in Schedule B, attached.

4. Costs for the Local Area Service will be recovered according to the cost distribution shown in Schedule C, attached.

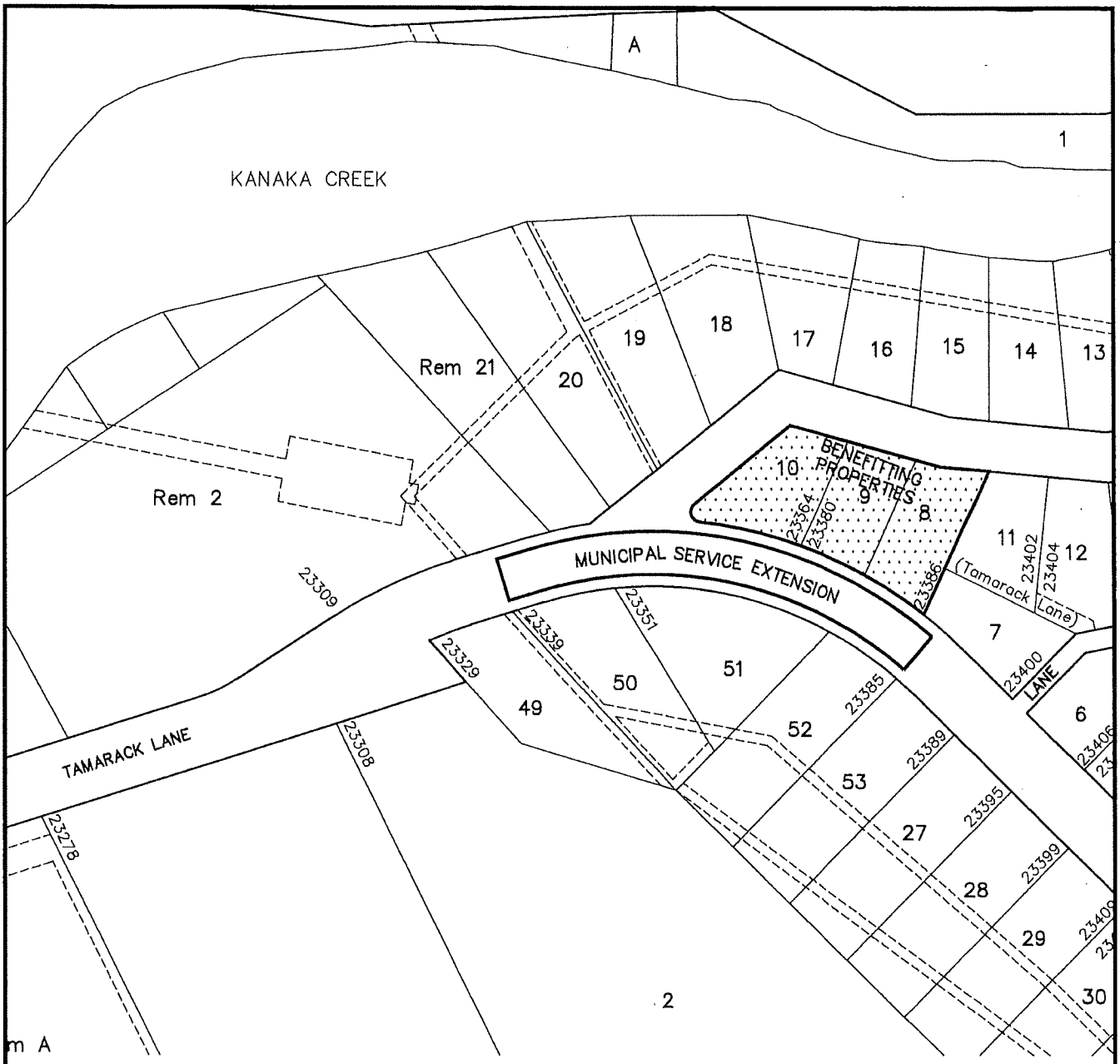
READ a first time the	day of	, 2021.
READ a second time the	day of	, 2021.
READ a third time the	day of	, 2021.
ADOPTED the	day of	, 2021.

PRESIDING MEMBER

CORPORATE OFFICER

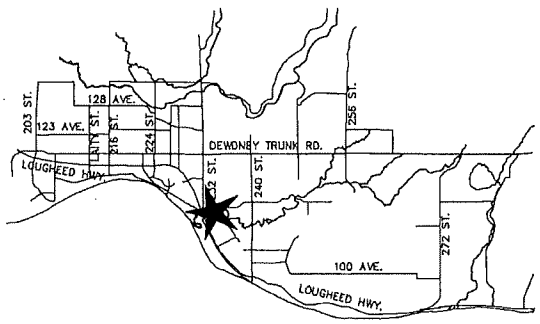
Attachments: Schedules A, B & C

Schedule A
Bylaw No. 7805-2021



DEVELOPMENT BOUNDARY

BENEFITTING PROPERTIES



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SCALE: N.T.S.

MAPLE RIDGE British Columbia

CITY OF MAPLE RIDGE
ENGINEERING DEPARTMENT

23300 BLOCK TAMARACK LANE
LOCAL AREA SERVICE

DATE: 08/21/2019

FILE/DWG No SK0423

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Schedule B
Bylaw No. 7805-2021

Completion Certificate

Date: November 4, 2021

File: 11-5320-20-50-068

This is to certify that the Works authorized under the Maple Ridge Local Area Service for the 23300 Block of Tamarack Lane Sanitary Sewer Extension is complete.

F Smith

Forrest Smith, P.Eng.
Director of Engineering

As required under the Maple Ridge Local Area Service for the 23300 Block of Tamarack Lane Sanitary Sewer Extension, I hereby certify that the final cost of the Works has amounted to $128,869.78.

Trevor Thompson, BBA, CPA, CGA
Chief Financial Officer

cc Corporate Officer
Manager, Revenue & Collections

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Schedule C
Bylaw No. 7805-2021

Engineer's Report

Final Costs & Apportionment

23300 Block of Tamarack Lane Sanitary Sewer Extension Local Area Service
by Formal Petition

Pursuant to Section 10 of the Maple Ridge Local Area Service for the 23300 Block of Tamarack Lane Sanitary Sewer Extension, the following provides the final costs and apportionment thereof.

23300 Block of Tamarack Lane Sanitary Sewer Extension Local Area Service
Location: Three properties in the 23300 block of Tamarack Lane

Total cost of the Works	$128,869.78
Municipal contribution (0%)	Nil
Cost apportioned to existing three parcels	$128,869.78
<u>Cost Distribution</u>	
Number of existing lots	3
Individual Owner's share (cost per lot for the 3 lots)	$42,956.59
Per annum individual Owner's share (3 lots) (Amortized over 15 years at 3.62% per annum)	$3,761.61
Life of the Works	40 Years

All costs are final

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TO:	His Worship Mayor Michael Morden and Members of Council	MEETING DATE:	December 7, 2021
		FILE NO:	08.3200.01.DD
FROM:	Chief Administrative Officer	MEETING:	COW

SUBJECT: Telecommunications Antenna Structure Proposal – SBA Canada - UBC Research Forest

EXECUTIVE SUMMARY:

The demand for cellular communications bandwidth continues to escalate as consumers and first responders alike rely more and more on wireless devices such as smartphones, tablets and laptops for business and personal use.

In support of this demand for access to its wireless services, SBA Canada has proposed the construction of a 50M telecommunications antenna structure to be located within the UBC Research Forest, north of the existing BC Hydro right-of-way in the Silver Valley area.

After following the prescribed public consultation process, this proposed location has been met with no public opposition, most likely due to its distance from adjacent residential properties, proximity to existing power infrastructure and its location, nestled with the existing tree canopy.

Accordingly, this report proposes the recommendation as follows:

RECOMMENDATION:

That concurrence for the proposed wireless communications tower at 14500 Silver Valley Road Avenue be approved and further;

That staff be directed to prepare a Letter of Concurrence for delivery to both SBA Canada and Innovation, Science and Economic Development Canada.

DISCUSSION:

The proposed location for the SBA Canada (SBA) telecommunications antenna structure is within the UBC Research Forest property located at 14500 Silver Valley Road in north central Maple Ridge. This is an approximately 815-hectare agricultural property that abuts a BC Hydro right-of-way containing bulk, high-voltage transmission lines. The property is zoned 100% Agricultural and designated as 40% Forestry in the City's Official Community Plan. The proposed tower location is nestled within the treeline and adjacent to the BC Hydro right-of-way (See Appendix A for map of tower location). As SBA is constructor of communications towers and not a carrier, the expectation is that this tower will

support a number of carriers seeking to achieve network coverage objectives and to eliminate coverage gaps in this area.

SBA facilitated an information package mail-out to the 13 affected property owners residing within 300M of the proposed tower and subsequently hosted a virtual public information meeting on Thursday, October 7, 2021, from 5:00 PM – 7:00 PM (See Appendix B for the Information Meeting PowerPoint presentation). The virtual meeting was attended by 1 individual along with representatives from Metro Vancouver, whose Blaney Hamlet property was within the 300M catchment area. Both the mailout and information meeting were as prescribed with the City's then-current Telecommunication Antenna Structures Siting Protocol 2014 (V2) for a High Impact Installation. SBA received no written responses to the information mail-out and the individual that participated in the virtual meeting was decidedly neutral as to its proposed installation. Metro Vancouver staff were specifically engaged during the public information process and their comments as related to protection of the park space during construction have been received by SBA and UBC.

Telecommunications towers are governed under legislation and protocols established by the Federal Government and regulated through its Innovation, Science and Economic Development division (ISED) and by its Radiocommunication and Broadcasting Antenna Systems circular CPC-2-0-03 - Issue 5 (Released: June 26, 2014 - Effective: July 15, 2014). While wireless companies have always been asked to engage with Land-Use Authorities (municipalities) when they want to construct a new tower, the changes included in the ISED circular now require companies to have a greater level of engagement with local municipalities. The enhanced rules are designed to compel wireless companies to explore ways to reduce the number of new towers they are building, while also ensuring that if a new tower is required to support coverage gaps, that local residents are included in the process.

ISED requires that when considering new towers, a wireless company must:

- Investigate sharing or using existing infrastructure before proposing new antenna-supporting structures;
- Contact the land-use authority to determine local requirements for antenna systems;
- Clearly notify and consult with the public and address relevant concerns, whether by following local land-use requirements or Innovation, Science and Economic Development Canada's default process on tower siting;
- Build any tower within three years of consulting with residents; and
- Satisfy Innovation, Science and Economic Development Canada's general and technical requirements, and comply with Health Canada's Safety Code 6 to ensure the safety of Canadians.

While ISED staff have final approval on locations and installations of all telecommunications or wireless towers, ISED staff will typically only become involved if there is an impasse at the municipal level.

The expectation of ISED of any municipality is as detailed in Section 4.1 of its Radiocommunication and Broadcasting Antenna Systems circular CPC-2-0-03 and is excerpted as follows:

> ***4.1 Land-use Authority Consultation***
>
> *Industry Canada believes that any concerns or suggestions expressed by land-use authorities are important elements to be considered by proponents regarding proposals to install, or make changes to, antenna systems. As part of their community planning processes, land-use authorities should facilitate the implementation of local radiocommunication services by establishing consultation processes for the siting of antenna systems.*
>
> *Unless the proposal meets the exclusion criteria outlined in Section 6, proponents must consult with the local land-use authority(ies) on any proposed antenna system prior to any construction. The aim of this consultation is to:*
>
> - *discuss site options;*
> - *ensure that local processes related to antenna systems are respected;*
> - *address reasonable and relevant concerns (see Section 4.2) from both the land-use authority and the community they represent; and*
> - *obtain land-use authority concurrence in writing.*

As SBA has satisfactorily completed all of the requirements under the City's then-current protocol and the ISED circular, given its remote, sheltered location coupled with the lack of public opposition to the proposed installation, staff are recommending that a telecommunications antenna structure at this location be supported through concurrence from Council.

a) Citizen/Customer Implications:

Public response to the proposed telecommunications antenna structure has been virtually non-existent most likely due to its remote, sheltered location within a BC Hydro right-of-way and distance from residential neighbourhoods.

b) Alternatives:

Council could withhold concurrence and request that SBA explore alternate locations and report back to staff, however this is not recommended by staff.

CONCLUSION:

The telecommunications antenna structure proposed for 14500 Silver Valley Road would be located within the UBC research forest property and adjacent to a BC Hydro right-of-way and within 300M of ten residential properties and Metro Vancouver's Blaney Bog Preserve.

SBA Canada has satisfactorily completed all of the requirements under the City's then-current protocol and the ISED, has engaged Metro Vancouver to ensure its park space is respected and when coupled with a lack of neighbourhood opposition to the tower and location, staff are recommending concurrence.

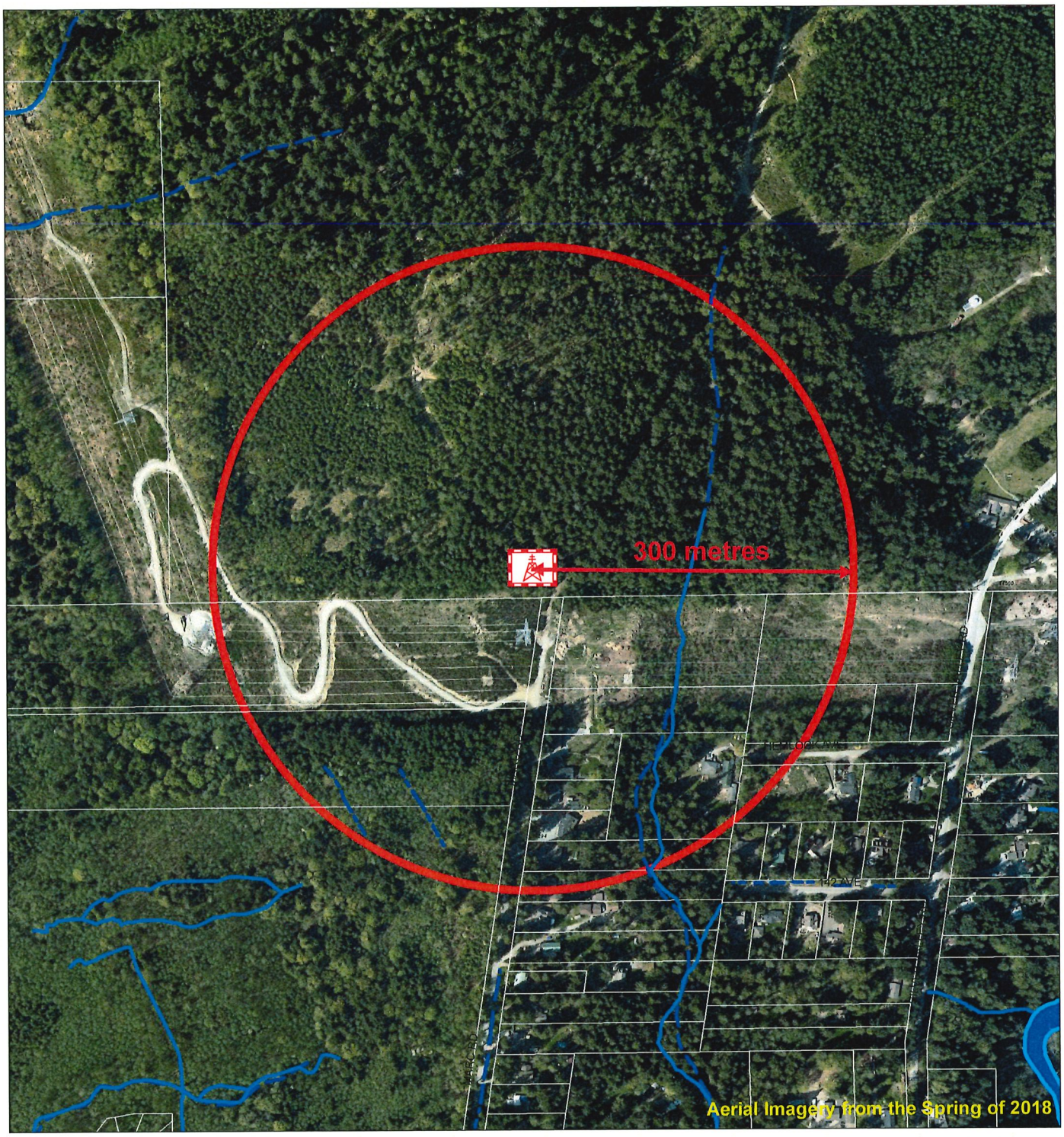
Prepared by: Darrell Denton
Property Manager

Approved by: Patrick Hlavac-Winsor
General Counsel and Executive Director, Legislative Service

Concurrence: *Scott Hartman*
Chief Administrative Officer

Attachments:

A. Aerial Map of Proposed Communications Tower Location
B. SBA Public Information Meeting PowerPoint Presentation



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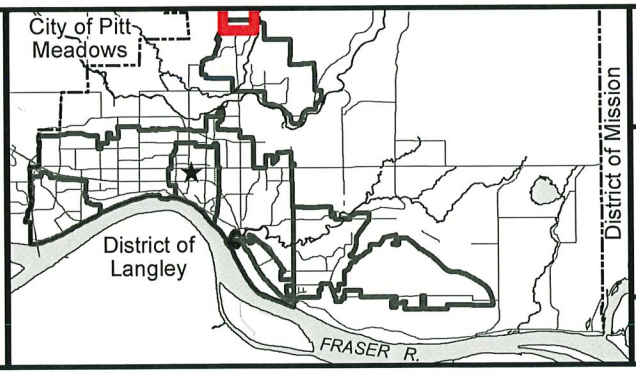

SBA BC70197

CLERKS DEPARTMENT

MAPLE RIDGE
British Columbia
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FILE: CellTowers.mxd
DATE: Apr 24, 2019
BY: DT

Welcome to the Public Open House

Welcome to the
Community Consultation Meeting

SBA representatives are online to answer your questions and receive your feedback.

APPENDIX B

What to Expect in this Meeting

- **Objective:** The objective of the Open House and this public consultation process is to introduce the proposed tower and to seek input from the public regarding potential impacts.
- **Time:** 5:00pm start to 7:00pm end, as outlined on the invite and registration information
- **Format:**
  1. To begin, we will take you through this slide show presentation revisiting details of the proposed project
  2. We will then provide feedback regarding the main topics of interest, questions & comments that have been submitted prior to this meeting
  3. The remainder of the time will be allotted for a question and answer period
- **Please Note:**
  - Participants can enter and leave anytime during the meeting allowing for participation in all or only part of the session
  - We will only be accepting questions during the question and answer period
  - Please remember to be considerate to all parties

Can't attend in person, require additional information, or were unable to voice your questions during the Open House?

We encourage those individuals to reach out to us directly via regular mail, phone, email, or fax, **on or before Friday October 22, 2021,** closing date for public consultation regarding this project.

SBA Canada – About Us

Who We Are

SBA Communications Corporation (SBA) is an independent owner and operator of wireless communications infrastructure – that includes towers, buildings, rooftops, distributed antenna systems (DAS) and small cells. SBA supports wireless technologies that keep people, businesses and municipalities connected.

Our Industry

Nonstop growth in the number of mobile users, devices, apps, and especially the demand for mobile video will continue to create the need for higher speed wireless services and more bandwidth. Telecommunication carriers are increasing network capacity to meet the demands of mobile customers by building out or densifying their networks through the implementation of cell towers, antenna placements on buildings and rooftops, DAS and small cells – this is exactly what we do at SBA – **Building Better Wireless®.**

Site Leasing

We lease antenna space on our multi-tenant towers and other structures to a variety of radio network users, including mobile phone operators, internet providers, broadcasters, police services, utilities and municipalities under long-term lease contracts.

Site Development

We can assist wireless service providers and operators in developing their own networks through site acquisition, municipal approval, construction and equipment installation. In addition, SBA works with property owners and municipalities to strategically develop and monetize the wireless infrastructure

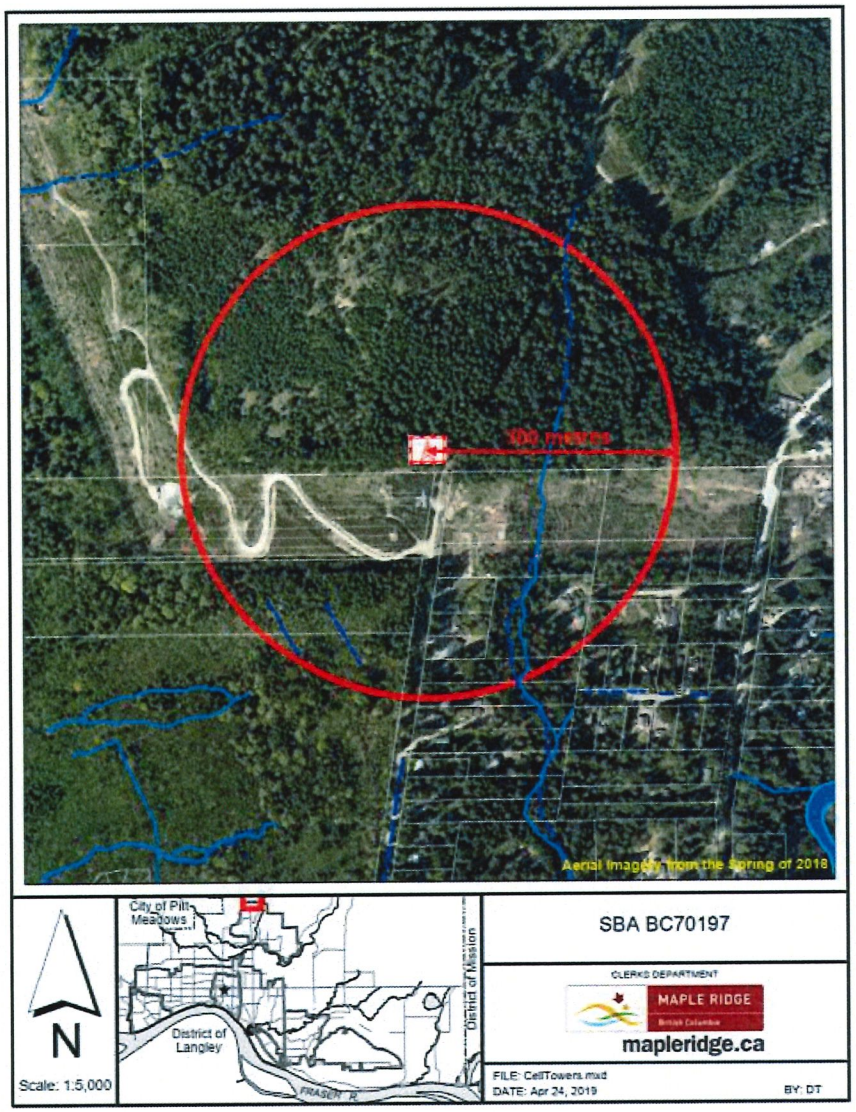
Following Land Use Authority Process

Following the Land-use Authority Process

Proponents must follow the land-use consultation process for the siting of antenna systems, established by the land-use authority, where one exists.

During preliminary discussions, the District of Maple Ridge confirmed that they do have a public consultation process; therefore, SBA will follow the District's *Telecommunication Antenna Structures Siting Protocols (V2)*.

Maple Ridge Public Consultation for Telecommunication Towers



Classified as a High Impact Submission, public consultation for this project requires written notification be given by the proponent to residential properties within 300m of the proposed antenna structure. In addition to the notifications, a public meeting / open house is also required. - City of Maple Ridge Telecommunication Antenna Structures Siting Protocols (V2)

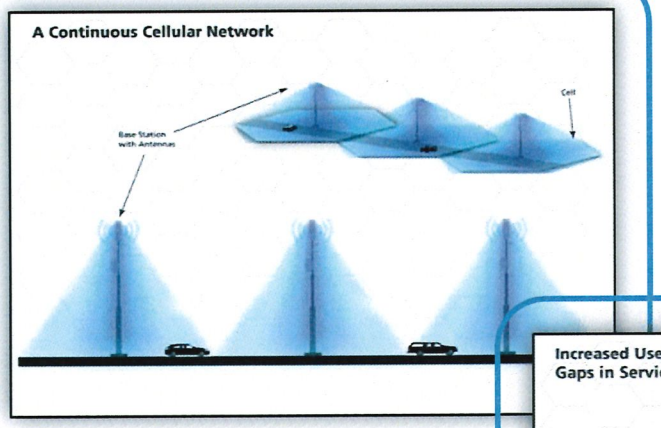
Background and Purpose of Proposed Tower

More and more Canadians rely on wireless devices in their day to day lives. As a result, antenna installations are found everywhere people are requiring service, as a result, a need for improved coverage within the City of Maple Ridge has been identified.

The need for a telecommunications tower in an specific area can be determined by, (but not limited to…):

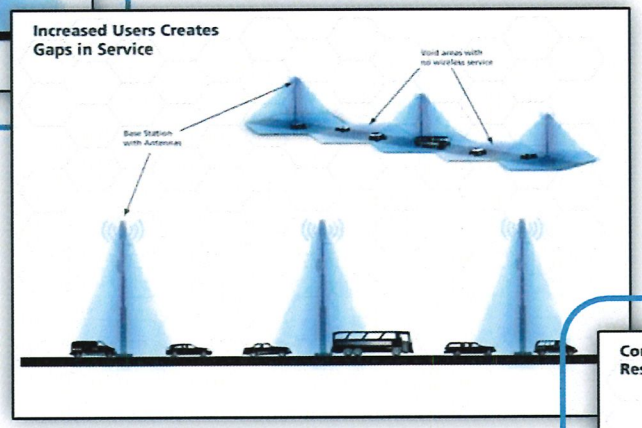
- comprehensive planning conducted by a service provider's Radio Frequency Engineers who determine where coverage and capacity is weak
- coverage and capacity issues brought to a service provider's attention through customer complaints

How the network works



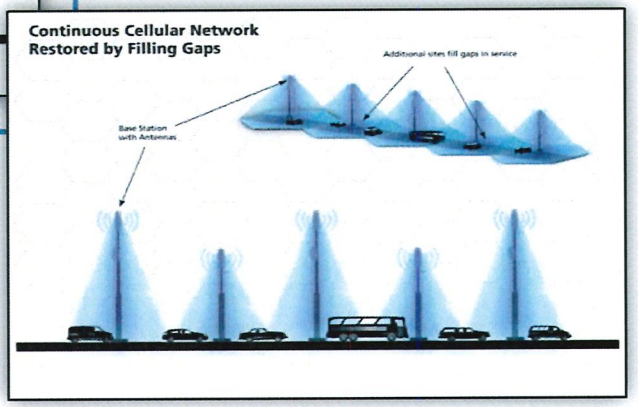
A network is a series of interconnected cell site each containing a base station.

A high quality network offers continuous wireless service by placing base stations in specific geographical locations that allow us to use wireless devices.



When a base station reaches maximum capacity, the coverage footprint shrinks in order to handle volume.

New base stations must be built to fill in the void areas and restore continuous wireless service.



Proposed Tower Location

The proposed tower shall be located on UBC property south of the fenced off research forestry area and just north of the exiting BC Hydro transmission line.

MUNICIPAL ADDRESS:
14500 Silver Valley Road,
Maple Ridge, BC

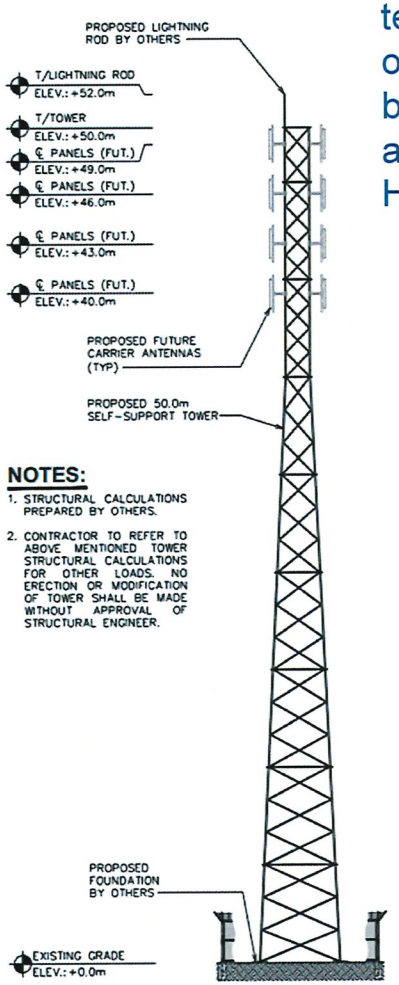
COORDINATES:
Lat 49.263594
Long -122.579253

LEGAL:
District Lot 6110, Group 1 New Westminster District.

PARCEL IDENTIFIER:
012-815-993.

Proposed Tower Profile, Compound Plan & Access

SBA is proposing to build a 50m self-support lattice telecommunications tower. All of the equipment necessary to operate this facility will reside within a 122 m^2 compound which will be secured with a chain-link fence and locked gate. The site will be accessed via the locked gate at Marc Rd and then through the BC Hydro Right of Way via the existing access road.



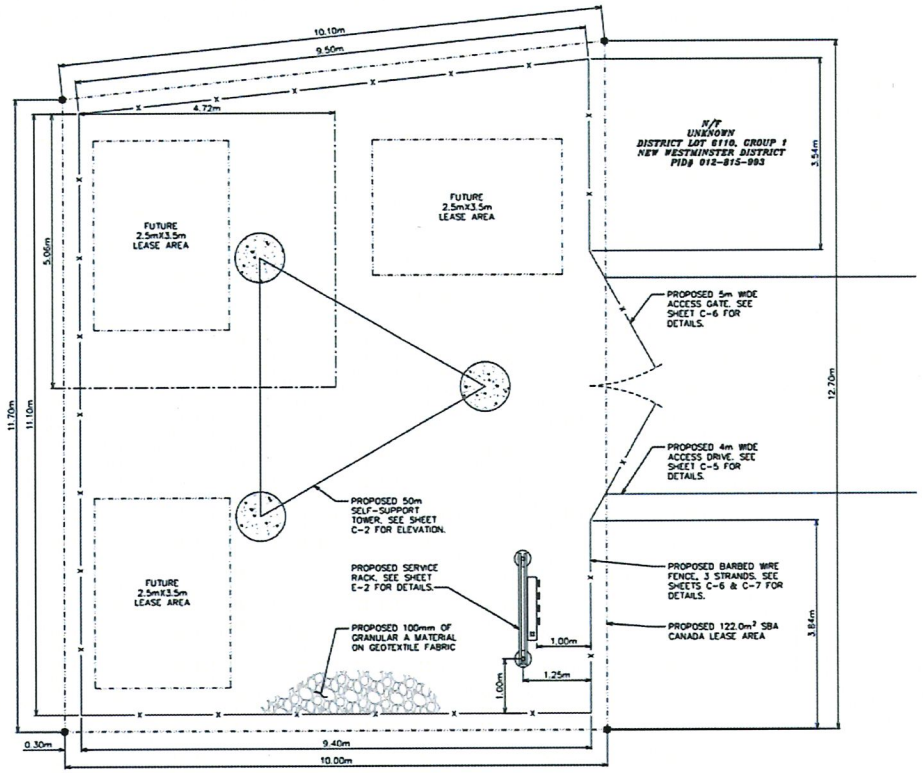


Photo Simulation 1 – View without Tower

SITE NAME: UBC MAPLE RIDGE
14500 SILVER VALLEY ROAD
MAPLE RIDGE, BC V4R 2R3

EXISTING VIEW: LOCATION 1

PHOTO RENDERING BY TOWER ENGINEERING PROFESSIONALS, INC.

Photo Simulation 1 – Proposed View with Tower

SBA

SBA

SITE NAME: UBC MAPLE RIDGE
14500 SILVER VALLEY ROAD
MAPLE RIDGE, BC V4R 2R3

PROPOSED VIEW: LOCATION 1

PHOTO RENDERING BY TOWER ENGINEERING PROFESSIONALS, INC.

Photo Simulation 2 – View without Tower

SBA

EXISTING VIEW: LOCATION 2

SBA

SITE NAME: UBC MAPLE RIDGE
14500 SILVER VALLEY ROAD
MAPLE RIDGE, BC V4R 2R3

PHOTO RENDERING BY TOWER ENGINEERING PROFESSIONALS, INC.

Photo Simulation 2 – Proposed View with Tower

***Artist rendering only – final installation may not be exactly as shown**

SBA

SBA

SITE NAME: UBC MAPLE RIDGE
14500 SILVER VALLEY ROAD
MAPLE RIDGE, BC V4R 2R3

PROPOSED VIEW: LOCATION 2

PHOTO RENDERING BY TOWER ENGINEERING PROFESSIONALS, INC.

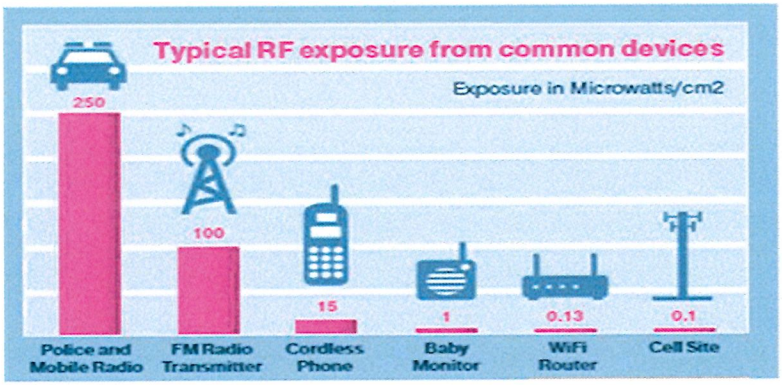
Safety Code 6:
Health Canada's Radiofrequency Exposure Guidelines

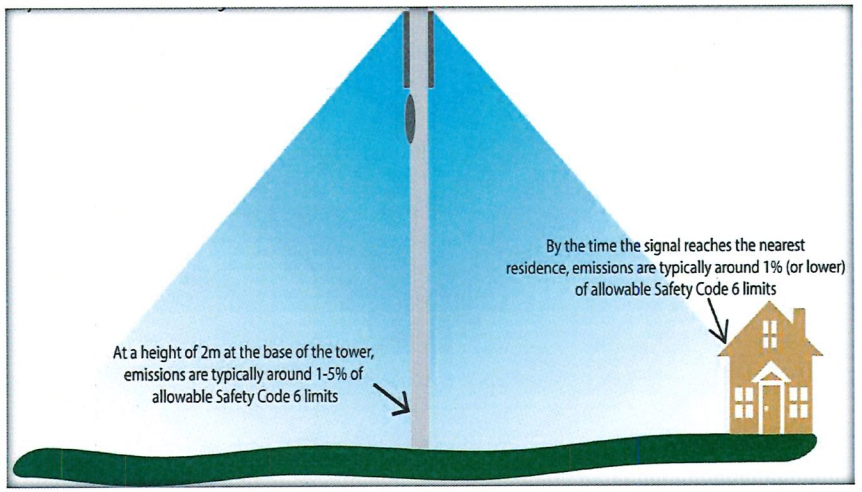
The health and safety of our customers and communities is primary focus for Freedom.

Health Canada's Safety Code 6 sets the limits for safe exposure to radiofrequency (RF) fields at home or at work. The Code also outlines safety requirements for the installation and operation of devices that emit radiofrequency fields, such as mobile phones and base station antennas. This code is based on all peer reviewed scientific evidence. Wireless carriers must comply with the Code on an ongoing basis including updates or changes to the code and any combined effects from other nearby installations in the radio environment.

Quick Facts:

- Exposure limits in Safety Code 6 are set well below the lowest exposure level (threshold) at which any scientifically-established, adverse health effect occurs and take into account the total exposure from all sources of RF energy
- Canada's limits are consistent with the science-based standards used in other parts of the world (e.g., the United States, the European Union, Japan, Australia and New Zealand) and provide protection against all known adverse health effects from RF energy
- Health Canada stipulates that *"Precautions to limit public exposure to RF energy from base stations are unnecessary because worst-case exposure levels are typically thousands of times below those specified in health-based exposure standards."*



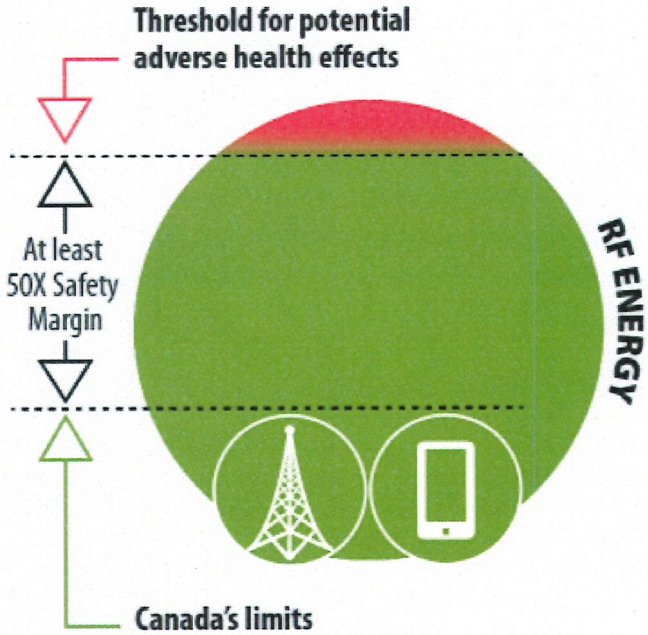


Our commitment to health and safety

This figure shows the Canadian limits that incorporate a safety margin of at least 50-fold from the threshold for possible adverse health effects.

Health Canada does not consider cell towers dangerous to the public, including groups typically more sensitive to environmental agents (young children, elderly). The limits set out in Health Canada's Safety Code 6 are designed to protect people, of all ages and sizes, from all forms of exposure to RF energy, including continuous exposure (24 hours a day, seven days a week).

Innovation, Science and Economic Development Canada ("ISED" formerly Industry Canada) requires that all antenna systems meet Health Canada's limits on the amount of RF energy that can be present in areas to which the public has access. Once antenna installations are built, operators need to ensure their installations comply with the Canadian limits at all times as a condition of their licence.



Transport and NAV Canada

The structure will be marked in accordance with the Department of Transportation Canada (TC) and NAV Canada (NAV) requirements.

Applications have been submitted to both TC and NAV to obtain formal approval / comments. NAV Canada has issued its consent/non-objection to the proposed project and TC's response/approval shall be made available upon receipt.

Require additional information, or were unable to voice your questions during this meeting?

We encourage those individuals to reach out to us directly via regular mail, phone, email, or fax, **on or before Friday October 22, 2021,** closing date for public consultation regarding this project.

SBA Canada, ULC c/o Synergy Land Services Ltd. Attention: Tanya Elchuk, Division Manager, Telecommunications 200, 2710 – 17 Ave NE Calgary, Alberta T2A 0P6 T: (403) 930-3309 F: (403) 283-8318 Email: SBAMapleRidge@synergyland.ca	Innovation, Science and Economic Development Canada Lower Mainland District Office 13401-108 Avenue, Suite 1700 Surrey, BC T3T 5V6 T: 1-800-667-3780 or (604) 586-2521 Email: ic.spectrumsurrey-surreyspectre.ic@canada.ca
The City of Maple Ridge Darrell Denton, Property Manager 11995 Haney Place Maple Ridge, BC V2X 6A9 T (604) 467-7477 Email: ddenton@mapleridge.ca	

Information regarding this proposed project, including the Open House Presentation Slide Show, can be found online at:

https://synergyopenhouse.ca/sba-maple-ridge-bc70197-s/

1200 ***Staff Reports***

City of Maple Ridge

TO:	His Worship Mayor Mike Morden and Members of Council	**DATE:**	December 14, 2021
		FILE NO:	**01-0540-30-04**
FROM:	Chief Administrative Officer	**MEETING:**	**Council**

SUBJECT: Renewal of Funding for the Downtown Maple Ridge Business Improvement Association's Façade Improvement Program

EXECUTIVE SUMMARY:

Earlier this year, the Downtown Maple Ridge Business Improvement Association (DMRBIA) successfully renewed its five-year mandate to provide marketing, beautification and security services to businesses and commercial property owners in the Town Centre.

The City's current funding agreement with the DMRBIA for the Façade Improvement Program is set to expire at the end of this year. The DMRBIA is requesting Council approve a renewal of the current Façade Improvement Program for a five-year period commencing January 1, 2022, to coincide with the recent renewal of the DMRBIA's five-year mandate. Grant funding for this program, as per previous years, is a cost-shared partnership where the City of Maple Ridge covers 50% of the total cost of the program to a maximum of $25,000 annually. The DMRBIA provides matching funds, also to a maximum of $25,000 each year.

RECOMMENDATION:

That the renewal of matching funding for the DMRBIA's Façade Improvement Program be approved for a five-year period to a maximum of $25,000 annually, commencing January 1, 2022

CONCLUSION:

The Façade Improvement Program is a key tool used by the DMRBIA to encourage property and business owners to refurbish and improve the façades of their buildings, and is in alignment with Council's strategic priorities supporting growth, community pride and spirit, and safety in the Town Centre.

Prepared by: **Bruce Livingstone**
Business Retention and Expansion Officer, Economic Development

Concurrence: **Wendy Dupley**
Director, Economic Development

Approved: **Scott Hartman,**
Chief Administrative Officer

Attachments:
(A) DMRBIA Letter Requesting Renewal of the Façade Improvement Program

DOWNTOWN MAPLE RIDGE
Business Improvement Association
Ours to Share!

#34 - 22374 Lougheed Highway, Maple Ridge B.C. V2X 2T5
Phone 604-467-2420

City of Maple Ridge - Mayor and Council

November 9, 2021

RE: DMRBIA Façade Improvement Program (FIP) – Renewal Request for Five Years

After initial consultation with the Economic Development Department, we are asking the City to renew its cost-sharing funding agreement for the DMRBIA's Façade Improvement program for a five-year period commencing January 1, 2022 to coincide with recent renewal of the DMRBIA's five-year mandate. The grant funding, as per previous years, is a cost-shared partnership project where the City of Maple Ridge covers 50% of the total cost of the program to a maximum of $25,000 annually. The DMRBIA provides matching funding, also to a maximum of $25,000 each year.

PROGRAM OVERVIEW:
The Façade Improvement Program provides grants to property owners and business owners to renovate, restore or redesign retail and commercial building façades and storefronts located in Downtown Maple Ridge. The goal of this program is to encourage property and business owners to invest in building upgrades that create a more interesting and appealing environment on the street, attracting people and businesses to the area.

This program is intended to:

- Create a more inviting Downtown Maple Ridge that brings people to shop, walk, live, and play;
- Promote marketability of retail and commercial businesses;
- Help building owners attract and retain tenants;
- Contribute to the quality of life of residents, workers and visitors;
- Build civic pride among the local business community and citizens of Maple Ridge.

Since its inception in 2009 through to end of year 2020, the DMRBIA in partnership with the City of Maple Ridge, has completed a total of **108** FIP projects. In 2021, there were 10 FIP applications: five have been completed and five more are scheduled to be completed by end of the year.

The emphasis is on quality workmanship, attention to detail and unique designs and incorporating much needed improvements wherever possible. Many FIP projects are large, multi-phased projects that require extensive preparation including cleaning building exteriors, repairing damaged building envelopes, painting and installing new lighting or signage and the cost and complexities justifies the support we offer via the Façade Improvement Program. These projects not only beautify the streetscape, but also address safety and security when lighting elements are included and complements the Lock Out Crime Through Environmental Design (LOCTED) grant which property and business owners can also apply for.

The Facade Improvement Program is a truly worthwhile endeavour that aligns with the City's strategic plan areas of Community Pride and Spirit, Growth and Safety as well as with the goals of the Town Centre Vision. Many recipients have expressed their gratitude of the program and in turn, the completed projects have inspired those around them to make necessary changes and enhancements as well. The DMRBIA feels strongly this program must be continued for the benefit of our City we love, Maple Ridge.

We look forward to once again working with the City of Maple Ridge in the betterment of our community and would be happy to provide a more detailed presentation, if required.

Sincerely,

Flori Chaykowski, Executive Director
Downtown Maple Ridge Business Improvement Association
ExecutiveDirector@DowntownMapleRidge.ca
www.DowntownMapleRidge.ca

City of Maple Ridge

TO:	His Worship Mayor Mike Morden and Members of Council	DATE:	December 14, 2021
		FILE NO:	01-0540-30-04
FROM:	Chief Administrative Officer	MEETING:	Council
SUBJECT:	Economic Development Strategy		

EXECUTIVE SUMMARY:

In March 2021, City staff commenced work on developing a holistic Economic Development Strategy for the community. Following an extensive RFP process, Chris Fields, the Principal at Rynic Consulting, was contracted to lead the strategic planning processes with staff.

The strategy development process included review of existing documentation, plans and strategies, a detailed quantitative industry sector data analysis, completion of ten key stakeholder interviews, two workshops, three community surveys, extensive City committee interaction, and an Economic Development Summit.

The City of Maple Ridge has created an ambitious Economic Development Strategy for Council to consider for adoption, which includes a vision statement that reflects the nature of our community and the spirit of creators, innovators and solution seekers that will be embraced in the steps moving forward. It defines 'Big Moves', bold priorities and goals that create a path for the most effective progress. The draft Strategy is attached for Council's adoption.

RECOMMENDATION:

That the Economic Development Strategy, as attached to the staff report dated December 14, 2021 titled "Economic Development Strategy", be adopted.

DISCUSSION:

Following completion of the situational analysis and the quantitative research phase, the City of Maple Ridge has been identified as an entrepreneurial and manufacturing leader within Metro Vancouver. Industry Sector Development leads in the Strategy with Manufacturing having priority development emphasis given its very significant economic contribution. Page nine in the Strategy document provides the quantitative breakdown of why this sector is our dynamic core. There is potential to develop an even more robust manufacturing "economic cluster" that accelerates economic growth in all of its moving parts.

Technology, creative industries, professional services initiatives and tourism sector development represent diversification that further strengthens the community's resiliency.

The Strategy will guide efforts to attract new investment initiatives by ensuring staff can be focused and targeted with their implementation tactics and maximize return on investment. It also provides direction to support and grow existing businesses.

CONCLUSION:

Within the Economic Development Strategy, a set of key enablers has been identified that are catalysts for accelerated sector growth: post-secondary presence, industrial land supply, manufacturing-influenced brand and marketing campaign, gigabit broadband, and special initiative "ties that bind." The result is a holistic Strategy that embraces both pragmatic initiatives that will elevate the economic development agenda, and achieve transformative results.

Prepared by: Wendy Dupley
Director, Economic Development

Concurrence: Scott Hartman
Chief Administrative Officer

Attachments:
(A) City of Maple Ridge Economic Development Strategy

Economic Development Strategy

CITY OF MAPLE RIDGE

MAPLE RIDGE
British Columbia

NOVEMBER, 2021

Executive Summary

The City of Maple Ridge has created an ambitious Economic Development Strategy. The Strategy will guide efforts to attract new investment, and support and grow existing businesses.

The strategy development process included review of existing documentation, extensive quantitative industry sector data analysis, completion of 10 key stakeholder interviews, two workshops, and three community surveys, extensive City committee interaction, and an Economic Development Summit. Summary materials for this work are available independent of this document.

The result is a holistic Strategy that embraces both pragmatic initiatives that will elevate the economic development agenda, and achieve transformative results. INDUSTRY SECTOR DEVELOPMENT leads in the Strategy. Manufacturing has priority development emphasis given its very significant economic contribution. There is potential to develop an even more robust manufacturing "economic cluster" – like Silicon Valley - that accelerates economic growth in all of its moving parts. Technology/creative industries/professional services initiatives, and tourism sector development, represent diversification that strengthens our resiliency.

Think of economic development as a chair. The cornerstone leg of the chair encompasses key economic sectors, and intent to accelerate their growth via direct industry interaction and collaboration. The opposite leg represents a growing element of the BC and local economy: footloose digital nomads, remote workers, creators, entrepreneurs, and professional services. In this context, HOUSING AND COMMERCIAL SPACES INNOVATION that offers new attainability pathways becomes economic development in its own right in a province that struggles with housing affordability.

Cont'd

Executive Summary

In the more nomadic economy of the future, COMMUNITY AMENITY is a key reason people choose the community they live in. Placemaking, creative inspiration, transportation and digital network infrastructure, and recreation and cultural amenity, become investments in securing an elevated future for the City of Maple Ridge.

A set of key ENABLERS has been identified that are catalysts for accelerated sector growth: post-secondary presence, industrial land supply, manufacturing-influenced brand and marketing campaign, gigabit broadband, and special initiative "ties that bind."

The worlds of manufacturing sector development and nomadic economy converge in the technology sector, where strong Maple Ridge growth of the sector itself, and ability of technology adoption to enhance productivity in the manufacturing sector, gives Maple Ridge a strong 1-2 economic development punch.

Maple Ridge is not an economic island. It exists in a Metro Vancouver that is dynamic and changing in its ongoing evolution into a higher-order talent and technology-driven economy. With industrial land at a premium region-wide, the City can be central to achievement of Metro Vancouver's investment attraction manufacturing opportunities that lie in identified target sectors: apparel, green economy, life sciences, digital media, ICT, trade and logistics, and ag-tech.

These economic development pillars connect the dots in the story of Maple Ridge to come – a story that raises the bar on the City of Maple Ridge's ability to achieve the exceptional and transformative.

Great strategies aren't about everything we do on a day-to-day basis. Great strategies solve challenges and/or step into opportunities. Great strategies are about catalytic intention and ambitious vision, connected to stepping-stone initiatives with best return on investment in achieving vision.

→ VISION

Our **Bold** Future In the Making

The City of Maple Ridge is an entrepreneurial and manufacturing leader within Metro Vancouver. Nature and outdoor recreation are deeply valued. We will deepen connection to land and people in a re-energized mixed-use downtown, green spaces and recreation amenity development, farm-to-table living, and novel housing and commercial space solutions that are attainable for more people. We embrace the spirit of creators, innovators and solution seekers in our steps forward.

Value Proposition

1. High Growth Manufacturing Cluster

2. Low Metro Vancouver Business Costs

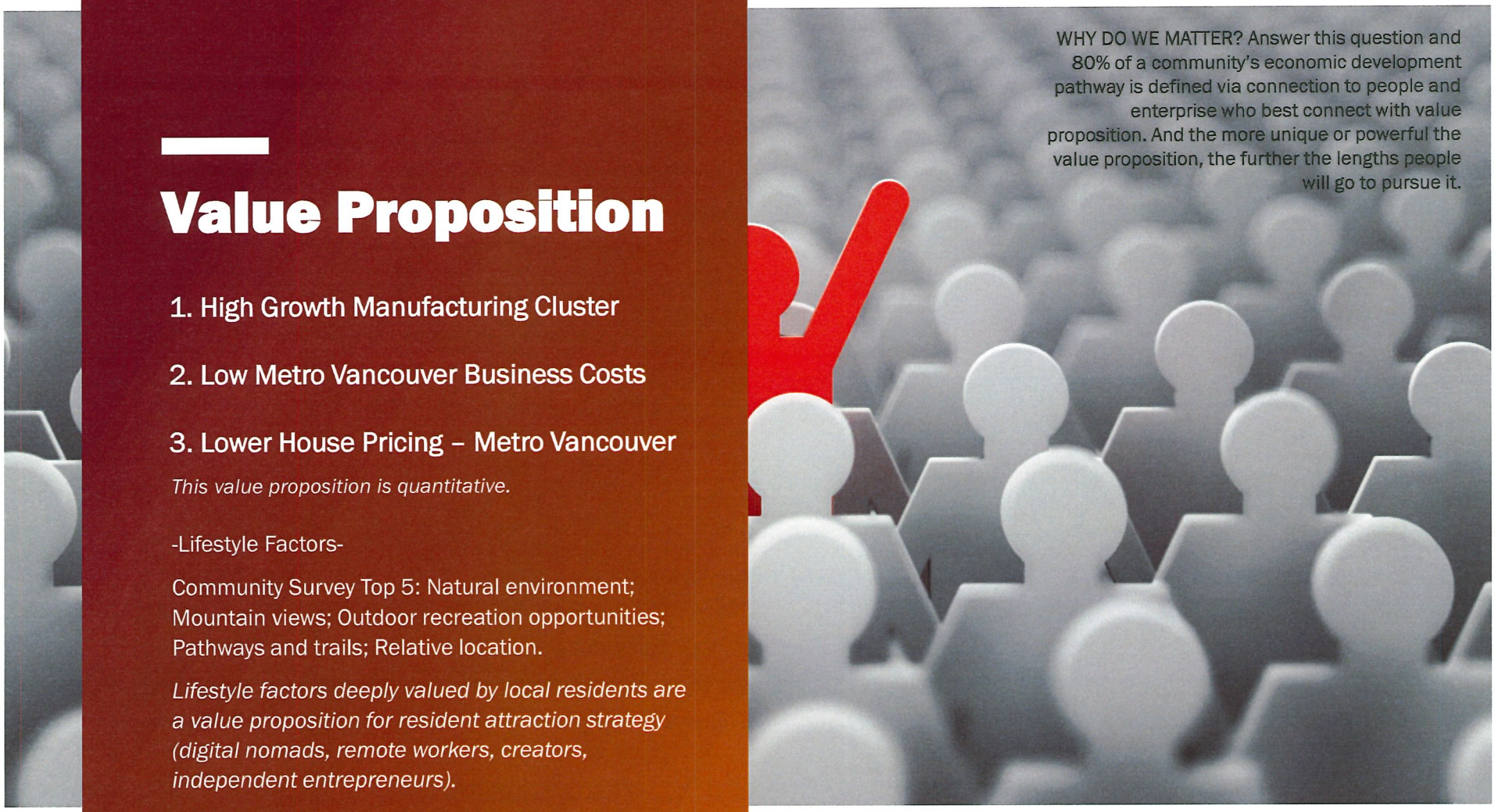
3. Lower House Pricing – Metro Vancouver

This value proposition is quantitative.

-Lifestyle Factors-

Community Survey Top 5: Natural environment; Mountain views; Outdoor recreation opportunities; Pathways and trails; Relative location.

Lifestyle factors deeply valued by local residents are a value proposition for resident attraction strategy (digital nomads, remote workers, creators, independent entrepreneurs).



WHY DO WE MATTER? Answer this question and 80% of a community's economic development pathway is defined via connection to people and enterprise who best connect with value proposition. And the more unique or powerful the value proposition, the further the lengths people will go to pursue it.

Goals

Goals are the way we will achieve our Economic Development Strategy. These goals are interconnected, ambitious, and achievable in pursuit of the exceptional.

BIG Moves

BIG Moves define bold priorities that step into an elevated set of opportunities for Maple Ridge. In the pursuit of our most ambitious path lies potential for the most transformative progress.

SEE THE FUTURE

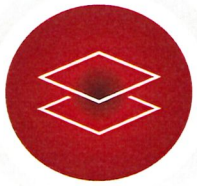
A bold, aspirational Vision Statement will focus strategic objectives.

BRAND NEW

The strength and centrality of the manufacturing cluster in the Economic Development Strategy aligns with a brand campaign: MAKE IT HERE. A broader brand story is enabled: family, youth, and independent economy (tech, creative industries, professional services) attracted to CONNECTIVITY to people, place, nature, enabling infrastructure, post-secondary education opportunities, and business ecosystems that are stronger together.

BRIDGE THE MIDDLE

Maple Ridge will address an enduring challenge – and set itself apart – by enabling entrepreneurial uplift and housing attainability with policy and advocacy that creatively bridges the gap between home-based business and large commercial and industrial spaces, and between single family dwellings and residential towers.



LAND – THE BIG ONE

Industrial land will be at a premium in future Metro Vancouver. Securing significantly more non-residential land will meet a quantified non-residential assessment ratio target, and create comprehensive sustainability benefits.

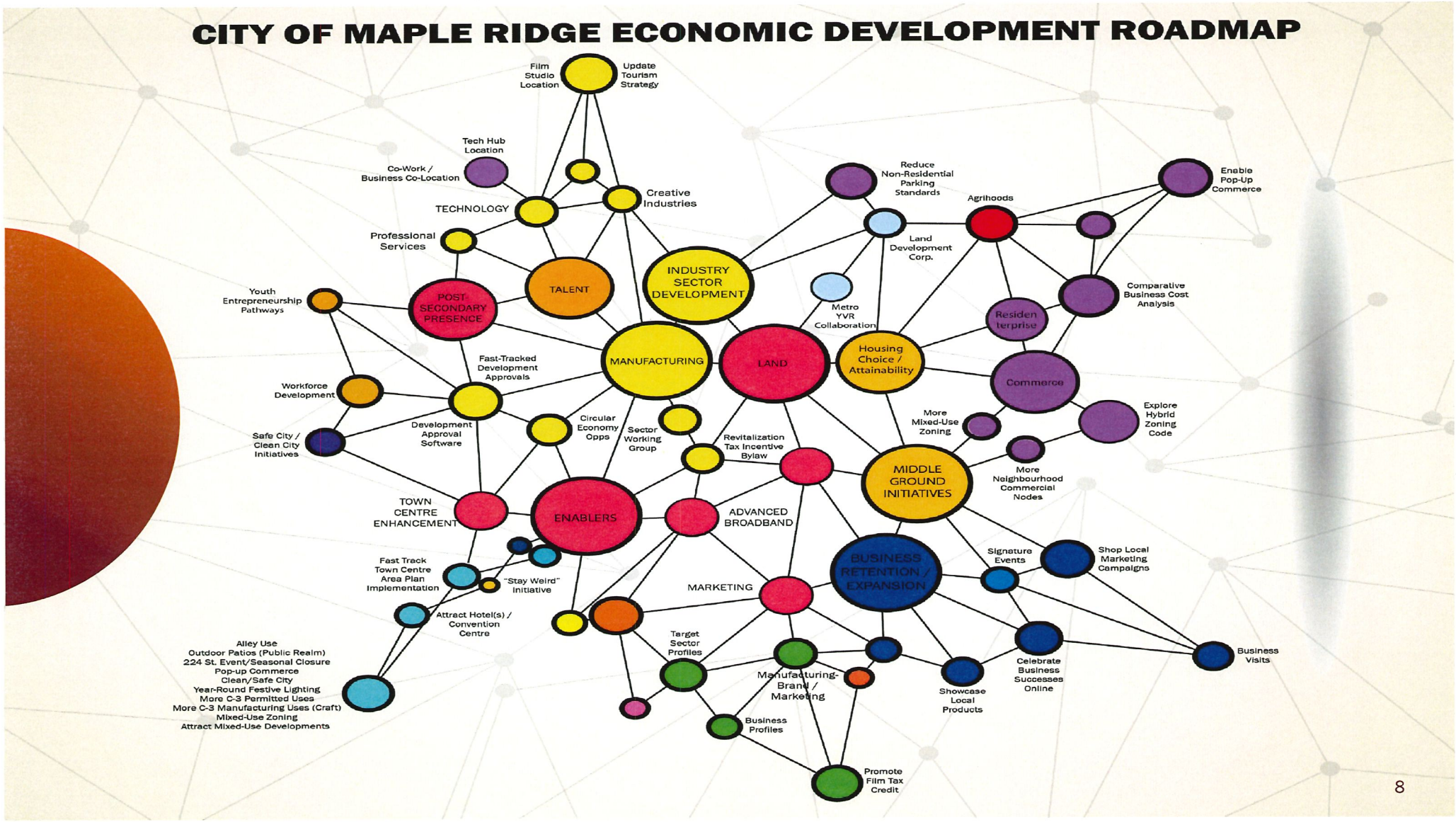
OUR FUTURE RESTS ON TALENT

The City will redefine imagination and innovation with establishment of a novel form of physical presence of a post-secondary institution in the City.

MAPLE RIDGE ON THE GROW: AGRIHOODS

Maple Ridge has significant Agricultural Land Reserve. Residents deeply value nature and connection to land. An agrihood – where agriculture is central to community-based economy and social connectivity - is a catalytic development form that tethers the spirit of Maple Ridge together.

CITY OF MAPLE RIDGE ECONOMIC DEVELOPMENT ROADMAP



→ 1

Grow Manufacturing as our Economic Driver

Maple Ridge has a proportionately larger manufacturing sector by employment than Metro Vancouver. The sector is led by wood product, pharmaceuticals, and electronics but is diverse – including metal fabrication, boat-building, food products, and furniture. The City can be central to achievement of Metro Vancouver's investment attraction manufacturing opportunities that lie in identified target sectors: apparel, green economy, life sciences, digital media, ICT, trade and logistics, and ag-tech. Cluster development requires land, private sector collaboration on common issues and opportunities, and technology adoption (advanced manufacturing) that generates globally competitive operational efficiencies.

Advanced manufacturing – the use of innovative technology to improve products or processes to add value and remain competitive.

Industry identified key enablers: housing affordability, development approvals process, transportation infrastructure.

Why Manufacturing?

Manufacturing is a dynamic core of the Maple Ridge economy:

#1 export sector - $1B/yr., 3x next largest sector, 1/3 total exports.
#8 average sector wages (20 sectors).
#1 job growth of Top 10 industries last 10 yrs.
#1 total sector sales by 250% over the next highest sector.
#2 highest total sector wages.
27% higher average wages than average across all sectors.
11 manufacturing sectors (of 305 total sectors, 207 with indicated multipliers shown) in Top 50 total jobs multipliers.

Src: EMSI Analyst, 2021

Goals, Objectives & Initiatives

1 GROW MANUFACTURING AS OUR ECONOMIC DRIVER

Objective 1 – Support Workforce Development Needs

- 1-1 Work with Douglas College and Kwantlen Polytechnic University to develop and sustain program training that addresses manufacturing sector workforce needs.
- 1-2 Facilitate job fairs / trade shows featuring skills and knowledge required in the sector.
- 1-3 Create a more singular job board for Maple Ridge jobs (skilled and unskilled) to meet manufacturing sector labour force demand.

Objective 2 – Enable Manufacturing Sector Cluster Development

- 1-4 Create a Maple Ridge manufacturing working group to: a) improve connections between manufacturers; b) identify strategic priorities to accelerate sector growth; c) identify shared issues and opportunities; d) identify innovation pathways that generate technology-based sector efficiencies; and e) harmonize enablement advocacy for shared issues/opportunities with municipal, provincial, and federal levels of government.
- 1-5 Secure robust future land supply / building availability.
- 1-6 Enhance circular economy opportunities via: a) matchmaking to align manufacturing sector procurement opportunities with local business; b) nurturing development of input / output relationships that can be developed within the region for more profitable operations and movement toward zero waste.
- 1-7 Create a Revitalization Tax Incentive Bylaw to incent redevelopment and relocation of manufacturing operations to the City of Maple Ridge.
- 1-8 Fast track municipal development approvals process with: a) clear initial communication of development application requirements; b) a concierge service to help enterprise navigate approvals processes; c) use of software as service to assist with efficient and transparent approvals process.
- 1-9 Consult manufacturing working group on City planning for infrastructure enhancements.
- 1-10 Consult with manufacturing working group on roadway construction impacts and down-time in advance to facilitate logistics efficiencies.
- 1-11 Identify vertical and horizontal value chain diversification opportunities within the manufacturing sector.
- 1-12 Develop a visual Maple Ridge manufacturing ecosystem and value chain that shows companies and organizations, and how products and services relate to each other (which can reveal opportunities).
- 1-13 Place special focus of business visits component of business retention and expansion program on manufacturing sector enterprise.
- 1-14 Leverage Metro Vancouver (Regional Economic Prosperity Service) investment attraction manufacturing opportunities that lie in identified target sectors: Apparel, Green economy, Life sciences, Digital media, ICT, Trade and logistics, Ag-tech

Objective 3 – Market Manufacturing Sector Growth Opportunities

- 1-15 Implement a manufacturing-influenced brand.
- 1-16 Indicate target sectors, and provide sector profiles on City of Maple Ridge website.
- 1-17 Produce business profiles in publications/online to celebrate target sector successes.
- 1-18 Showcase local products in public buildings and spaces to demonstrate pride in local businesses and entrepreneurs.
- 1-19 Conduct manufacturing sector investment attraction program.

→ 2

Attract & Retain Talent

Talent retention and expansion is the primary strategy to achieve economic diversification, generating a means to nurture "good bets" on future prosperity.

Twenty percent of the Maple Ridge of workforce is "independent"...self-employed or work from home....with concentration in construction, professional services, administrative and support/waste management and remediation services, and real estate. More generally in Canada, "the independents" also concentrate in technology, creative industries, and transportation. The technology sector is a key dynamic element of the Maple Ridge economy; if it were defined in federal data as its own sector, it would be the 4th largest of 20 industry sectors, with the 2nd fastest 10-year sector growth rate (through 2020).

Technology is very broad by definition. It's important to focus on strengths. Maple Ridge has technology sector strengths that align with manufacturing and construction: pharmaceutical and medicine manufacturing, electrical lighting equipment manufacturing, computer and peripheral equipment manufacturing, navigational, measuring, medical and control instruments manufacturing, other electrical equipment and component manufacturing, residential building construction, and other telecommunications.

A key consideration of economic development strategy that targets this segment of workforce and economy is benefit to community life with more 24/7 population presence, including: reduced commuter ratio and more local spending that grows retail and services opportunities, reduced crime via increased full-time population, stronger social and cultural connectivity, and environmental benefit (e.g. CO^2 emissions) of reduced commuting.

These sectors represent resident/entrepreneur attraction opportunities focused on Maple Ridge quality of life and cost of living value proposition. The City will undertake initiatives in key enablers: advanced broadband services to all premises, housing choice, affordability and flex form amenable to enterprise space, lifestyle-focused placemaking and cultural/recreational amenity investments, and target marketing.

The Economic Development See-Saw

Think of economic development as a see-saw. Traditionally – we only tackled industry sector development in positioning "site location factors." These days, a proportionately growing independent workforce requires different considerations – with a focus on quality of life and place as a leading location decision making framework. COVID-19 has accelerated this trend.

Goals, Objectives & Initiatives

2 ATTRACT AND RETAIN TALENT

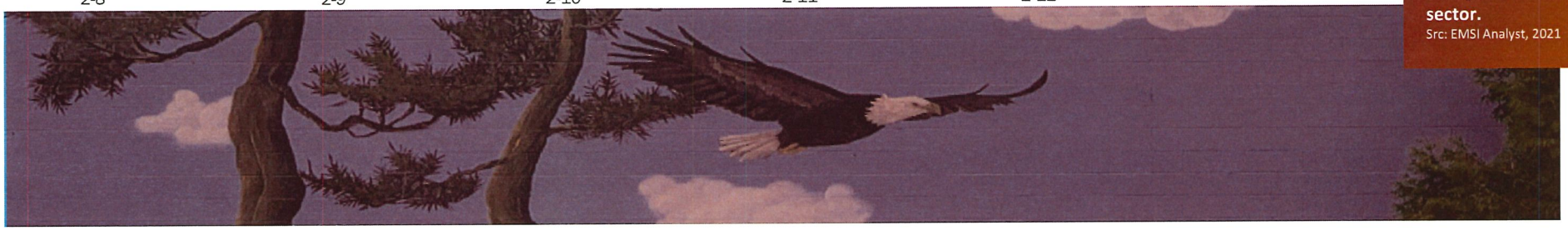
Objective: Grow the Technology, Creative Industries, and Professional Services Sectors

- Attract private sector co-work / business co-location solutions. — 2-1
- Nurture collaborative creation of a Tech Hub to specifically nurture growth of young technology enterprise and entrepreneurs. — 2-2
- Enable creation of Tech Meet-Ups to nurture tech ecosystem development. — 2-3
- Nurture collaborative creation of an accelerator / incubator to support enterprise start-up growth. *Note: could be combined with Tech Hub as a full-service Innovation Hub.* — 2-4
- Conduct resident attraction marketing program. — 2-5
- Take a next step to de-regulate home-based business. — 2-6
- Enable youth entrepreneurship pathways via: networking opportunities, start-up help, mentorship program, high school youth entrepreneurship program, and micro-investment program. — 2-7
- Enable "Animated City" focused on Town Centre: art, entertainment, heritage, culture (performing arts, public art, events) — 2-8
- Implement a "Stay Weird" initiative to promote unique placemaking. (e.g. Portland - http://www.keepportlandweird.com/ — 2-9
- Create a Maple Ridge Tech / Creators / Professional Services sector working group to serve as a sounding board for sector development initiatives. — 2-10
- Accelerate: a) Safe City initiative; b) Clean City initiative. — 2-11
- Showcase local products in public buildings and spaces where possible to demonstrate pride in local businesses and entrepreneurs. — 2-12
- Conduct an annual Innovation Challenge. — 2-13

Did You Know?

The Maple Ridge Tech sector would be the 4th biggest and 2nd fastest growing (by number, 2012-2021) as a stand-alone sector.

Src: EMSI Analyst, 2021



→ 3

Expand Business Retention & Expansion (BRE) Program

The BRE Program is presently focused on a CRM system to efficiently manage business relationships, and an annual business visitation program. In context of always-limited resources, the City will collaborate with key partners including the Chamber of Commerce and the downtown Business Improvement Association to enhance and selectively add BRE elements to a BRE Program.

Why BRE Matters

60-90% of economic growth in a community is created by existing business. Src: The Ohio State University (2002), North Dakota Department of Commerce (2001); University of Illinois (2004)

Goals, Objectives & Initiatives

3 EXPAND A BUSINESS RETENTION & EXPANSION PROGRAM TO ACCELERATE LOCAL BUSINESS GROWTH

Objective: Collaborate with Key Partners to Carefully Add to BRE Program Elements

The BRE Program is presently focused on a CRM system to efficiently manage business relationships, and an annual business visitation program. In context of always-limited resources, the City will collaborate with key partners including the Chamber of Commerce and the BIA to enhance and/or add the following BRE elements to a BRE Program:

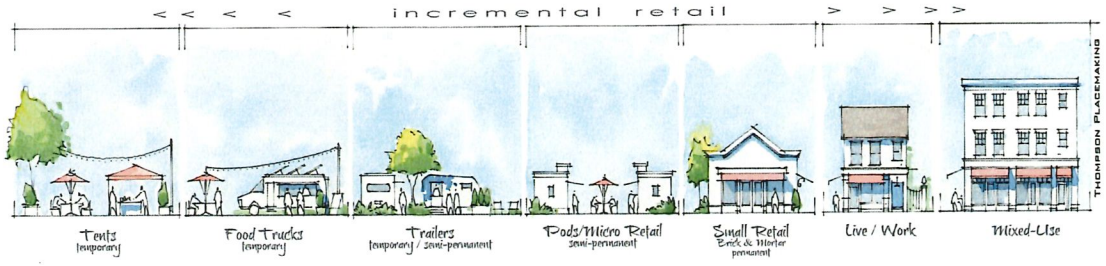
- Signature events. — 3-1
- Shop local marketing campaigns. — 3-2
- Celebrate business successes online. — 3-3
- Showcase local products in public places. — 3-4

→ 4

Implement Middle Ground Commerce Space and Programming Solutions

Maple Ridge will address an enduring challenge – and set itself apart – by enabling entrepreneurial uplift with policy and advocacy that creatively bridges the gap between home-based business and large commercial and industrial spaces.

Middle Ground Commerce



Img Src: Strong Towns https://www.strongtowns.org/journal/2018/11/6/theres-a-missing-middle-for-commercial-spaces-too

Entrepreneurial uplift that can break the cycle of business cost and supports-based growth risks is a matter of form and function:

- **Form:** Pop-ups (tents, trailers, temporary structures), Accessory Commercial Units (commercial edges), smaller spaces, shared retail spaces, incubator spaces, indoor and outdoor co-op/market spaces for home-based business/crafters/makers, mixed use buildings, co-work and business co-location spaces, incubators/accelerators/tech hub spaces, arterial neighbourhood gateway commerce roads, work-live buildings, "the corner store".
- **Programming:** e.g. youth entrepreneurship program, micro investment fund, mentorship, start-up program.

Goals, Objectives & Initiatives

4 IMPLEMENT MIDDLE GROUND COMMERCE SPACE AND PROGRAMMING SOLUTIONS

Objective: Create Enabling Planning Policy for Expansion of Middle Ground Commerce Solutions City-wide

4-1	4-2	4-3	4-4	4-5	4-6	4-7
Incorporate middle ground commerce objective into OCP.	Establish (Zoning Bylaw) pop-up commerce as discretionary use in commercial zones.	Establish (Zoning Bylaw) more liberal temporary use permits for pop-up commerce in designated zones, locations, and/or vacant land.	Establish (Zoning Bylaw) more mixed use zoning and more neighbourhood commercial nodes.	Explore (Zoning Bylaw) reduction of non-residential parking standards and more permitted commercial uses in zoning to encourage business model and fast track development approvals.	Attract private sector co-work / business co-location solutions .	Explore potential for micro investment fund for new ideas/business start-ups.

A BIG IDEA – Explore potential for "Hybrid" zoning code that offers development approval efficiencies while regulating for best visual outcomes.

Broad Community Survey (2021) support for:

- Commercial and industrial expansion.
- More mixed-use commercial/residential developments/redevelopment.
- Neighbourhood commercial activity (e.g. corner store, restaurant, hair salon) in new neighbourhoods.
- Residential units (2nd/3rd floors) above all commercial development.

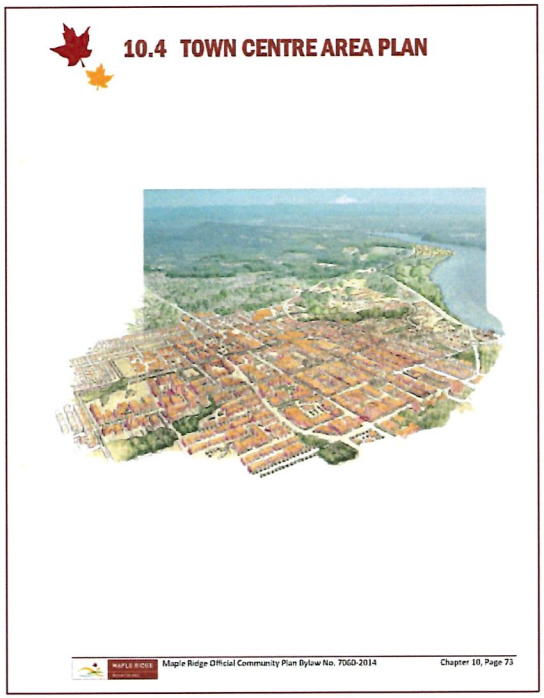
Top 3 Business Survey (2021) support for:

- Micro investment fund for new ideas/business start-ups.
- Hub space for co-working/business co-location, start-up incubator, or accelerator (mentors/ collaboration).
- Physical location to start a business affordably.

→ 5

Accelerate Implementation of Town Centre Area Plan

In our downtown lies our soul – the heartbeat of commerce, the centre of our "busy" ... where we connect to people and place ...where we find inspiration in our most distinctive architecture and creativity of humanity on display ...where visitors form their most memorable impression. Accelerated Town Centre Area Plan implementation addresses "Downtown" enhancement as a #1 priority in Economic Development Strategy engagement activity.



The Town Centre Area Plan (TCAP) was adopted in 2008 with a vision for creating more density, mixed-uses, and green space, while creating a pedestrian-oriented environment. The Town Centre has experienced significant redevelopment and change since 2008. A 2021 initiative has seen the Plan revisited. Strategic direction and recommendations from the 2008 Plan have been reconfirmed, including a Recommendations Review that identifies ongoing implementation activities.

Town Centre Area Plan Web Link - https://www.mapleridge.ca/DocumentCenter/View/748/104-Town-Centre-Area-Plan-PDF?bidId=

Goals, Objectives & Initiatives

5 ACCELERATE IMPLEMENTATION OF TOWN CENTRE AREA PLAN

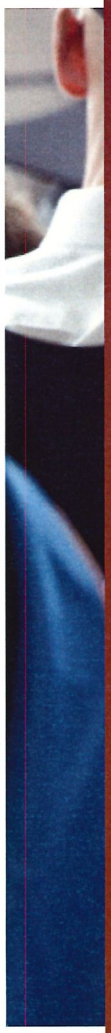
Objective: Add Prioritized Input from Economic Development Strategy Engagement to Town Centre Area Plan Implementation

- Enable better use of alleyways for coffee shops. 5-1
- Enable outdoor patios. 5-2
- Focus signature community events in the Town Centre, including street festivals. 5-3
- Explore event-based, seasonal, and or permanent closure of 224 St. between Lougheed Highway and Dewdney Trunk Road. 5-4
- Enhance pedestrian-friendly road and urban design. 5-5
- Permit pop-up stores in vacant commercial spaces and/or lots. 5-6
- Accelerate Clean City and Safe City initiatives. 5-7
- Attract hotel/convention centre development. 5-8
- Install year-round festive lighting. 5-9
- Explore (Zoning Bylaw) lowering of non-residential parking standards to incent business model. 5-10
- Permit more commercial patios, including use of public realm in a permanent Open Streets program. 5-11
- Identify more permitted uses in Zoning Bylaw to promote mixed use and fast-track development approvals. 5-12
- Identify more permitted manufacturing uses (with retail component) beyond micro-brewery / winery / distillery to promote craft production enterprises (e.g. manufacturing with a retail component). 5-13
- Conduct investment attraction for mixed use developments and buildings. 5-14
- Consider mixed use vs straight commercial zoning (C-3) in town centre, including professional services and residential floors 2+ to animate streetscapes. 5-15

→ 6

Create Enabling, Breakthrough Economic Development Advances

A set of key enablers have been identified that are catalysts for accelerated sector growth: post-secondary presence, industrial land supply, manufacturing-influenced brand and marketing campaign, gigabit broadband, and special initiative "ties that bind."



6.1 Our Future Rests on Talent

Objective: Create a formal, collaborative partnership with a post-secondary institution, including joint-venture establishment of physical presence in Maple Ridge.

Learning is rapidly changing. The past is not the future. We will need a nimble, curious society – enabled by learning pathways – to embrace the full potential of the future with recognition that our future rests on talent.

Learning will be less bricks and mortar and more online connectivity. We value applied learning linked to real-world challenges and opportunities. We envision a range of education programming – from traditional building blocks to micro-credentialing (e.g. coding bootcamps) to linking to corporate programs – enabled by advanced technology tools.

To embrace entrepreneurialism, we envision tri-partite research collaboration where industry challenges can be met with tailored research projects. Academia can play a crucial role in positioning BC and Metro Vancouver for an ambitious future with programming linked to the City of Maple Ridge's industry sector development focused Economic Development Strategy, and Metro Vancouver's investment attraction opportunities that lie in identified target sectors.

To embrace and value the role of community in achievement of quality of life, the City of Maple can refresh academic interaction with municipal challenges linked to practical research needs.

We can inter-connect a spirit of place – a HUB where a post-secondary campus can converge with workforce co-work and company co-location, business incubation and acceleration to elevate collaborative opportunities and success.

6.2 Advanced Broadband

Objective 1: Advocate for and Support Private Sector Provision of Gigabit Fibre to all Maple Ridge Premises

Objective 2: Develop and Implement a Connected Community Strategy

Online learners. Enterprise with gateways to the world. The 20% of us who are self-employed or work from home. eServices providers and consumers. Families with their many media screens. Data centres, high performance computing, edge computing, and cloud infrastructure.

It's no longer good enough just to be connected to the Internet. Broadband is now an essential utility. Speed and service reliability enable life itself. Studies show speed is correlated with economic productivity. Reliability is critical for generations to come. Digital networks are a central nervous system for the "economy of the brain" that will be central to Metro Vancouver's path forward.

In a world of online-everything, global locational choice, alignment with target sectors including advanced manufacturing and technology, and desire to attract post-secondary presence in the City, the City of Maple Ridge can't delay in securing advanced broadband infrastructure and service levels as a critical enabler of economic and quality of life activity.

6.3 Manufacturing-Influenced Brand and Marketing Campaign

6-3

Objective: Implement an investment and resident attraction "Make It Here" brand and marketing campaign that aligns with Economic Development Strategic Direction.

6.4 Industrial Land

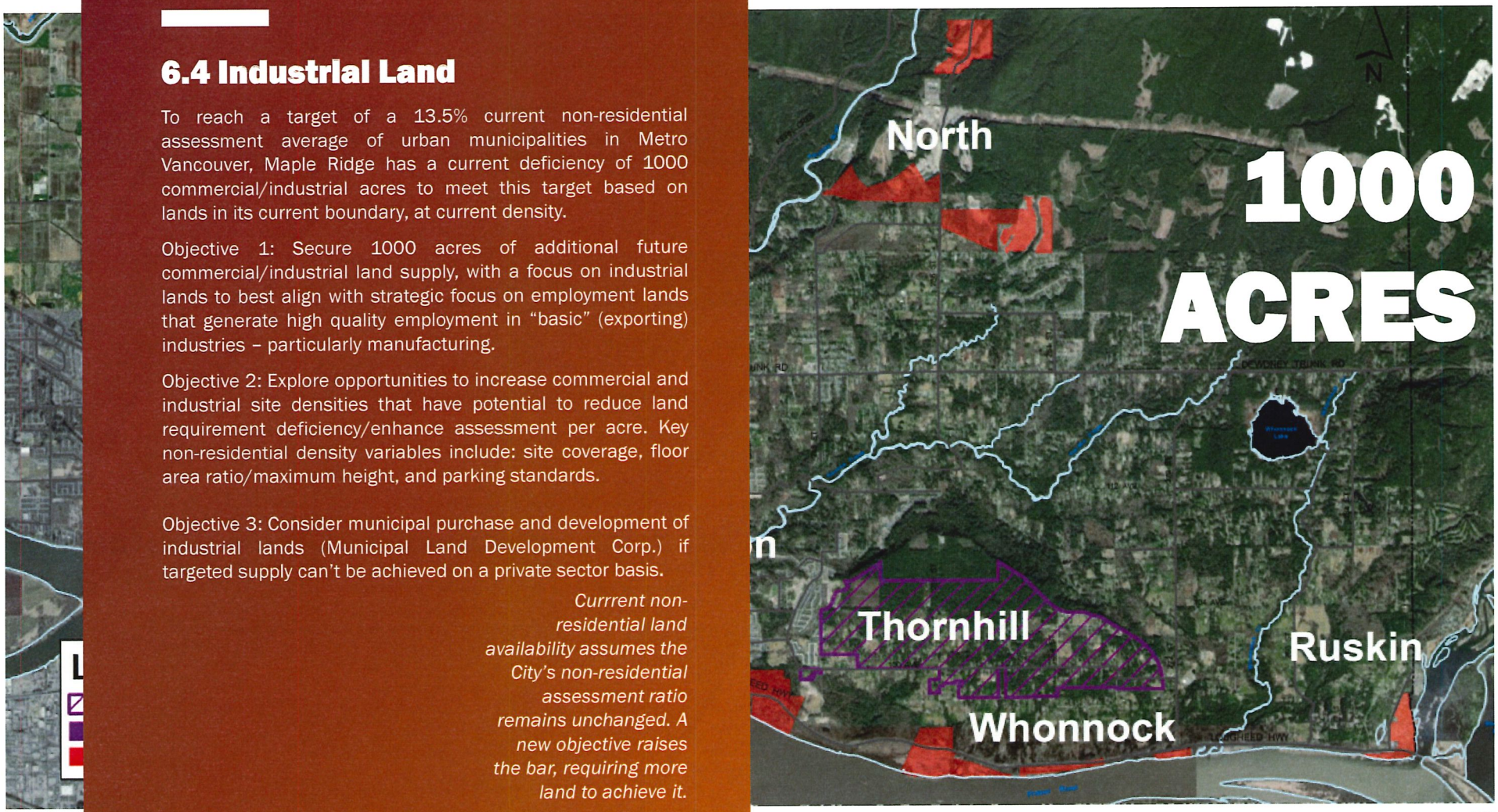
To reach a target of a 13.5% current non-residential assessment average of urban municipalities in Metro Vancouver, Maple Ridge has a current deficiency of 1000 commercial/industrial acres to meet this target based on lands in its current boundary, at current density.

Objective 1: Secure 1000 acres of additional future commercial/industrial land supply, with a focus on industrial lands to best align with strategic focus on employment lands that generate high quality employment in "basic" (exporting) industries – particularly manufacturing.

Objective 2: Explore opportunities to increase commercial and industrial site densities that have potential to reduce land requirement deficiency/enhance assessment per acre. Key non-residential density variables include: site coverage, floor area ratio/maximum height, and parking standards.

Objective 3: Consider municipal purchase and development of industrial lands (Municipal Land Development Corp.) if targeted supply can't be achieved on a private sector basis.

Currrent non-residential land availability assumes the City's non-residential assessment ratio remains unchanged. A new objective raises the bar, requiring more land to achieve it.



Why is Non-Residential Development Important?

Non-residential development creates comprehensive sustainability benefits...

ECONOMIC

- Direct employment generation.
- Metro Vancouver has an industrial land deficiency, which can translate to proportionately more employment-generation opportunities in Maple Ridge if it secures more non-residential land.
- Enhanced ability to pay for desired services and amenities – which contributes to a virtuous cycle of quality of life/placemaking enhancements that attract repeating cycles of increased investment.
- "Basic" (exporting) industry has higher job multipliers, creating spin-off economic opportunities and demand for "non-basic" supporting employment like retail and professional services.

FISCAL

- Commercial/industrial development has a 57% higher/acre assessment than residential development in Maple Ridge.
- Non-residential development in BC and Canada pays higher property tax rates than residential development.
- Relative (in Metro Vancouver) housing affordability and attainability requires density. Density in turn creates more people requiring basic services and asking for enhanced amenities on a per acre basis. Non-residential development is critical to creating ability to support services and amenities for increased densities.

SOCIAL

- More 24hr residency has social benefits – e.g. volunteerism.

ENVIRONMENTAL

- A lower commuter ratio would reduce CO^2 emissions.

6.5 Ties That Bind

Selected initiatives help connect the community and economic development dots in pursuit of vision.

6.5 Ties That Bind

Objective: Implement Selected Initiatives to Help Connect the Community and Economic Development Dots in Pursuit of Vision

- Implement a Development Approval software as a service solution to create efficiencies and transparency. — 6-5-1
- Complete ongoing comprehensive comparative (Metro Vancouver) business cost analysis that further deepens business investment value proposition. — 6-5.-2
- Link local ALR production / agrihood catalyst to food experiences tourism product development activity. — 6-5-3
- Hold an Annual Economic Development Summit to report on successes and refresh strategic directions. — 6-5-4
- Accelerate: a) a Safe City initiative; b) a Clean City initiatives. — 6-5-5
- Permit pop-up stores in vacant commercial spaces and/or lots. — 6-5-6
- Attract Hotel(s) as a key feature of tourism strategy to support local multiplier spending/events. — 6-5-7
- Update tourism strategy. — 6-5-8
- Promote Maple Ridge tax credit advantage to film industry. — 6-5-9
- Explore and support film studio location in Maple Ridge, and link to creative industries and tourism sector development. — 6-5-10

TOURISM IS A MAJOR SOURCE OF NEW RESIDENTS. WE NEED TO CONNECT A TOURISM VISIT TO ECONOMIC DEVELOPMENT ACTIONS THAT FACILITATE CONSIDERATION OF A FUTURE MOVE.

Did You Know?

The film industry in Maple Ridge employs approximately 2700 residents, generating $41 M in annual salaries and $5.4 M in annual economic impact. There were 80 film productions in Maple Ridge in 2020 Src: City of Maple Ridge

7% of Canadians say a tourism visit was the major driver of their decision to live where they do now. Src: Zinc Research, statistically representative poll of 1200 Canadians, 2011.

Key Performance Indicators

1 13.5% Non-Residential Assessment Base

Current: 9%

- *Maple Ridge – 2011 – 8.2%*
- *Metro Vancouver Community Average – 13.5%*
- *BC Urban Community Average – 17%*

A larger non-residential assessment base creates the ability to pay for services and amenities residents desire, and consider enhancements that are appealing to new/expanded forms of investment and tourism. Increasing this ratio is ambitious amidst population (residential assessment) growth.

2 40% of Maple Ridge Residents Work in Maple Ridge

Current: 33%

More people working in Maple Ridge has many benefits, including: direct job creation, spending multipliers, social benefits (e.g. reduced crime, increased volunteerism), better fiscal bottom line for the City of Maple Ridge, and CO^2 emissions reduction.

The City of Maple Ridge is a bold future IN THE MAKING....

In **manufacturing** and technology-driven industries that will lead our economic progress and local employment generation.

In **crafting** of amenity, placemaking, and gigabit broadband solutions that attract independent entrepreneurs, creative industries, and workforce.

In **paths forward** that deepen interaction with nature at the heart of our distinguishing lifestyle.

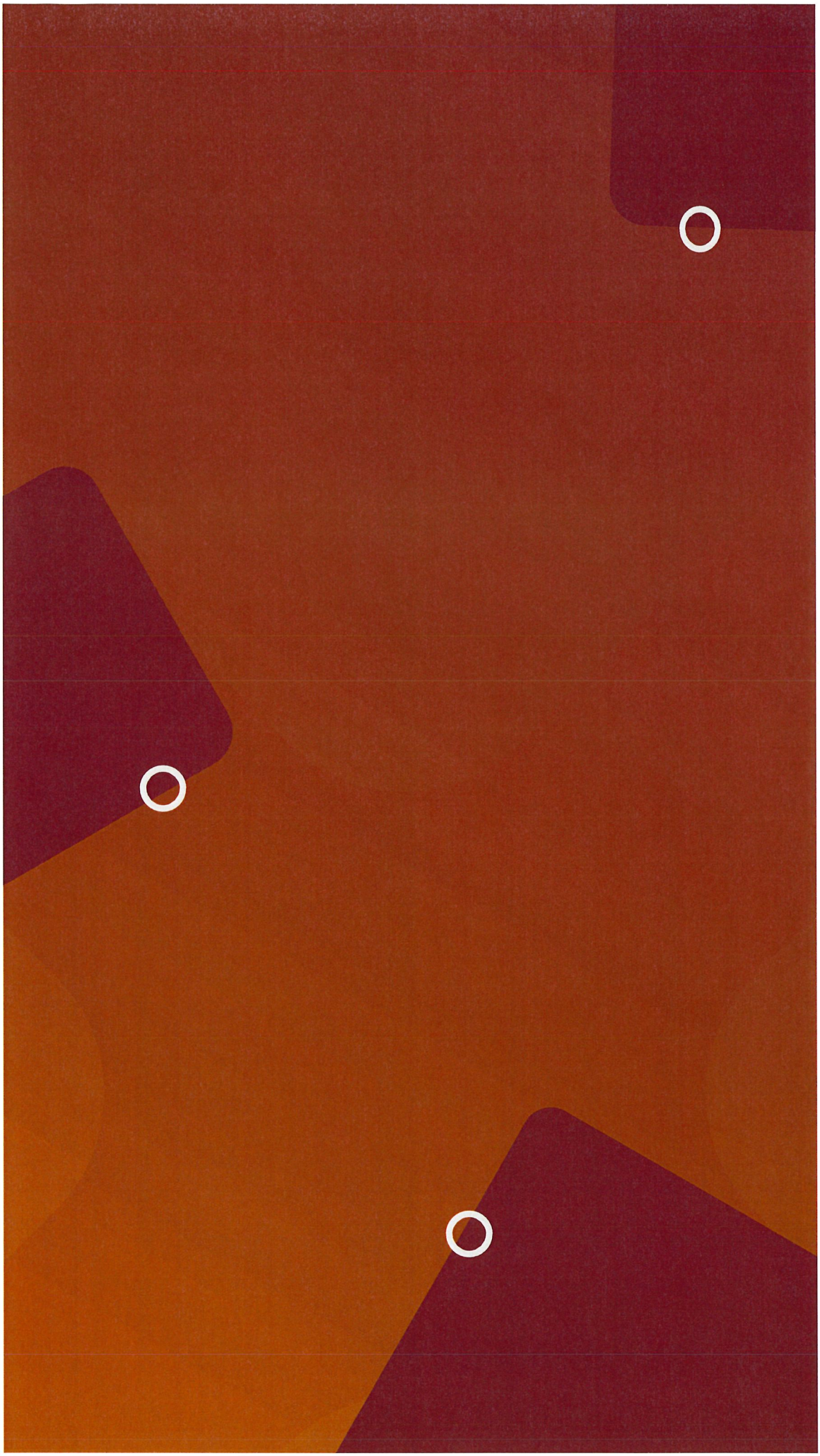
In **growing** farm-to-table living, commerce, and tourism opportunities.

In **forging** of new caring-at-the-core solutions that nurture a safe, clean, and inclusive community.

In **re-energizing** of a mixed-use Town Centre at the soul of us.

In **imagination redefined** in offering of innovative, market driven, local post-secondary education opportunities.

And in the **middle ground we bridged** to create commerce space and program solutions that unleash entrepreneurial spirit at all ages, and novel housing solutions that maintain our Top 5 affordability in Metro Vancouver,

Maple Ridge – **Make it Here**

We embrace the spirit of creators, innovators and solution seekers in our steps forward.